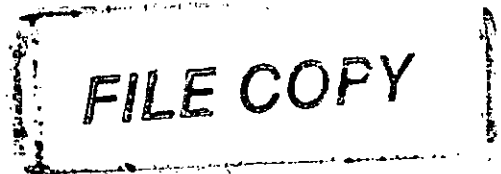




Wichita-Sedgwick County Metropolitan Area Planning Department

December 15, 2000

Richard and Sammy Flaharty
2802 S. 295th St. W.
Garden Plain, KS 67050



Re: BZA2000-00064: An administrative adjustment to allow a time extension of a use exception for a temporary manufactured home permitted by CoBZA Resolution No. 13-95

Legal Description: The N 351.29' of the W 620' of the SW/4 of Sec. 5, Twp. 28S R3W of the 6th P.M. Sedgwick County, Kansas. Located ½ mile south of 23rd St. S. on the east side of 295th St. W. (2802 S. 295th St. W.)

Dear Mr. and Mrs. Flaharty:

We have reviewed your request for an Administrative Adjustment to allow a time extension of a use exception for a temporary manufactured home permitted by CoBZA Resolution No. 13-95. The use exception was granted to permit a temporary residence for Paul Carlson, Sammy Flaharty's father, who was in need of care due to his advanced age. You state in your application that you have sold the manufactured home to Randall Ferris and Karen Ferguson, who temporarily occupied the manufactured home while arrangements were made to move the manufactured home off the aforementioned property to another site. You further state in your application that Karen Ferguson needs to continue to temporarily occupy the manufactured home on the aforementioned property due to personal reasons beyond her control while further arrangements are made to move the manufactured home to another site.

The Unified Zoning Code allows an Administrative Adjustment grant short time extensions for use exceptions in situations warranted by extreme circumstances. We find that a short time extension of the use exception for a temporary manufactured home meets the four conditions required by Section V-I.6 of the Unified Zoning Code as set out below:

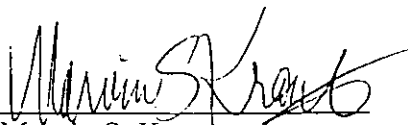
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: This request is for short time extension to allow a temporary manufactured home to remain on the aforementioned property. Public vehicular and pedestrian circulation will not be affected.

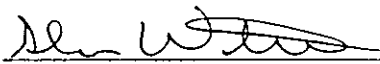
- 2) Impact on existing uses in surrounding areas: The temporary manufactured home has existed on the site for the past five years with no apparent negative impacts on surrounding areas. A short time extension for the temporary manufactured home should have no negative impacts on surrounding areas.
- 3) Compatibility with existing or permitted uses on abutting sites: The existing and permitted uses on abutting sites are agricultural in nature. A temporary manufactured home is compatible with agricultural uses.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way, therefore, there should not be a negative impact on the public health, safety or welfare nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that an Administrative Adjustment to allow a six month time extension for a use exception for a temporary manufactured home to be located on the aforementioned property is hereby granted, subject to the following conditions:

- 1) The temporary manufactured home shall remain on site only if Karen Ferguson resides in the temporary manufactured home and Sammy and/or Richard Flaharty reside in the other dwelling unit on site.
- 2) The temporary manufactured home shall be removed from the site by June 15, 2001.
- 3) The applicant shall report to the Sedgwick County Code Enforcement Office by April 15, 2001 the status of arrangements to move the manufactured home to another site.

The zoning adjustment sign may now be removed from the property.


Marvin S. Krout
Planning Director


Glen Wiltse
Code Enforcement Director

MK/KS/sk

cc: Jim Lawing, 200 E. 1st St. N., Wichita, KS 67202

SKETCH OF SEWAGE FACILITY

ENVIRONMENTAL HEALTH DIVISION
WICHITA-SEDGWICK CO. DEPT.
OF COMMUNITY HEALTH

ADDRESS

2802 S. 295 W.

draw

N

100'

10'

10'

10'

10'

AS BUILT

CALL 268-1251 FOR INSPECTION BEFORE BACKFILLING

INITIAL

NOTE: ANY SIGNIFICANT DEVIATION FROM ABOVE PLANS OR HEALTH DEPT STANDARDS MUST BE APPROVED BEFORE CONSTRUCTION.

INSTALLATION EVALUATION TO BE FILLED OUT BY HEALTH OFFICER

TANK:	TOT. LIQUID VOLUME	BRAND	MATERIAL
1000		Clifton	Concrete
TEE OR ELBOW INLET AND/OR OUTLET			
>50			
DISTANCE FROM ON SITE WATER WELL			
SEWER: SDR 35 ☒ SCH 40 ☐ CI ☐			
OTHER ☐		DISTANCE FROM WELL	
		>25'	
LATERAL FIELD:		TOTAL LENGTH	LEVEL?
		550'	YES ☒ NO ☐
PLASTIC ☒		3000# CR ☐	
DISTANCE FROM:		ONSITE WELL	NEIGHBORS' WELL
		>50'	>50'
PROPERTY LINES LESS THAN 25 FT.		FRONT	REAR
		OK	OK
		SIDE	OTHER
		OK	OK
TRENCH WIDTH	DEPTH, TOP OF PIPE TO GRADE	DISTANCE BTN LINES	
24"	24"	10'	
TYPE OF ROAD FILTER MATERIAL: GRAVEL ☒ OTHER ☐			
DEPTH OF MATERIAL:		BENEATH PIPE	OVER PIPE
12"		6"	2"

SKETCH OF PLAN:

REASON FOR EXISTING SYSTEM ADD-ONS, REMARKS: