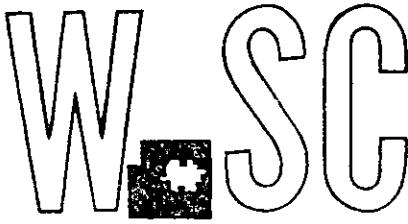


WICHITA — SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1688
(316) 268-4421
FAX (316) 268-4390

FILE COPY

January 14, 2000

US Beef Corporation
c/o Mr. John Davis
4923 East 49th Street
Tulsa, OK 74135

Re: Administrative Adjustment 99-36: An Administrative Adjustment to increase the permitted projection of a canopy into the 20-foot street side building setback by 2 feet or 20 percent of the platted building setback.

Legal Description: Lawrence development 1st Addition, Except the west 120 feet thereof, Wichita, Sedgwick County, Kansas, together with Lot 1, Seiler Addition, Except the west 120 feet thereof, Wichita, Sedgwick County, Kansas. (Generally located at the southeast corner of 21st Street North and Ridge Road)

Dear Mr. Davis:

We have reviewed your request for an Administrative Adjustment to allow an increase in the allowable projection of a canopy into a street side building setback by 20%. The platted building setback along Ridge Road is 20 feet. Structural elements, including canopies are permitted to extend into a building setback by 2 feet. As shown on your site plan for an Arby's Restaurant, you anticipate the canopy over the drive-through window to project 4 feet into the setback.

The Unified Zoning Code allows an adjustment that would increase the allowable projection of structural elements into a side setback a by 20% of the existing setback requirement, provided there is no reduction in the corresponding setback requirement. We find that the increase of the allowable projection of a canopy meets the four conditions required by Section V-1.6 of the Unified Zoning Code as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The increase in projection of a canopy into the street side setback by two feet would not effect the site lines of drivers along Ridge.
- 2) Impact on existing uses in surrounding areas: There should be no negative impact on the



existing uses in surrounding areas as a result of the increase in the projection of this canopy because the building setback will not be reduced along Ridge Road.

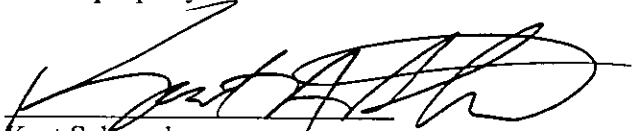
- 3) Compatibility with existing or permitted uses on abutting sites: The increase in projection allowance is compatible with uses in the surrounding area; this is a mixed commercial-retail area with existing and planned drive-through restaurants.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way, therefore, there should not be a negative impact on the public health, safety or welfare nor will properties of improvements in the vicinity be materially injured.

Our signatures below indicate that an Administrative Adjustment to allow an increase in the allowable projection of structural elements (canopy) into the street-side setback by two feet is hereby granted subject to the following condition:

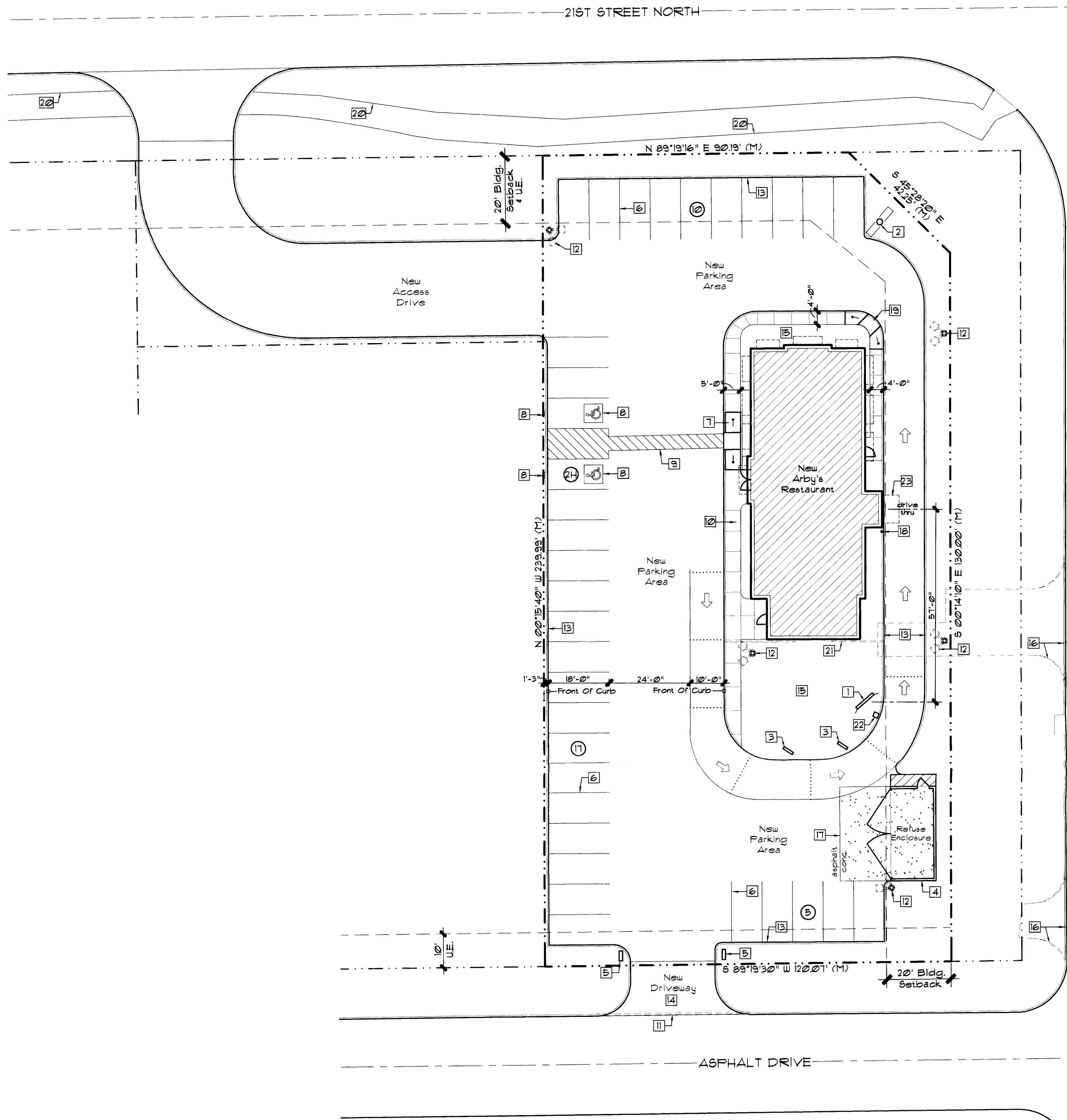
- A. This adjustment shall only apply to the canopy for a drive-through window as indicated on the submitted site plan.

The zoning adjustment sign may now be removed from the property.

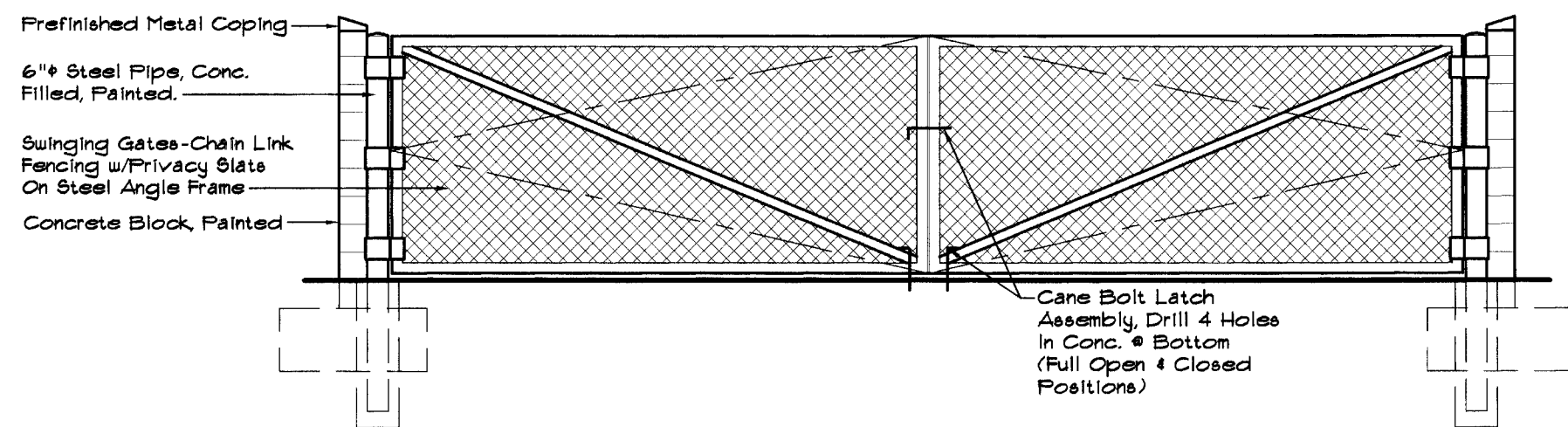

Marvin S. Krout
Director of Planning


Kurt Schroeder
Superintendent of Central Inspections

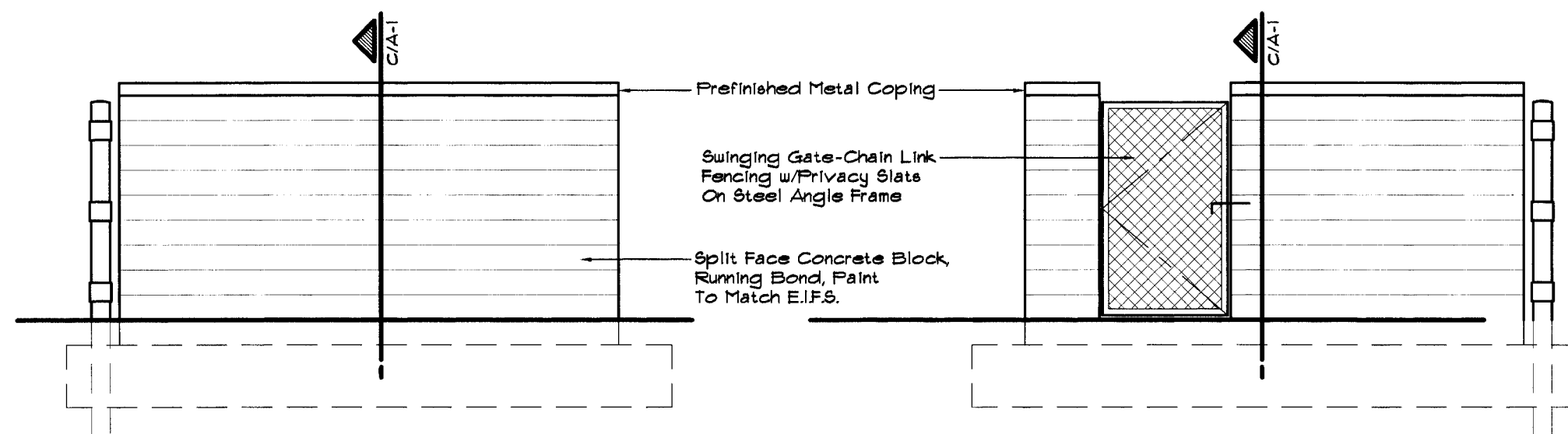
cc: US Beef Corp., Mr. Chris White, 5801 East 41st Street # 712, Tulsa, OK 74135
Classic Real Estate, c/o Mr. Christian Ablah, 8200 E. 32nd Street, #150, Wichita, KS 67226
Kurt Schroeder, Office of Central Inspections



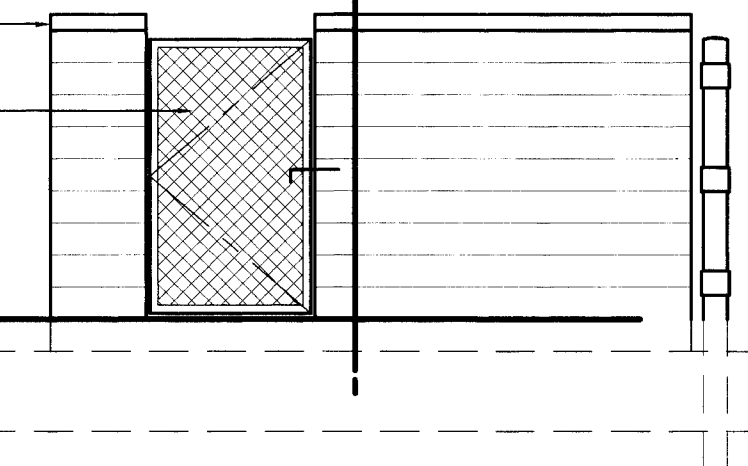
North
A-1
Site Plan
Scale: 1"=20'-0"



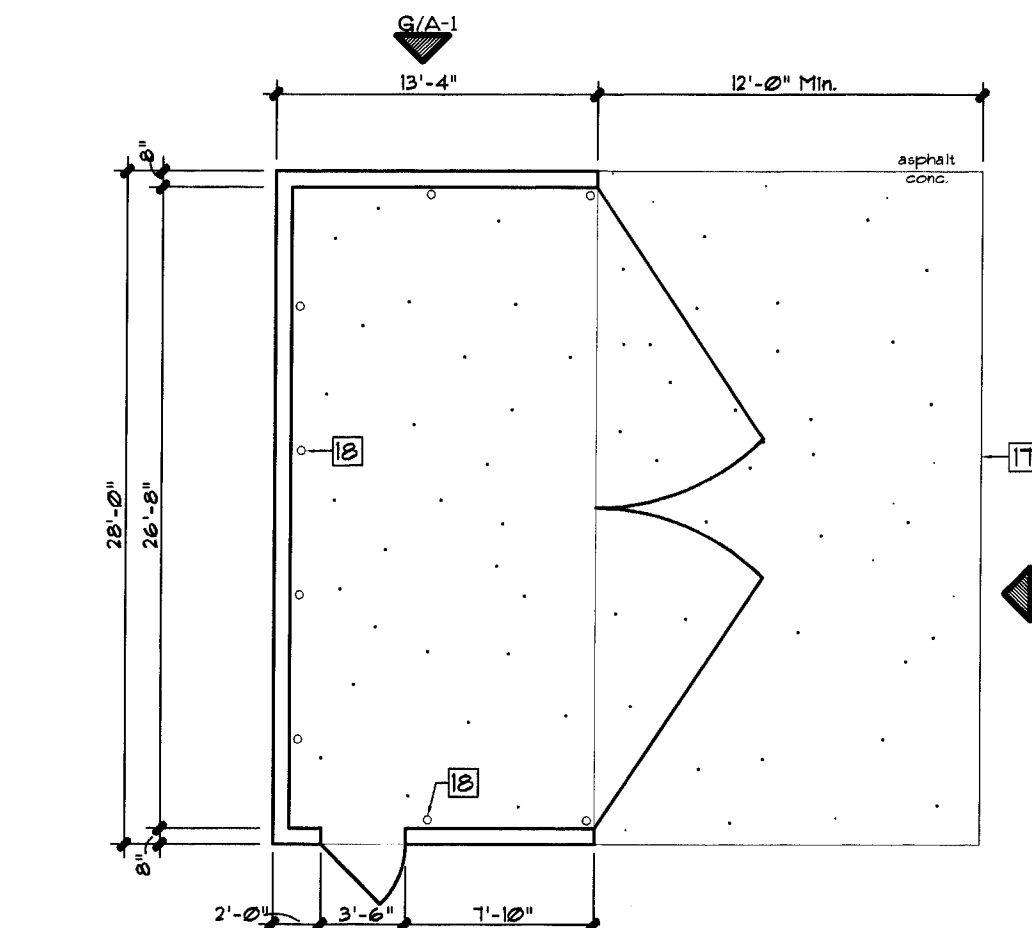
F
A-1
Elevation
Scale: 1/4"=1'-0"



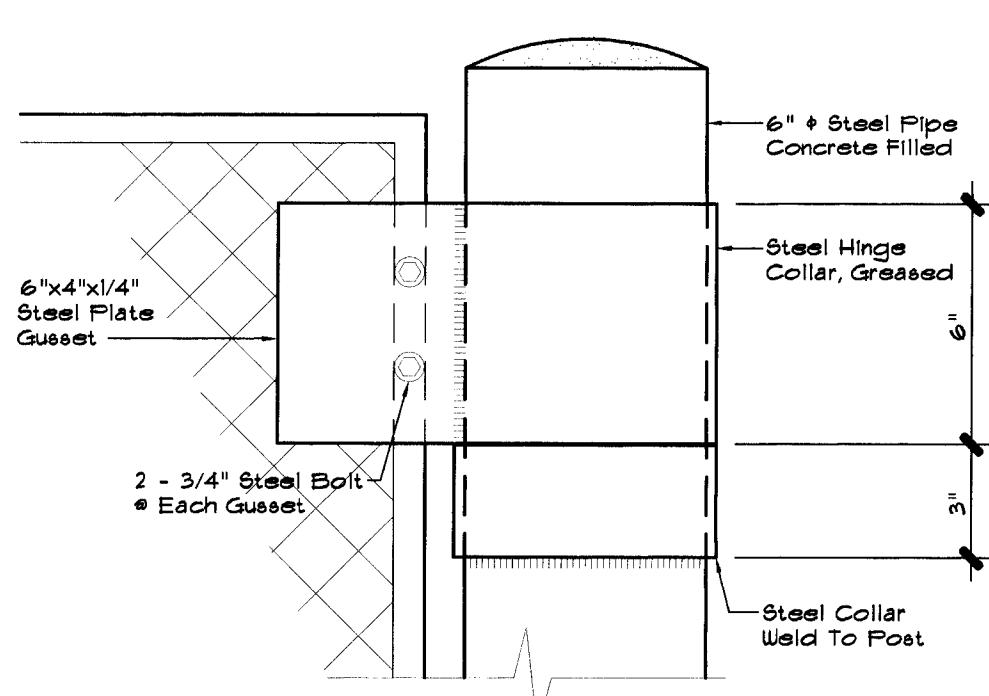
G
A-1
Elevation
Scale: 1/4"=1'-0"



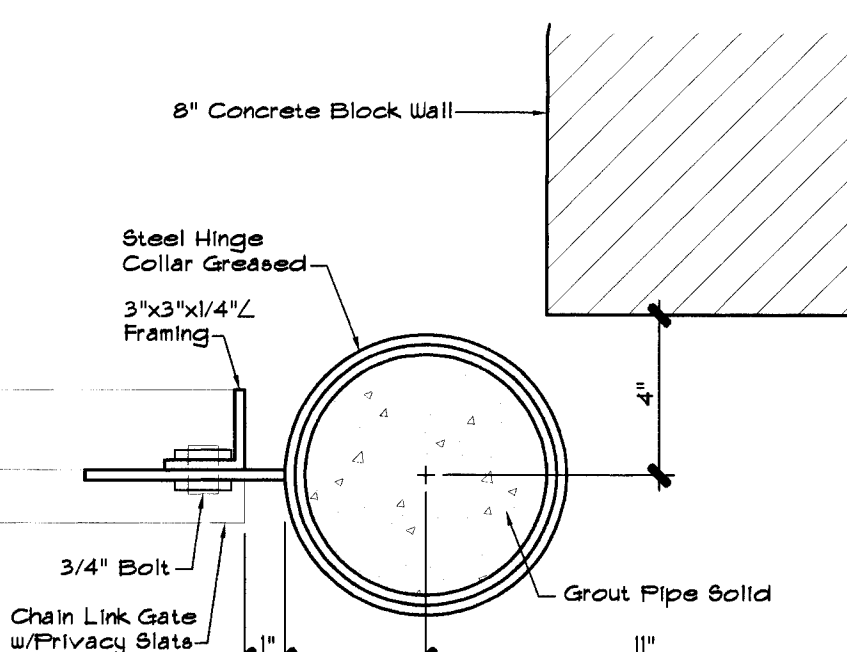
H
A-1
Elevation
Scale: 1/4"=1'-0"



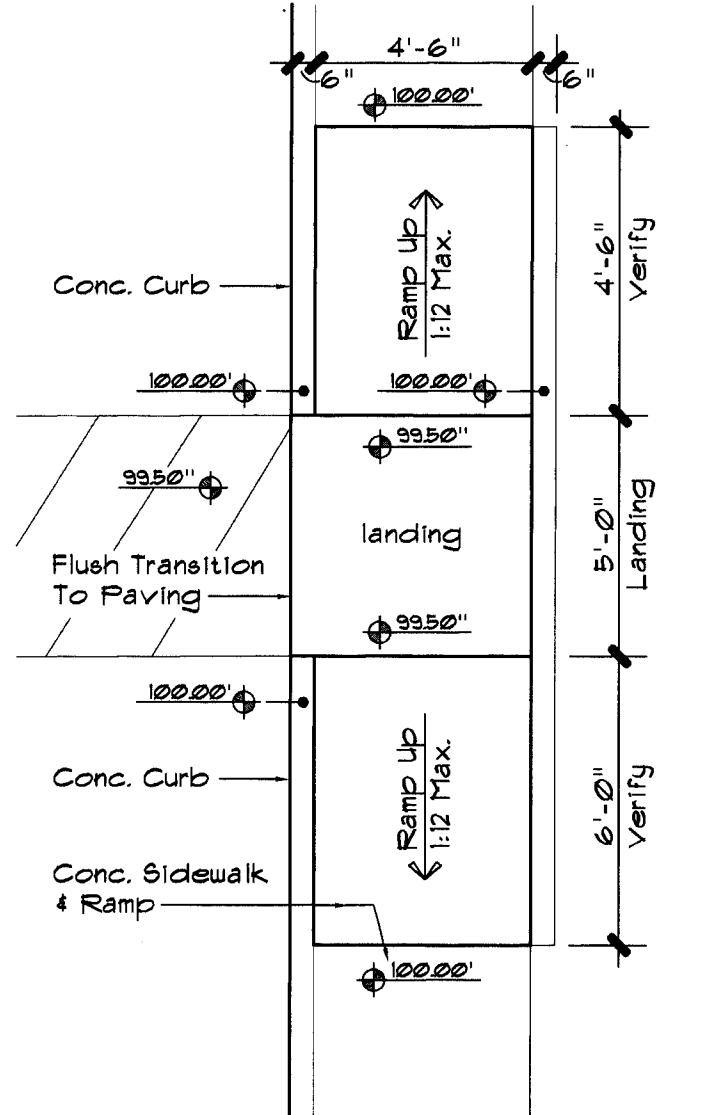
B
A-1
Enlarged Plan Detail
Scale: 1/8"=1'-0"



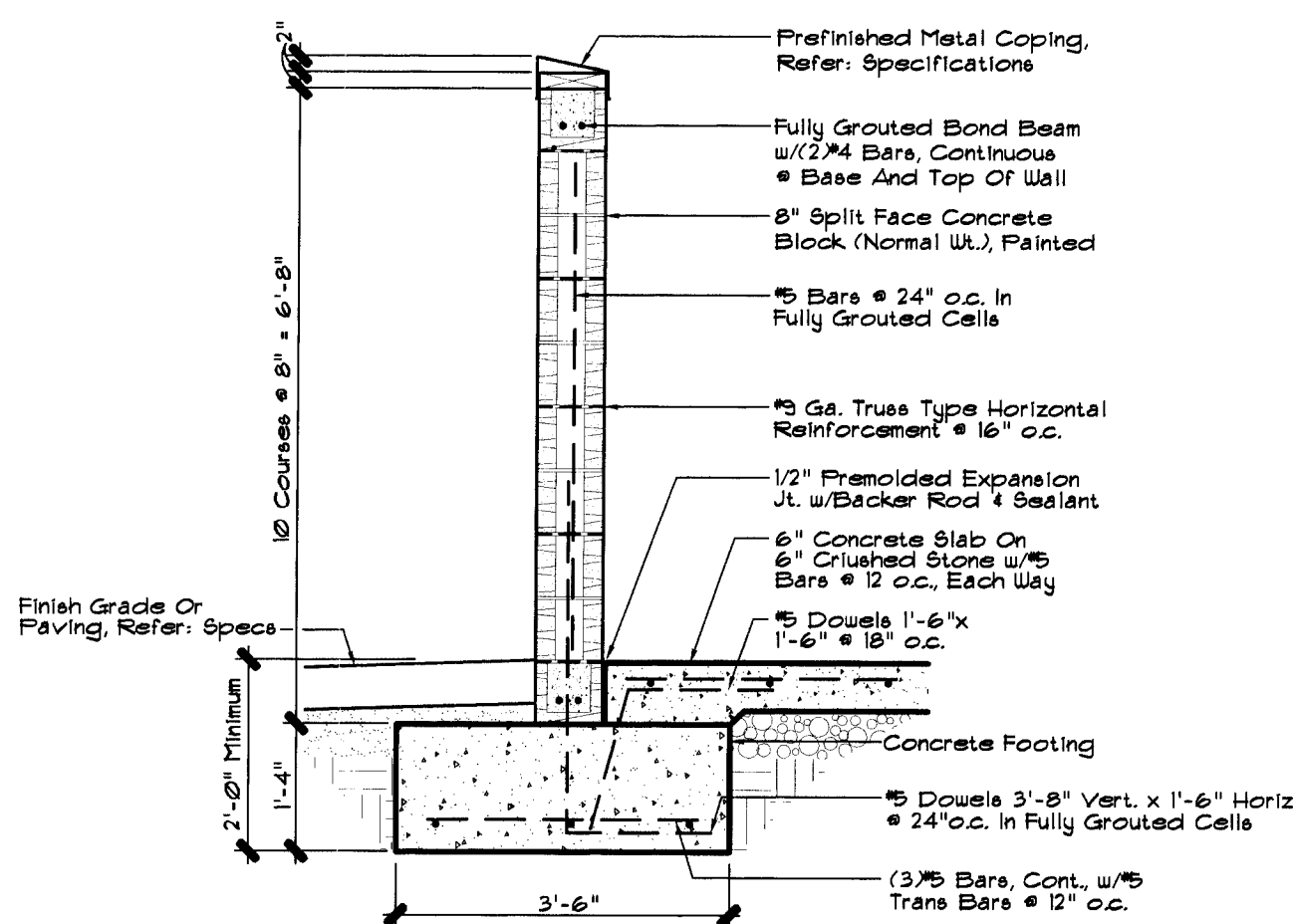
D
A-1
Post Detail
Not To Scale



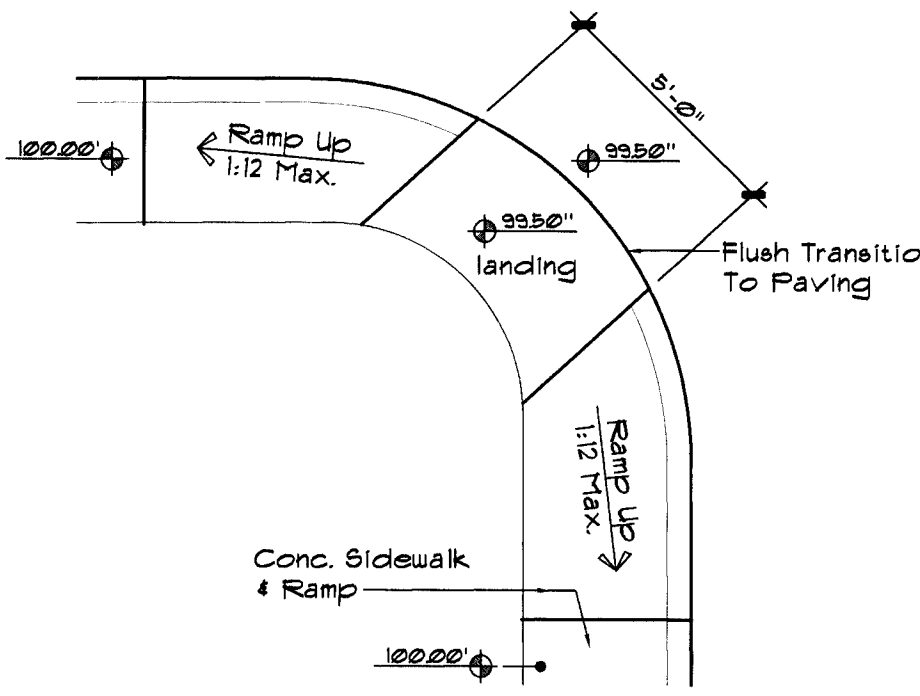
E
A-1
Post Detail
Not To Scale



I
A-1
Ramp Detail
Scale: 1/4"=1'-0"



C
A-1
Section
Scale: 1/2"=1'-0"



J
A-1
Ramp Detail
Scale: 1/4"=1'-0"

Parking Data:

Parking Required
Dining Area - 134 SF. • 15 SF/Occupant = 83 Occupants
Kitchen Area - 165 SF. • 20 SF/Occupant = 6 Occupants
Parking Required - 1 Per 3 Occ. • 83 Occ. = 30 Spaces
Standard Spaces = 30
Accessible Spaces = 2
Total Parking Provided = 34 Spaces

Site Data

Total Site Area = 28352.5 Sq.Ft.
Building Area = 29021 Sq.Ft.
Hard Or Impervious Area = 18981.4 Sq.Ft.

Legal Description

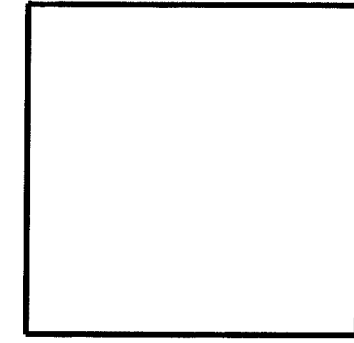
Parcel 1A: The west 120 feet of Laurence Development 1st Addition, Wichita, Sedgwick County, Kansas, Together With The West 120 Feet Of Lot 1, Seller Addition, Wichita, Sedgwick County, Kansas.
Parcel 1B: Laurence Development 1st Addition, Except To The West 120 Feet Thereof, Wichita, Sedgwick County, Kansas, Together With Lot 1, Seller Addition, Except The West 120 Feet Thereof, Wichita, Sedgwick County, Kansas.

General Notes

1. Verify Height For Concrete Footings For Preview And Menuboard With Architect Prior To Installation.
2. Provide 4" PVC Sleeves For Irrigation System At Each Approach And Crossing Parking Areas Where Needed. Contractor To Coordinate Exact Depth And Locations With Irrigation Contractor Prior To Paving.

Keynote Schedule

Mark	Description
1	New Menuboard By Owner, Contractor To Coordinate Installation.
2	New Pole Sign.
3	New (2) Preview Boards By Owner, Contractor To Coordinate Installation.
4	New Refuse Enclosure, Refer: Details Sheet A-1.
5	New Directional Signage By Owner, Contractor To Coordinate Installation.
6	New 4" Painted Striping, Refer: Finish Notes.
7	New ADA Accessible Ramp 1:12 Max. Slope, Refer: Detail.
8	New Accessible Parking, Provide Painted Graphics & Signage. Signs Shall Be Displayed With The Bottom Of The Sign Between 60" And 72" Above The Surface Of The Parking Space. The South Accessible Space Shall Be Designated As Van Accessible.
9	Accessible Route, 1:20 Slope Max.
10	New Concrete Sidewalk, Refer: Specifications.
11	Remove Existing Curbing, Patch & Repair As Required.
12	New Pole Light, Refer: Specifications.
13	New 6" Concrete Curb, Refer: Specifications.
14	New Approaches Shall Be Installed To Meet The City Of Wichita Specifications. Approaches Shall Be 6 Inches In Depth With 6x6 Wx14x14 Unadorned Upright Fabric. Separate Details Are Required For Each New Approach.
15	Landscaping Area, Refer: Sheet L-1.
16	Existing Curbing And Driveway To Be Removed, Provide New Concrete Curb Per City Requirements. Provide New Grading And Sod As Required.
17	Reinforced Concrete Approach And Pad - 6" Thick 3500 PSI Concrete
18	4" Pipe Bollard, Grout Pipe Solid, Typical.
19	Corner Accessible Ramp, Refer: Detail.
20	Existing Sidewalk To Remain, Patch And Repair As Required.
21	Provide PVC Extensions As Downspouts. Extend Through Nearest Curb.
22	Drive-Thru Order Speaker Box.
23	Future Drive-Thru Awaiting Contingent Upon Zoning Administrative Adjustment Approval.



Revisions:
REVISED:
November 2, 1999

White Design Group
Architectural and Interiors Consulting
5801 EAST 41ST STREET, SUITE 712, TULSA, OKLAHOMA 74135

New Restaurant for:
Arby's - 21st & Ridge Road
Wichita, Kansas

Sheet Content

Site Plan, Enlarged Plan Detail, Elevations, Post Details, Section, Ramp Detail

Sheet Number

A-1
Date: 8-18-99