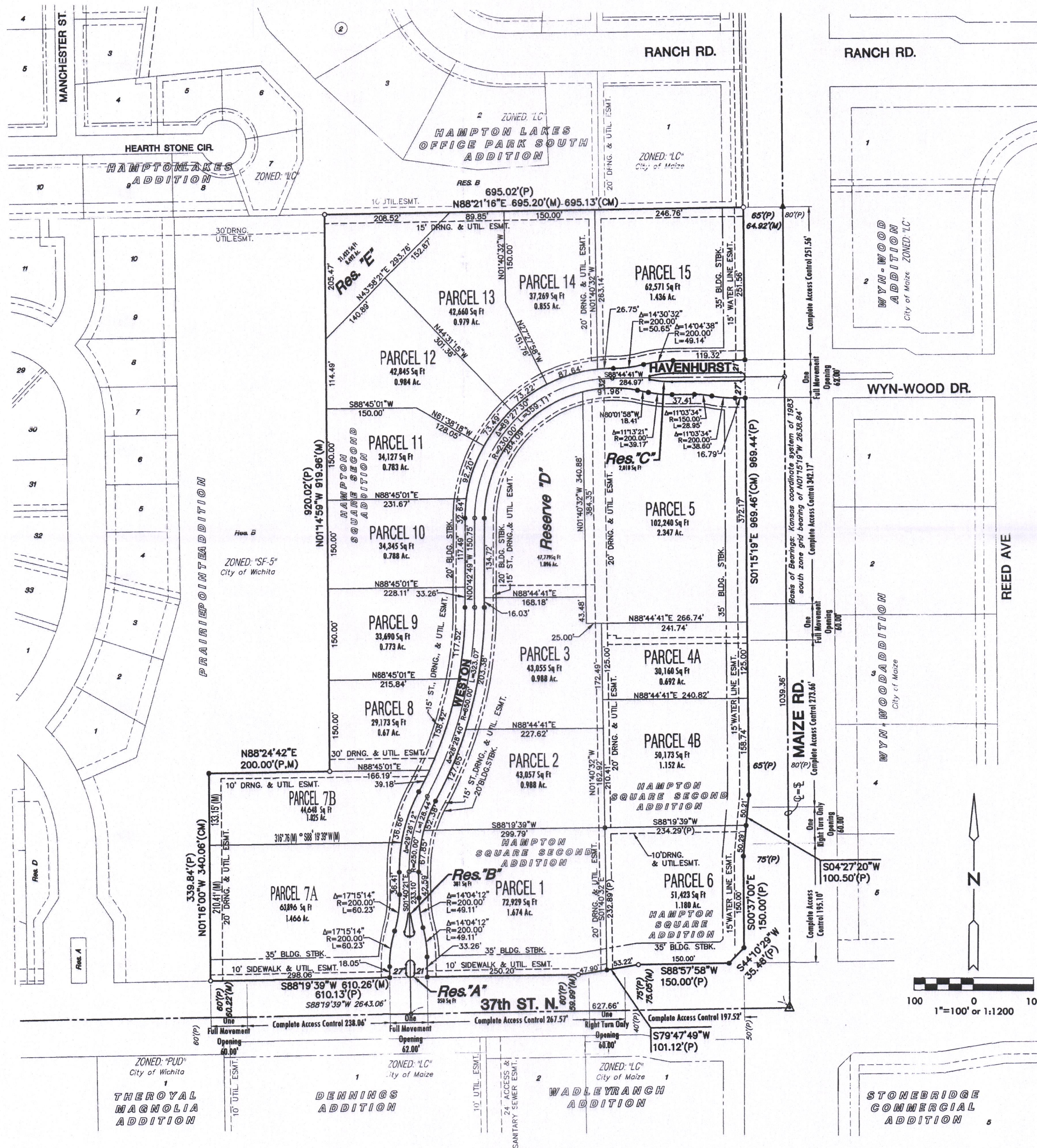


C.U.P. D.P. - 262

37TH & MAIZE COMMERCIAL C.U.P.

OWNER: HAMPTON LAKES, LLC



- This development contains 25.5 gross acres or 24.6 net acres.
(Net acres are determined by subtracting street R/W)

2. Parcel Descriptions:

PARCEL 1
Gross area= 1.674 ac. or 72,929 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 2
Gross area= 0.988 ac. or 43,057 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 3
Gross area= 0.988 ac. or 43,055 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 4A
Gross area= 0.692 ac. or 30,160 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 4B
Gross area= 1.152 ac. or 50,173 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 5
Gross area= 2.347 ac. or 102,240 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 6
Gross area= 1.180 ac. or 51,423 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 7A
Gross area= 1.466 ac. or 63,896 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 7B
Gross area= 1.025 ac. or 44,648 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 8
Gross area= 0.67 ac. or 29,173 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 9
Gross area= 0.773 ac. or 33,690 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 10
Gross area= 0.788 ac. or 34,345 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 11
Gross area= 0.783 ac. or 34,127 sq. ft.
Maximum height= 35 feet
Maximum coverage= 30%
Max. Gross floor area= 30%

PARCEL 12
Gross area= 0.984 ac. or 42,845 sq. ft.
Maximum height= 45 feet
Maximum coverage= 30%
Max. Gross floor area= 40%

PARCEL 13
Gross area= 0.979 ac. or 42,660 sq. ft.
Maximum height= 45 feet
Maximum coverage= 30%
Max. Gross floor area= 40%

PARCEL 14
Gross area= 0.855 ac. or 37,269 sq. ft.
Maximum height= 45 feet
Maximum coverage= 30%
Max. Gross floor area= 40%

PARCEL 15
Gross area= 1.436 ac. or 62,571 sq. ft.
Maximum height= 45 feet
Maximum coverage= 30%
Max. Gross floor area= 40%

3. Permitted Land Uses:

The following uses are permitted for all parcels within the C.U.P.:

All uses permitted in the L.C. Zoning District, except for group homes, correctional placement residences, vehicle storage yards, general vehicle repair, outdoor storage and asphalt or concrete plants. Parcels 7, 8, 9, 10, 11, 12, & 13 shall additionally prohibit service stations, convenience stores with gas islands, and vehicle service or repair with overhead doors facing residential districts. No service stations, convenience stores with gas islands, restaurants with drive-in and drive-through facilities shall be permitted within 200 feet of west boundary of the C.U.P.

- The transfer of the title on all or any portion of the land included in the development does not constitute a termination of the plan or any portion thereof; but said plan shall run with the land for development and be binding upon the present land owners, their successors and assigns and their lessees unless amended. However, the planning director, with the concurrence of the O.C.I. superintendent, may approve minor adjustments to the conditions in this overlay, consistent with the approved development plan, without filing a formal ordinance amendment.

- Landscape and parking lot screening shall be in accordance with the City of Wichita code. A landscape plan indicating the location, type, and specification of plant material shall be submitted by a landscape architect to the planning department for their review and approval prior to the issuance of any building permit(s). A financial guarantee for the plant materials approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to the issuance of any occupancy permit if the required landscaping has not been planted.

- Minimum setback requirements: Shall be per Plat and CUP Plan.

- Signs shall be in accordance with appropriate codes with the following additional conditions:
 - As the frontage develops along the arterial roadways, monument type signs shall be spaced a minimum of 150' apart, irrespective of how land is leased or sold, except however, signs may be spaced a minimum of 50' when within a development identification monument sign.
 - Electronic message signs are allowed and shall be permitted in conformance with the Wichita Sign Code. Flashing signs (except for signs showing only time, temperature, and other public service messages), rotating or moving signs, signs with moving lights of signs which create illusions of movement are not permitted.

- Portable and off-site signs are not permitted.
- Window display signs are limited to 25 percent of the window area.
- No signs shall be allowed on the rear of any buildings, except for Parcels 1, 2, 3, 4A, 4B, 5, and 6, that have commercial frontage on all four sides.
- All freestanding signs must be monument type and shall have a maximum height of 20 feet, except that one 27.5-foot sign on Maize Road and one 27.5-foot sign on 37th Street North. The maximum sign face area along the arterial streets of Parcels 1, 4A, 4B, 5, 6, 7, and 15 shall not exceed 80 percent of the cumulative lot frontages. The maximum sign face area along the neighborhood collector streets of Parcels 1, 2, 3, 7, 8, 9, 10, 11, 12, 13, 14 and 15 shall not exceed 50 percent of the cumulative lot frontages. The Developer / Owners shall be responsible for allocating the sign areas for each parcel.

Maize Road - total allowed sign area 990 square feet
37th Street - total allowed sign area 703 square feet
Weston Street - total allowed sign area 956 square feet
Havenhurst Street - total allowed sign area 401 square feet

Sign area shall be calculated by the adding the actual advertising area, not to including sign base or structure.

- Signs continued:
 - If a hotel is developed on Parcels 11 - 15, requests for taller building signage may be looked upon with favor, but will be required to be approved as either an adjustment or amendment to the C.U.P. depending on the significance of the requested increase.
- Parking - shall be in accordance with the wichita-sedgewick county Unified zoning code.
- Architectural control - All buildings within the C.U.P. shall have the same predominate exterior building materials with consistent architectural character, color and texture, and consistent lighting design (fixtures, poles, lamps, etc.) as approved by director of planning. No facades that are predominantly metal shall be allowed. This requirement shall also apply to any retail development (e.g. restaurants, banks, convenience store/service stations, grocery store, personal care or improvement services) located on property zoned "L.C".
- An owners association agreement providing for the maintenance of reserves, open space, internal devices, parking areas, drainage improvements, etc., shall be filed by the time the plat is filed of record.
- No occupancy permits shall be issued for any development without being served by municipal water and sewer services.
- Cross-lot circulation is to be provided for all lots platted for retail, commercial or office uses.
- All drainage ways and easements shall be determined at the time of platting.
- A lot grading plan will be prepared in conformance with the drainage concept plan for review prior to the issuance of a building permit.
- Loading areas, trash receptacles, outside storage, and docks in the C.U.P. shall be screened from ground level view along 37th Street North and Maize Road. Screening of all trash dumpsters, outside storage, and mechanical equipment will be constructed of material to match and preferably be connected to the buildings they support.
- Masonry walls:
 - A six (6) foot tall masonry wall shall be constructed along west property line of the C.U.P. in conformance with the provisions of Article III, Section III-C.2.b.(2)(d) of the unified zoning code, except as provided below. The wall shall be constructed with a pattern and color that is consistent with the abutting Parcels building walls.
 - The construction of a wall along the west lines of the Parcels 8, 9, 10, 11, and 12 will be required if the following provisions are not met:
 - Landscape evergreens or low wall screening shall be utilized to shield the view of parking lots from the residential lots west of the adjoining pond/reserve. Such screening shall be installed prior to the issuance of occupancy permit, and shall be approved by the Planning Director. The parking lots shall be predominantly on the east portions of the above specified Parcels.
 - No service drives are allowed along the west property line.
 - Utilities visible from the west residential lots shall be screened from ground view with fencing, landscaping, masonry or stucco wall, and/or any combination thereof.
- The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the governing body, and any substantial deviation of the plan, as determined by the zoning administrator and The director of planning, shall constitute a violation of the building permit authorizing construction of the proposed development.
- Prior to issuing building permits, a plan for a pedestrian walk system shall be submitted and approved by the director of planning. This walk system shall link sidewalks along 37th Street North and Maize Road with the proposed buildings within the subject property and with pedestrian connectivity being provided for residential development to the west as determined by the Planning Director.
- All exterior lighting shall be shielded to direct light disbursement downward and away from residential zoning.
- All parcels shall share similar or consistent parking lot lighting elements (i.e. fixtures, poles and lamps, and etc.).
 - Light poles shall be limited in height to 24 feet, except within 200 feet of residentially zoned Lots where light poles shall not exceed 14 feet in height (Reserves not counted as Lots).
 - Extensive use of backlit canopies and neon or fluorescent tube lighting on buildings is not permitted.
- Traffic improvements to Maize Road and 37th Street North shall be determined at the time of platting.
- Prior to issuance of any building permit, a site circulation plan shall be approved for the overall circulation of the C.U.P. that provides for smooth flow of traffic among all parcels, and providing connectivity with the properties to the north / northwest.

As per Admin Adjustment CUP 2022-0040
APPROVED CUP
MAPE 9/2/2022
Cpy 20f4



Professional Engineering Consultants, P.A.
303 S. TOPKA • WICHITA, KANSAS 67202
316-262-2691 • FAX 316-262-3003



Wichita, KS • 316.684.9600



Wichita-Sedgwick County Metropolitan Area Planning Department

September 2, 2022

Hampton Square, LLC
2243 N. Ridge Road, Ste 105
Wichita, KS 67205

KE Miller Engineering
Attn: Kirk Miller
117 E. Lewis
Wichita, KS 67202

RE: CUP2022-00040 – Administrative Adjustment in the City to the 37th and Maize Commercial Cup DP-262 to align parcel to recent lot split on property zoned LC Limited Commercial; located on the northwest corner of North Maize Road and West 37th Street North.

LEGAL DESCRIPTION: Lot 1, Block 2, Hampton Square 2nd Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to DP-262 to alter the parcel boundary and area calculations of Parcel 7A and 7B associated with Lot Split LSP2022-00023, which split Parcel 7 into Parcels 7A and 7B. The following reflects the proposed modifications identified in red letters:

PARCEL 7A

Gross Area = **1.466 ac. or 63,896 sq. ft.**
Maximum Height = 35 feet
Maximum Building Coverage = 30%
Max. Gross floor area = 30%

PARCEL 7B

Gross Area = **1.025 ac. or 44,648 sq. ft.**
Maximum Height = 35 feet
Maximum Building Coverage = 30%
Max. Gross floor area = 30%

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan. Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein. The "Development Application" sign should now be removed from the property. Please submit one (1) electronic copy and four (4) full-sized paper copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

Scott Wadle, Director
Metropolitan Area Planning Department

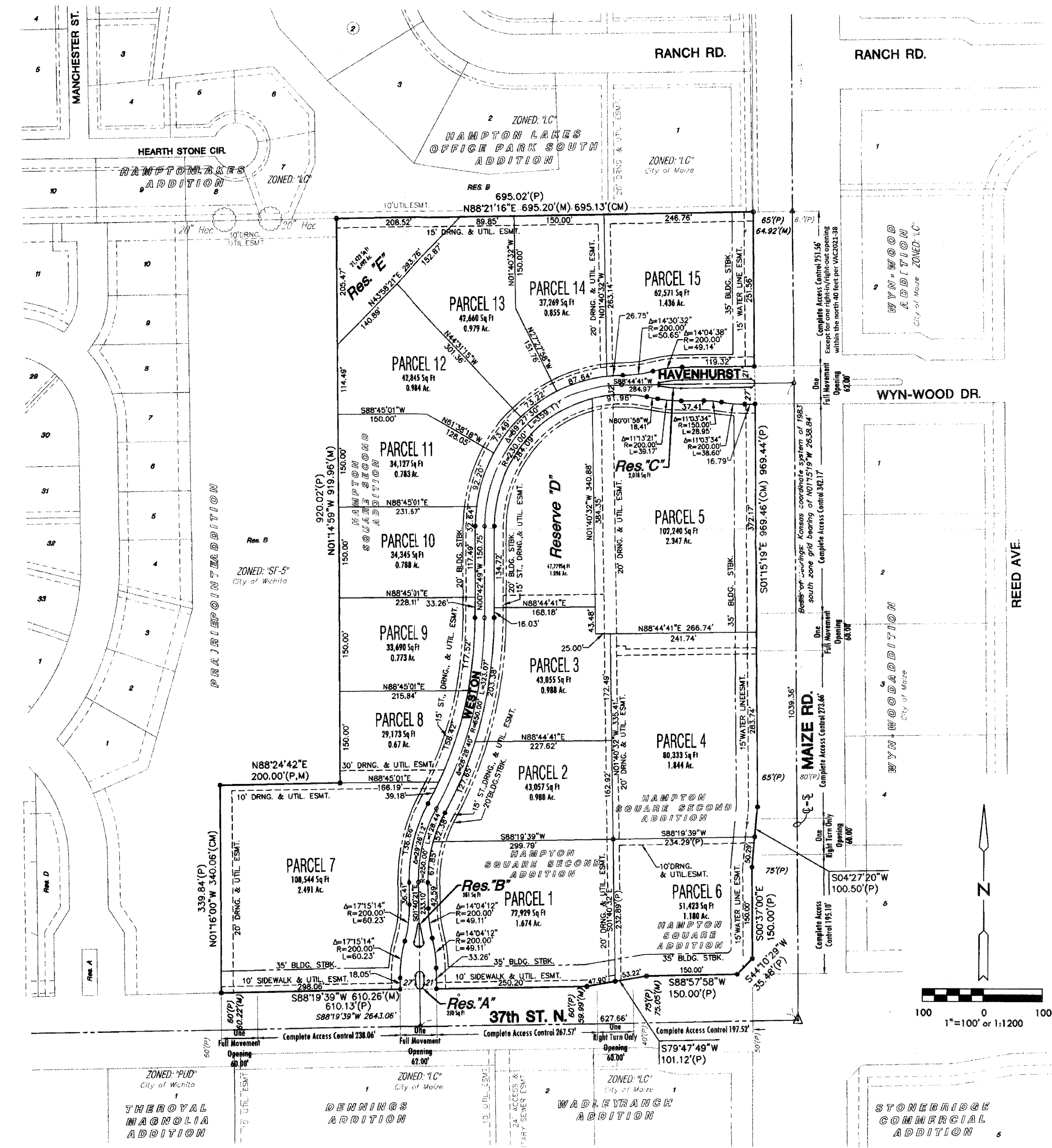
J.R. COX JR.
John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD, Bryan Frye, CM District V, Cory Buchta, CSR District V

C.U.P. D.P.- 262

37TH & MAIZE COMMERCIAL C.U.P.

OWNER: HAMPTON LAKES, LLC



- This development contains 25.5 gross acres or 24.6 net acres. (Net acres are determined by subtracting street R/W)
- Parcel Descriptions:

PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	PARCEL 5	PARCEL 6	PARCEL 7	PARCEL 8	PARCEL 9	PARCEL 10	PARCEL 11	PARCEL 12	PARCEL 13	PARCEL 14	PARCEL 15
Gross area= 1.674 ac. or 72,929 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.988 ac. or 43,057 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.988 ac. or 43,055 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 1.844 ac. or 80,333 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 2.347 ac. or 102,240 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 1.180 ac. or 51,423 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 2.491 ac. or 108,544 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.67 ac. or 29,173 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.773 ac. or 33,690 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.788 ac. or 34,345 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.783 ac. or 34,127 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 0.984 ac. or 42,845 sq. ft. Maximum height= 45 feet Maximum coverage= 30% Max. Gross floor area= 40%	Gross area= 0.979 ac. or 42,860 sq. ft. Maximum height= 45 feet Maximum coverage= 30% Max. Gross floor area= 40%	Gross area= 0.855 ac. or 37,269 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	Gross area= 1.436 ac. or 62,571 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%
- Permitted Land Uses:

The following uses are permitted for all parcels within the C.U.P.: All uses permitted in the L.C. Zoning District, except for group homes, correctional placement residences, vehicle storage yards, general vehicle repair, outdoor storage and asphalt or concrete plants. Parcels 7, 8, 9, 10, 11, 12, & 13 shall additionally prohibit service stations, convenience stores with gas islands, and vehicle service or repair with overhead doors facing residential districts. No service stations, convenience stores with gas islands, restaurants with drive-in and drive-through facilities shall be permitted within 200 feet of west boundary of the C.U.P.
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Maize Road - total allowed sign area	990 square feet
37th Street - total allowed sign area	703 square feet
Weston Street - total allowed sign area	956 square feet
Havenhurst Street - total allowed sign area	401 square feet
Sign area shall be calculated by the adding the actual advertising area, not to including sign base or structure.	

- Signs continued:
 - If a hotel is developed on Parcels 11 - 15, requests for taller building signage may be looked upon with favor, but will be required to be approved as either an adjustment or amendment to the C.U.P. depending on the significance of the requested increase.
- Parking - shall be in accordance with the wichita-sedgwick county Unified zoning code.
- Architectural control - All buildings within the C.U.P. shall have the same predominate exterior building materials with consistent architectural character, color and texture, and consistent lighting design (fixtures, poles, lamps, etc.) as approved by director of planning. No facades that are predominantly metal shall be allowed. This requirement shall also apply to any retail development (e.g. restaurants, banks, convenience store/service stations, grocery store, personal care or improvement services) located on property zoned "L.C".
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- A lot grading plan will be prepared in conformance with the drainage concept plan for review prior to the issuance of a building permit.
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- Masonry walls:
 - A six (6) foot tall masonry wall shall be constructed along west property line of the C.U.P. in conformance with the provisions of Article III, Section III-C.2.b.(2)(d) of the unified zoning code, except as provided below. The wall shall be constructed with a pattern and color that is consistent with the abutting Parcels building walls.
 - The construction of a wall along the west lines of the Parcels 8, 9, 10, 11, and 12 will be required if the following provisions are not met:
 - Landscaped evergreens or low wall screening shall be utilized to shield the view of parking lots from the residential lots west of the adjoining pond/reserve. Such screening shall be installed prior to the issuance of occupancy permit, and shall be approved by the Planning Director. The parking lots shall be predominantly on the east portions of the above specified Parcels.
 - No service drives are allowed along the west property line.
 - Utilities visible from the west residential lots shall be screened from ground view with fencing, landscaping, masonry or stucco wall, and/or any combination thereof.
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- All exterior lighting shall be shielded to direct light disbursement downward and away from residential zoning.
- All parcels shall share similar or consistent parking lot lighting elements (i.e. fixtures, poles and lamps, and etc.).
 - Light poles shall be limited in height to 24 feet, except within 200 feet of residentially zoned Lots where light poles shall not exceed 14 feet (Reserves not counted as Lots).
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- Traffic improvements to Maize Road and 37th Street North shall be determined at the time of platting.
- Prior to issuance of any building permit, a site circulation plan shall be approved for the overall circulation of the C.U.P. that provides for smooth flow of traffic among all parcels, and providing connectivity with the properties to the north / northwest.

APPROVED CUP

MAPC 10-10-02
WCC 11-13-02
MAPC copy 1 of 4

As per AA CUP2021-00061
11-9-2021



REVISED PER ADJUSTMENT CUP2021-61 DATED NOVEMBER 9, 2021



Professional Engineering Consultants, P.A.
303 S. TOPEKA • WICHITA, KANSAS 67202
316-262-2691 • FAX 316-262-3003



MKEC
ENGINEERING
CONSULTANTS, INC.
411 N. WEBB ROAD
WICHITA, KS. 67206
316-262-2691

DP-262

37th & MAIZE COMMERCIAL
COMMUNITY UNIT PLAN

GENERAL PLANTING NOTES

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCH./LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
6. SOD/SEED TYPE SHALL BE LOCALLY AVAILABLE TALL FESCUE BLEND OR OTHER TURF GRASS APPROPRIATE FOR THE AREA.
7. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
8. RE-ESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
9. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
10. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
11. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
12. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
13. STEEL EDGER BY "PROSTEEL, INC.". EDGER TO BE 10 GAUGE (1/8" X 4" HIGH) AND PAINTED GREEN. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. TOP OF EDGER TO ALIGN WITH SIDEWALK/CURB WHERE OCCURS. GRADE TO BE 1" BELOW TOP OF EDGER ON LAWN SIDE. REFER TO EDGER DETAIL.
14. INSTALL SMALL RIVER ROCK IN ALL PLANTING BEDS AROUND BUILDING, AS NOTED ON PLAN, WITH A GEOTEXTILE FABRIC UNDERNEATH. SAMPLE OF SMALL RIVER ROCK SHALL BE PROVIDED PRIOR TO INSTALLATION. SIZE OF SMALL RIVER ROCK TO BE 2" TO 4".
15. USE SHREDDED CEDAR WOOD MULCH IN ALL OTHER PLANTING BEDS. LANDSCAPE CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL.
16. PLANTING BEDS RECEIVING RIVER ROCK OR SHREDDED CEDAR WOOD MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
17. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
18. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
19. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
20. TURF AND PLANTING BEDS ARE TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

LANDSCAPE CODE CALCULATIONS

LANDSCAPED STREET YARD:
LANDSCAPED STREET YARD:
142 LF Weston x 15 = 2,130 Total Landscaped Street Yard Required
7,098 SF Street Yard Provided

STREET YARD TREES:
2,130 / 500 = 4.26 Trees Required
4 Shade Trees + 10 Shrubs provided

BUFFERS REQUIRED:
None Required

PARKING LOT SCREENING & LANDSCAPING:
Parking Lot is Screened W/Shrubs

PARKING LOT TREES:
45 Total Stalls / 20 = 2.25 Trees Required
3 Trees Provided (one-half of street trees + 1 Tree)

PLANT MATERIAL SCHEDULE

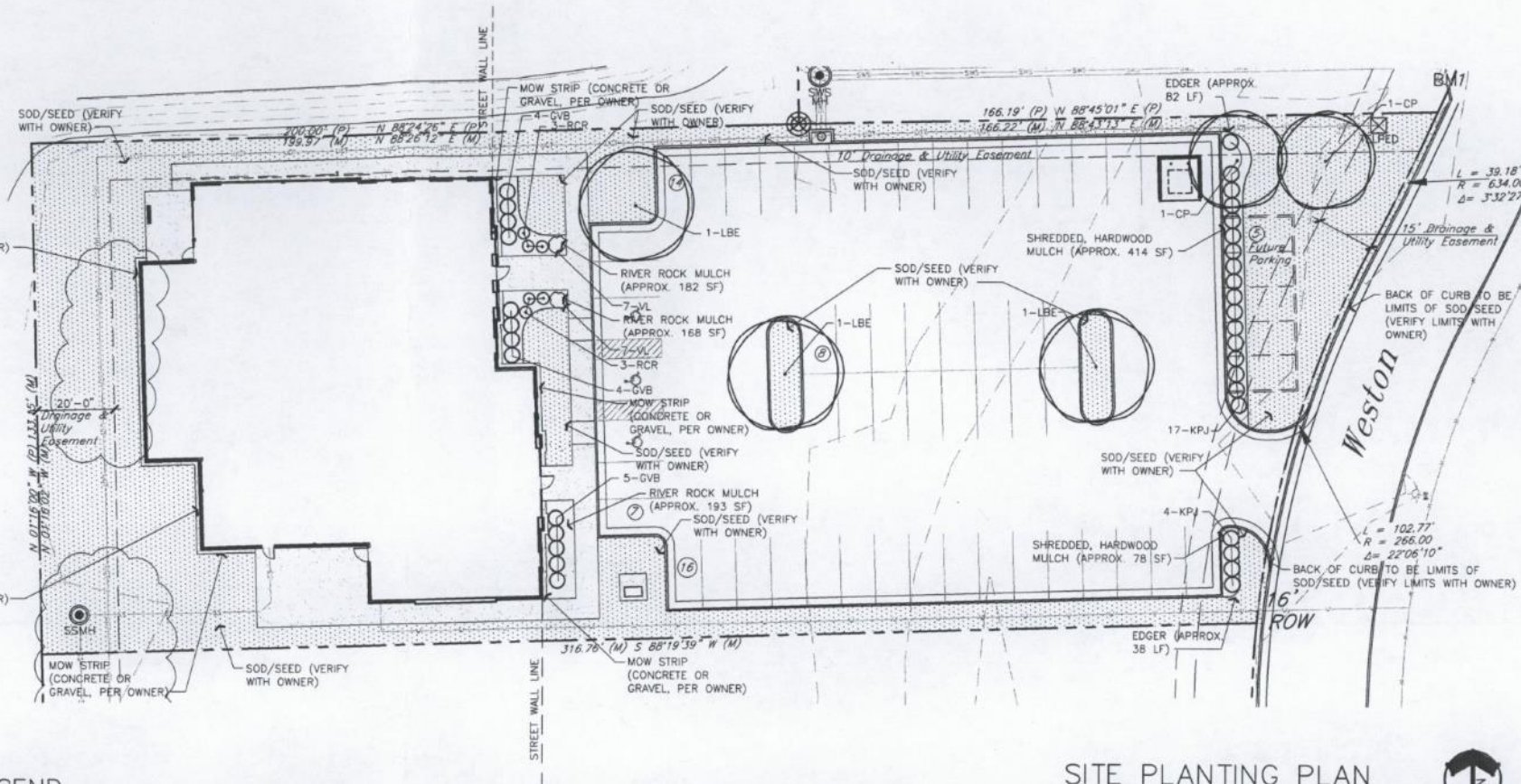
TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SHADE TREES					
CP	2	CHINESE PISTACHE	CHINENSIS PISTACIA	2" CAL	6' MIN. HT.
LBE	3	LACEBARK ELM	ULMA PARVIFOLIA 'ALLEE'	2" CAL	6' MIN. HT.
SMALL TREES					
EVERGREEN SHRUBS					
GVB	13	GREEN VELVET BOXWOOD	BUXUS X GREEN VELVET	3 GAL.	
KPJ	21	KALLAY PFITZER JUNIPER	JUNIPERUS PFITZERIANA 'KALLAY'S COMPACT'	3 GAL.	
DECIDUOUS SHRUBS					
RCR	6	RED CARPET ROSE	ROSA X NOARE	3 GAL.	
PERENNIALS & GRASSES					
VL	14	VARIEGATED LIRIOPE	LIRIOPE MUSCARI 'VARIEGATA'	5" - 1 GAL.	PLANT 18" O.C.

PLANTING LEGEND

PAVEMENT
SOD/SEED (PER OWNER)

LEGAL DESCRIPTION

The North 133.15 Feet of Lot 1,
Block 2, Hampton Square
Second Addition.

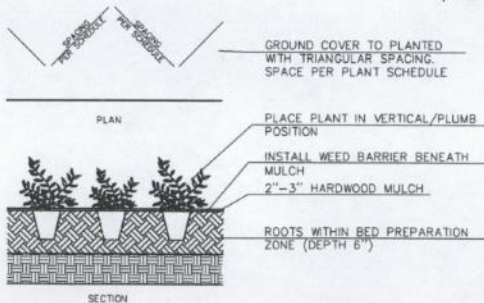


SITE PLANTING PLAN

1" = 20'-0"

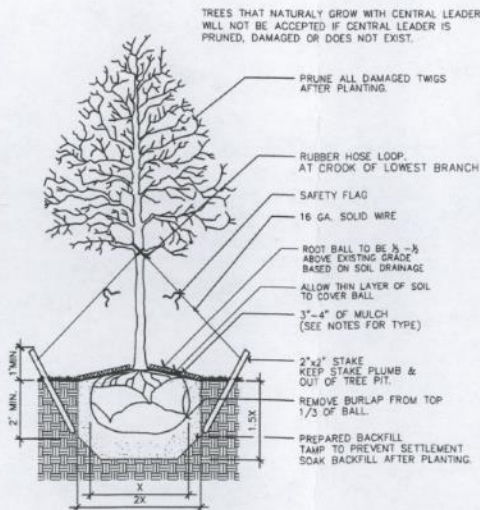


UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.



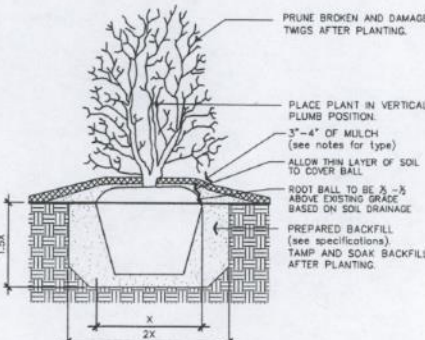
GROUND COVER DETAIL

NO SCALE

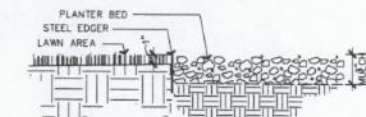


TREE PLANTING DETAIL

NO SCALE



SHRUB PLANTING DETAIL



EDGER DETAIL

NO SCALE

LANDSCAPE PLAN

APPROVED 8/18/22 BY N/ES
DP-262

TERI FARHA, PLA
LANDSCAPE ARCHITECT

terifarha@cox.net
Wichita, KS 67218

PLANTING PLAN

DATE
August 16, 2022

LS1

Beau Monde Spa
Wichita, KS

Issued/Revised Date

- 1. All landscape work shall be done in accordance with industry standards.
- 2. Turf areas shall be seeded at 2.5 to 3 lbs per 1,000 sq ft and fertilized at 40 lbs per acre.
- 3. Trees with broken leaders or no central leader will not be accepted.
- 4. All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Trellan (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be retolled in to a depth of 10-12".
- 5. Mulch all planting beds with min. 3" of mulch. Mulch all tree saucer wells with min. 3" of mulch. Mulch material to be premium cedar mulch of uniform consistency.
- 6. Metal edging shall be used to separate all turf areas from planting beds. Edging shall be 10 gauge thickness, commercial grade, or approved equal.
- 7. General Contractor to supply and place at a depth of 4", all topsoil on site within the Limits of Construction.
- 8. Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- 9. Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- 10. Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 687-2470/1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- 11. Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- 12. The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- 13. The Landscape Contractor shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner.
- 14. The Landscape Contractor shall submit bid with unit prices for all plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- 15. The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- 16. Fall planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For grass seeding, fall season shall be September 1 thru mid October. Spring season for seeding shall be from March 15 thru mid May.

1. Irrigate all turf and plantings on site unless otherwise directed by Owner.
2. Automatic irrigation systems shall be equipped with an automatic rain sensing device.
3. All irrigation work is to be installed in compliance with all local codes and regulations.
4. The Irrigation Contractor does not start irrigation construction until final shop drawings are submitted and approved to the Landscape Architect and/or Owner prior to construction for final approval which: Use Rainbird, Toro, Hunter products, or approved equal, which will illustrate type of head, head coverage, valve location, piping and accessories and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing.
5. Prior to construction, Irrigation Contractor to locate all existing and proposed utilities and electrical wiring.
6. Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
7. Heads to be adjusted to not spray on buildings, walks, or drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray Heads to be located and sized so not to be susceptible to damage by automobile overhangs.
8. Irrigation Contractor shall coordinate with Paving Contractor to locate and install required irrigation lines sleeving prior to any paving. Combine piping when possible to save on sleeving material. Sleeves to be min. 20" below finish grade. Verify final depth w/ Paving Contractor for adequate coverage.
9. Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
10. Irrigation Contractor to verify location of water supply with GC prior to installation of system. Irrigation Contractor shall verify static pressure.
11. Locate Irrigation Controller per Owner's direction.

Lot 9, Block 2, Hampton Square Second Addition, an Addition to Wichita
Sedgwick County, Kansas.

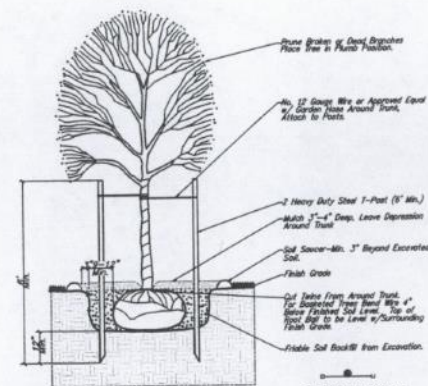
Total Area:	±62,571 sq. ft. (1.44 acres)
Disturbed Area:	±62,571 sq. ft. (1.44 acres)
Impervious Area, pre-const:	±0 sq. ft. (0.00 acres)
Impervious Area, post-const:	±37,741 sq. ft. (0.86 acres)

Site Benchmark - 1
"X" chiseled on NW corner of curb inlet on Havenhurst St., west of SW property corner.
Elevation = 1357.24 (NAVD 88)

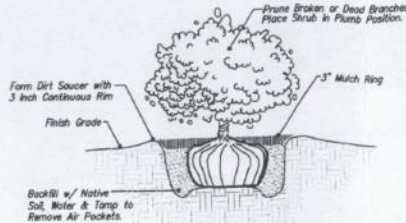
Site Benchmark - 2
"X" chiseled on top of curb, north side of Havenhurst St., west of SE property corner.
Elevation = 1357.53 (NAVD 88)

Contractor shall be required to provide notice to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.

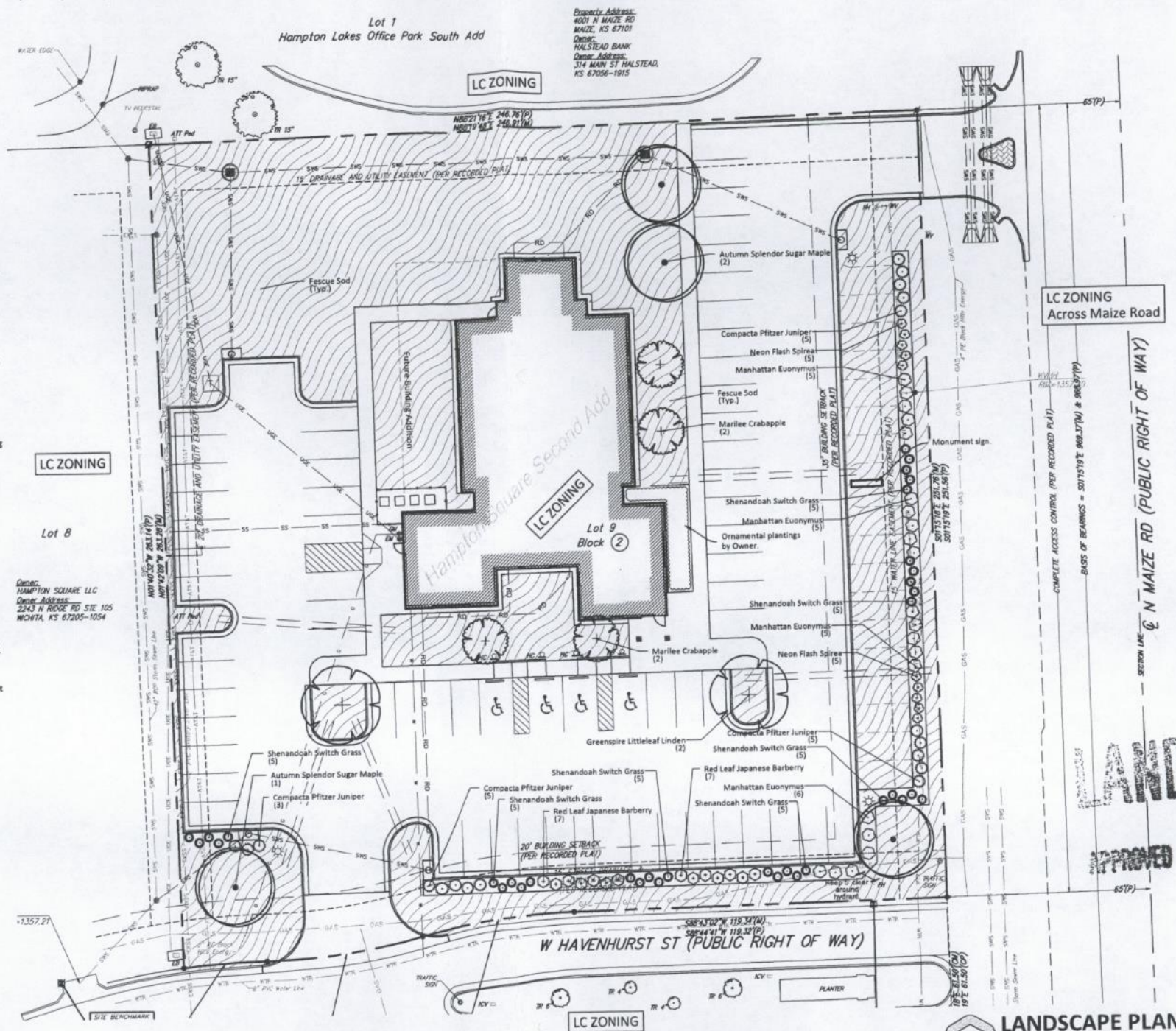
Kansas One Call 1-800-DIG-SAFE



1 TREE PLANTING & STAKING DETAIL



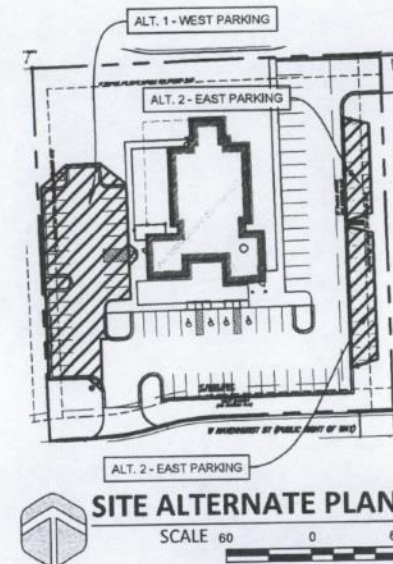
2 SHRUB PLANTING DETAIL



SCALE 20 0 20

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.
	4	ACER SACCHARUM 'AUTUMN SPLENDOR'	AUTUMN SPLENDOR SUGAR MAPLE	2" CALIPER MIN.
	4	MALUS X 'JARMIN' TM	MARILEE CRABAPPLE	2" CALIPER MIN.
	2	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2" CALIPER MIN.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
	14	BERBERIS THUNBERGII 'ATROPIURPUREA'	RED LEAF JAPANESE BARBERRY	18" TALL / 2 GAL. MIN.
	21	EVONYMUS KUNTSCHOWICUS 'MANHATTAN'	MANHATTAN EVONYMUS	18" TALL / 2 GAL. MIN.
	18	JUNIPERUS CHINENSIS 'PITZERIANA COMPACTA'	COMPACTA PITZNER JUNIPER	18" TALL / 2 GAL. MIN.
	35	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SMITH GRASS	18" TALL / 2 GAL. MIN.
	10	SPIRAEA X BUMALDA 'NEON FLASH'	NEON FLASH SPIREA	18" TALL / 2 GAL. MIN.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	
	23,407 S.F.	FESTUCA ARUNDINACEA SOD	KANSAS TALL FESCUE SOD	



SCALE 60 0

STREET YARD

Lot depth: .275'
Square Footage factor: 10

Havenhurst St. frontage: 244.9'
Maize Rd. frontage: 251.8'

Total frontage: 496.7'
Greatest perpendicular distance to major street wall: 99.2'
Frontage minus perpendicular distance:
496.7 - 99.2 = 397.5

Landscape street frontage required:
397.5 x 10 = 3,975 sq. ft.

Provided: 6,270 sq. ft.

Street Yard Trees required:
3,975 / 500 = 7.95 trees required
Provided: 8 tree equivalent (6 shade trees, 4 ornamental trees)

PARKING
Continuous shrub screen provided.

Proposed Stalls: 66 (including Alt 1 parking west of the building and existing parking on the east side of the drive adjacent to Maize Road)

Required parking lot trees: 66/20 = 3.3
Provided: 4 shade trees from Street Yard trees



BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com

Detmer Family Dentistry

HAMPTON SQUARE SECOND ADDITION
LOT 9, BLOCK 2, WICHITA, KS 67101

LT
SHELDEN
 ARCHITECTURE

SHELDENARCH.COM
800 E First Suite 140 Wichita KS 67202 316.263.4300



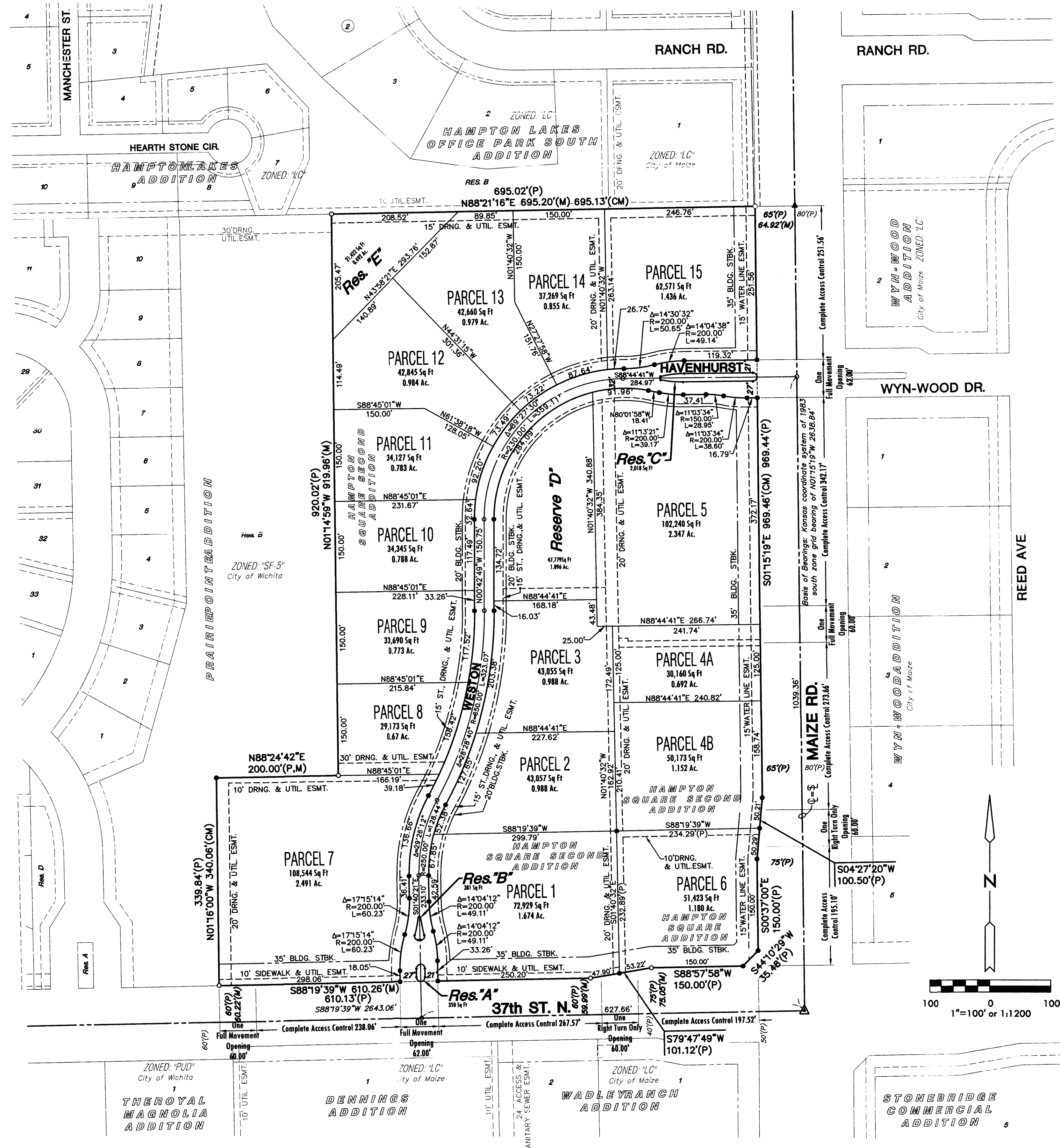
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L1.0
LANDSCAPE
PLAN

C.U.P. D.P. - 262

37TH & MAIZE COMMERCIAL C.U.P.

OWNER: HAMPTON LAKES, LLC



- This development contains 25.5 gross acres or 24.6 net acres. (Net acres are determined by subtracting street (rw))
- Parcel Descriptions:

PARCEL 1 Gross area= 1.674 ac. or 72,929 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 8 Gross area= 0.67 ac. or 29,173 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%
PARCEL 2 Gross area= 0.988 ac. or 43,057 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 9 Gross area= 0.773 ac. or 33,690 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%
PARCEL 3 Gross area= 0.988 ac. or 43,055 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 10 Gross area= 0.788 ac. or 34,345 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%
PARCEL 4A Gross area= 0.692 ac. or 30,160 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 11 Gross area= 0.783 ac. or 34,127 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%
PARCEL 4B Gross area= 1.152 ac. or 50,173 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 12 Gross area= 0.984 ac. or 42,845 sq. ft. Maximum height= 45 feet Maximum coverage= 30% Max. Gross floor area= 40%
PARCEL 5 Gross area= 2.347 ac. or 102,240 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 13 Gross area= 0.979 ac. or 42,660 sq. ft. Maximum height= 45 feet Maximum coverage= 30% Max. Gross floor area= 40%
PARCEL 6 Gross area= 1.180 ac. or 51,423 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 14 Gross area= 0.855 ac. or 37,269 sq. ft. Maximum height= 45 feet Maximum coverage= 30% Max. Gross floor area= 40%
PARCEL 7 Gross area= 2.491 ac. or 108,544 sq. ft. Maximum height= 35 feet Maximum coverage= 30% Max. Gross floor area= 30%	PARCEL 15 Gross area= 1.436 ac. or 62,571 sq. ft. Maximum height= 45 feet Maximum coverage= 30% Max. Gross floor area= 40%
- Permitted Land Uses:
The following uses are permitted for all parcels within the C.U.P.:
All uses permitted in the L.C. Zoning District, except for group homes, correctional placement residences, vehicle storage yards, general vehicle repair, outdoor storage and asphalt or concrete plants. Parcels 7, 8, 9, 10, 11, 12, & 13 shall additionally prohibit service stations, convenience stores with gas islands, and vehicle service or repair with overhead doors facing residential districts. No service stations, convenience stores with gas islands, restaurants with drive-in and drive-through facilities shall be permitted within 200 feet of west boundary of the C.U.P.
- The transfer of the title on all or any portion of the land included in the development does not constitute a termination of the plan or any portion thereof; but said plan shall run with the land for development and be binding upon the present land owners, their successors and assigns and their lessees unless amended. However, the planning director, with the concurrence of the O.C.I. superintendent, may approve minor adjustments to the conditions in this overlay, consistent with the approved development plan, without filing a formal ordinance amendment.
- Landscape and parking lot screening shall be in accordance with the City of Wichita code. A landscape plan indicating the location, type, and specification of plant material shall be submitted by a landscape architect to the planning department for their review and approval prior to the issuance of any building permit(s). A financial guarantee for the plant materials approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to the issuance of any occupancy permit if the required landscaping has not been planted.
- Minimum setback requirements: Shall be per Plat and CUP Plan.
- Signs shall be in accordance with appropriate codes with the following additional conditions:
 - As the frontage develops along the arterial roadways, monument type signs shall be spaced a minimum of 150' apart, irrespective of how land is leased or sold, except however, signs may be spaced a minimum of 50' when within a development identification monument sign.
 - Electronic message signs are allowed and shall be permitted in conformance with the Wichita Sign Code. Flashing signs (except for signs showing only time, temperature, and other public service messages), rotating or moving signs, signs with moving lights of signs which create illusions of movement are not permitted.
 - Portable and off-site signs are not permitted.
 - Window display signs are limited to 25 percent of the window area.
 - No signs shall be allowed on the rear of any buildings, except for Parcels 1, 2, 3, 4A, 4B, 5, and 6, that have commercial frontage on all four sides.
 - All freestanding signs must be monument type and shall have a maximum height of 20 feet, except that one 27.5-foot sign on Maize Road and one 27.5-foot sign on 37th Street North. The maximum sign face area along the arterial streets of Parcels 1, 4A, 4B, 5, 6, 7, and 15 shall not exceed 80 percent of the cumulative lot frontages. The maximum sign face area along the neighborhood collector streets of Parcels 1, 2, 3, 7, 8, 9, 10, 11, 12, 13, 14 and 15 shall not exceed 50 percent of the cumulative lot frontages. The Developer / Owners shall be responsible for allocating the sign areas for each parcel.

Maize Road - total allowed sign area 990 square feet
 37th Street - total allowed sign area 703 square feet
 Weston Street - total allowed sign area 956 square feet
 Havenhurst Street - total allowed sign area 401 square feet
 Sign area shall be calculated by the adding the actual advertising area, not to including sign base or structure.
- Signs continued:
 - If a hotel is developed on Parcels 11 - 15, requests for taller building signage may be looked upon with favor, but will be required to be approved as either an adjustment or amendment to the C.U.P. depending on the significance of the requested increase.
- Parking - shall be in accordance with the wichita-sedgwick county Unified zoning code.
- Architectural control - All buildings within the C.U.P. shall have the same predominate exterior building materials with consistent architectural character, color and texture, and consistent lighting design (fixtures, poles, lamps, etc.) as approved by director of planning. No facades that are predominantly metal shall be allowed. This requirement shall also apply to any retail development (e.g. restaurants, banks, convenience store/service stations, grocery store, personal care or improvement services) located on property zoned "L.C.".
- An owners association agreement providing for the maintenance of reserves, open space, internal devices, parking areas, drainage improvements, etc., shall be filed by the time the plat is filed of record.
- No occupancy permits shall be issued for any development without being served by municipal water and sewer services.
- Cross-lot circulation is to be provided for all lots platted for retail, commercial or office uses.
- All drainage ways and easements shall be determined at the time of platting.
- A lot grading plan will be prepared in conformance with the drainage concept plan for review prior to the issuance of a building permit.
- Loading areas, trash receptacles, outside storage, and docks in the C.U.P. shall be screened from ground level view along 37th Street North and Maize Road. Screening of all trash dumpsters, outside storage, and mechanical equipment will be constructed of material to match and preferably be connected to the buildings they support.
- Masonry walls:
 - A six (6) foot tall masonry wall shall be constructed along west property line of the C.U.P. in conformance with the provisions of Article III, Section III-C.2.b.(2)(d) of the unified zoning code, except as provided below. The wall shall be constructed with a pattern and color that is consistent with the abutting Parcels building walls.
 - The construction of a wall along the west lines of the Parcels 8, 9, 10, 11, and 12 will be required if the following provisions are not met:
 - Landscape evergreens or low wall screening shall be utilized to shield the view of parking lots from the residential lots west of the adjoining pond/reserve. Such screening shall be installed prior to the issuance of occupancy permit, and shall be approved by the Planning Director. The parking lots shall be predominantly on the east portions of the above specified Parcels.
 - No service drives are allowed along the west property line.
 - Utilities visible from the west residential lots shall be screened from ground view with fencing, landscaping, masonry or stucco wall, and/or any combination thereof.
- The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the governing body, and any substantial deviation of the plan, as determined by the zoning administrator and The director of planning, shall constitute a violation of the building permit authorizing construction of the proposed development.
- Prior to issuing building permits, a plan for a pedestrian walk system shall be submitted and approved by the director of planning. This walk system shall link sidewalks along 37th Street North and Maize Road with the proposed buildings within the subject property and with pedestrian connectivity being provided for residential development to the west as determined by the Planning Director.
- All exterior lighting shall be shielded to direct light disbursement downward and away from residential zoning.
- All parcels shall share similar or consistent parking lot lighting elements (i.e. fixtures, poles and lamps, and etc.).
 - Light poles shall be limited in height to 24 feet, except within 200 feet of residentially zoned Lots where light poles shall not exceed 14 feet in height (Reserves not counted as Lots).
 - Extensive use of backlit canopies and neon or fluorescent tube lighting on buildings is not permitted.
- Traffic improvements to Maize Road and 37th Street North shall be determined at the time of platting.
- Prior to issuance of any building permit, a site circulation plan shall be approved for the overall circulation of the C.U.P. that provides for smooth flow of traffic among all parcels, and providing connectivity with the properties to the north / northwest.

As per Admin. Adj. CUP 2018-47 Rlm
APPROVED CUP
 11-16-18 Rlm
 MAPC 10-10-02 Rlm
 WCC 11-13-02 Rlm
 MAPD copy 2 B 4



Professional Engineering Consultants, P.A.
 303 S. TOPEKA • WICHITA, KANSAS 67202
 316-262-2691 • FAX 316-262-3003



Wichita, KS • 316.684.9600

DP-262

GENERAL PLANTING NOTES

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND/OR THE ARCH./LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING KANSAS ONE-CALL CENTER. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
6. SEED TYPE SHALL BE LOCALLY AVAILABLE HARDY BLEND OF TALL FESCUE. SOW AT RATE SPECIFIED BY SEED PRODUCER.
7. SOD TYPE SHALL BE LOCALLY AVAILABLE TALL FESCUE BLEND OR OTHER TURF GRASS RECOMMENDED FOR THE SPECIFIC AREA.
8. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
9. REESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
10. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
11. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
12. CULTIVATE GROUND COVER PLANTING BEDS TO DEPTH OF 8". TILL COMPOST AND WELL-ROTTED MANURE INTO THE PLANTING BED AT THE APPROXIMATE RATIO OF ONE (1) PART COMPOST/MANURE TO THREE (3) PARTS SOIL.
13. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
14. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
15. PLANT GROUND COVER/ANNUALS WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENT SHALL BE TRIANGULAR, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
16. EDGING MATERIAL TO BE DETERMINED BY OWNER. CONTRACTOR TO PRICE BOTH CUT LIMESTONE EDGING AND SPADED EDGE.
17. BOULDERS ARE TO BE CHOSEN BY OWNERS
18. USE MULTI-COLORED COLORADO COBBLESTONE WHERE INDICATED ON PLAN. LANDSCAPE CONTRACTOR SHALL SUPPLY OWNER'S REPRESENTATIVE WITH A SAMPLE OF COBBLES FOR APPROVAL PRIOR TO STARTING CONSTRUCTION. SIZE OF ROCK COBBLES TO RANGE FROM 4" TO 8".
19. POROUS WOVEN WEED BARRIER SHALL BE INSTALLED ONLY IN PLANTING BEDS WHERE ROCK MULCH IS INDICATED (SEE PLAN). PLACE FULL LAYER OF COBBLESTONES ON TOP OF WEED BARRIER UNTIL THE FABRIC IS NO LONGER VISIBLE.
20. USE SHREDDED WOOD MULCH (NO DYE) IN ALL PLANTING BEDS, UNLESS NOTED OTHERWISE. LANDSCAPE CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL.
21. PLACE 4" OF MULCH IN ALL TREE SAUCERS. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.
22. TREAT PLANTING BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
23. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
24. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
25. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
26. TURF AND PLANTING BEDS ARE TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM. SEE SHEET LS-2.0.

LANDSCAPE CODE CALCULATIONS

LANDSCAPED STREET YARD REQUIRED

Landscaped Street Yard Required (Method 1):

373 LF of Maize Road
x .15 (sq. ft. factor)
5,595 (total landscaped street yard req'd)

254 LF of N. Weston Street
x .10 (sq. ft. factor)
2,540 (total landscaped street yard req'd)

5,595 SF + 2,540 SF = **8,135 total**
landscaped street yard req'd

Landscaped Street Yard Provided:

11,451 Total sq. ft. provided

Street Yard Trees Required:

8135 + 500 = 1627 or say 17 trees req'd

Shade Trees Shown - 17.5 total:

11 shade trees
50 shrubs = 5 shade trees
3 ornamental trees = 1.5 shade trees

PARKING LOT SCREENING AND LANDSCAPING

Parking lot is screened w/shrubs

Parking Lot Trees Required

112 Total stalls
+ 20 (one tree per 20 spaces)
56 or say 6 trees req'd.

(One-half of the req'd. street yard trees may be used to fulfill parking lot tree requirement)

One-half of 17 street yard trees = 8.5

6 total parking lot trees req'd.

6 (street yard trees)

0 shade tree req'd as parking lot trees.

Parking lot trees provided:

12 parking lot trees provided

LEGAL DESCRIPTION

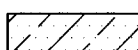
Lot 5, Block 1, Hampton Square 2nd Addition, an Addition to Wichita, Sedgwick County, Kansas

LEGEND

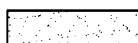
SOD



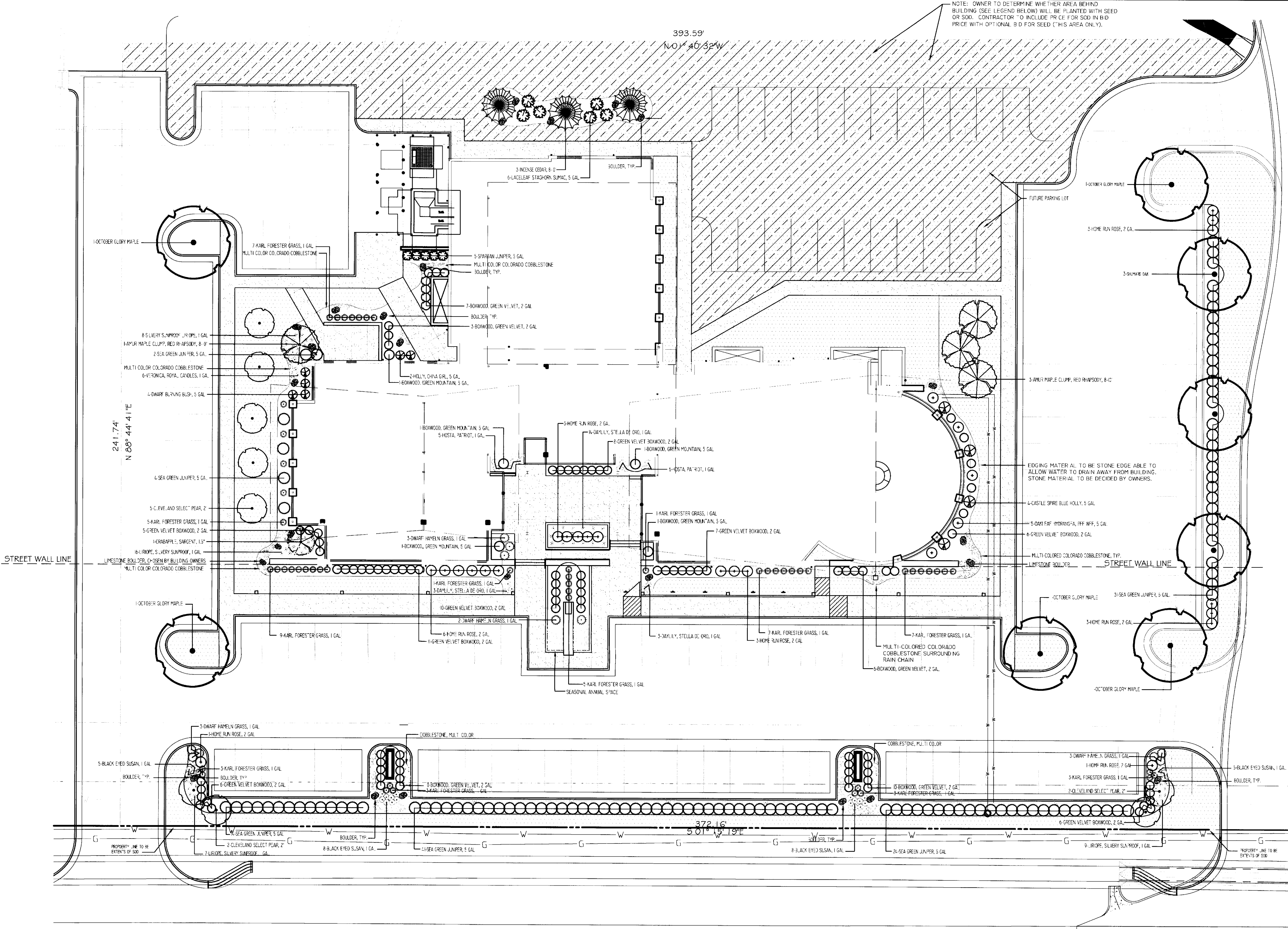
SOD/SEED OPTION



CONCRETE



UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.



MAIZE ROAD

PLANT SCHEDULE

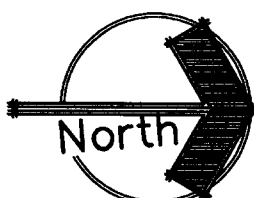
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
	LARGE DECIDUOUS TREE				
9	Cleveland Pear	Pyrus calleryana 'Cleveland Select'	2" CAL.	B & B	
3	Shumard Oak	Quercus shumardii	2" CAL.	B & B	
5	October Glory Maple	Acer rubrum 'October Glory'	2" CAL.	B & B	
	MEDIUM DECIDUOUS TREE				
1	Sargent Crabapple	Malus sargentii	1-1/2" CAL.	B & B	
	ORNAMENTAL TREE				
4	Amur Maple, Red Rhapsody	Acer ginnala 'Mondy'	8-10' Min. Ht.	B & B	Clump
	EVERGREEN TREE				
3	Incense Cedar	Calocedrus decurrens	8-10' Min. Ht.	B & B	
5	Spartan Juniper	Juniperus chinensis 'Spartan'	5 Gal.	Cont.	
	EVERGREEN SHRUB				
95	Boxwood, Green Velvet	Buxus x 'Green Velvet'	2 Gal.	Cont.	
5	Boxwood, Green Mountain	Buxus x 'Green Mountain'	2 Gal.	Cont.	
4	Blue Holly, Castle Spire	Ilex meserveae 'Heckfee'	5 Gal.	Cont.	
2	China Girl Holly	Ilex x meserveae 'Mesog'	5 Gal.	Cont.	
116	Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 Gal.	Cont.	

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
	DECIDUOUS SHRUB				
4	Dwarf Burning Bush	Euonymus alatus 'Compactus'	5 Gal.	Cont.	
22	Homerun Rose	Rosa 'Home Run'	2 Gal.	Cont.	
6	Laceleaf Staghorn Sumac	Rhus typhina 'Lacinata'	5 Gal.	Cont.	
5	Dakleaf Hydrangea	Hydrangea quercifolia 'Pee Wee'	5 Gal.	Cont.	
	ORNAMENTAL GRASSES				
11	Dwarf Hameln Grass	Pennisetum alopecuroides 'Hameln'	1 Gal.	Cont.	
54	Karl Foerster Grass	Calamagrostis acutiflora 'Karl Foerster'	1 Gal.	Cont.	
	PERENNIALS/GROUNDCOVERS				
26	Black-eyed Susan	Rudbeckia	1 Gal.	Cont.	As shown on plan
20	Daylily, Stella de Oro	Hemerocallis 'Stella de Oro'	1 Gal.	Cont.	As shown on plan
11	Hosta, Patriot	Hosta s. 'Patriot'	1 Gal.	Cont.	As shown on plan
32	Liriope, Silvery Sunproof	Liriope muscari s. 'Silvery Sunproof'	1 Gal.	Cont.	Space 2'-0" O.C.
6	Veronica, Royal Candles	Veronica s. 'Royal Candles'	1 Gal.	Cont.	Space 2'-0" O.C.

PLANTING PLAN

1" = 20'-0"

0 20' 40'



EPO
at HAMPTON LAKES
Dr. Turner, Dr. Brown, Dr. Healy, Dr. Trimmell, Dr. Anders
37TH STREET NORTH AND MAIZE ROAD
WICHITA, KANSAS

TERI ANDREAS FARHA, RLA
64 Stratford Rd.
Wichita, KS
67207

PH. 316-612-9868

PLANTING PLAN

DATE

March 15, 2012

LS1.0



Wichita-Sedgwick County Metropolitan Area Planning Department

September 26, 2012

Hampton Square, LLC attn. Marv Schellenberg
7926 W. 21st Street North
Wichita, KS 67206

MKEC attn. Brian Lindebak
411 N. Webb Rd.
Wichita, KS 67206

RE: CUP2012-23 - City request for an Administrative Adjustment to CUP DP-262, to adjust parcel lines and create new parcels due to replat, to adjust signage, and to adjust wall requirements, generally located on the northwest corner of 37th Street North and Maize Road

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-262 37th and Maize Commercial Community Unit Plan ("CUP"). We understand you wish to create Parcels 10 through 15 and adjust parcel lines consistent with a replat. We understand that you wish to reduce sign spacing to 50' on the internal collector drive (not the arterial streets), reduce sign spacing to 100' on arterials only adjacent to major center signs placed in access medians, increase the maximum height of two signs from 25 to 27.5 feet, and allow LED signs that do not permit flashing or movement. And, we understand that you wish to clarify screening wall requirements, allowing a screening wall to be waived along Parcels 8 through 12 provided that parking lot screening is achieved, and that service drives do not exist on the west side of those parcels. Maximum building coverage and floor area will be the distributed proportionately to the new parcel as indicated on the revised CUP. Uses permitted on the newly created parcels do not change.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except expressly stated

City Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

T 316.268.4421 F 316.268.4390

www.wichita.gov

herein.

The "Development Application" signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



John L. Schlegel
Director of Planning

Rick Stubbs
Co-Interim Superintendent of Central Inspection

cc: Paul Hays, Office of Central Inspection
Jeff Longwell, CM District V
Megan Buckmaster, NA District V



Wichita-Sedgwick County Metropolitan Area Planning Department

November 16, 2018

Hampton Square, LLC
Attn: Marv Schellenberg
2243 N. Ridge Road, Ste. 100
Wichita, KS 67205

MKEC engineering, Inc.
Attn: Brian Lindebak
411 N. Webb Road
Wichita, KS 67206-2521

RE: CUP2018-00047 – City Administrative Adjustment to 37th & Maize Commercial CUP DP-262 as a result of a lot split LSP2018-24 creating Parcels 4A and 4B and adjusting General Provision #7 Signage; generally located north of 37th Street North, west of North Maize Road.

Legal Description: Lot 4, Block 1, Hampton Square 2nd Addition, Wichita, Sedgwick County, Kansas

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-262 to General Provision #2 Parcel Descriptions and General Provision #7 Signs. CUP DP-262 shall be adjusted as follows:

General Provision #2 Parcel Descriptions:

1. Delete Parcel 4
2. Create Parcel 4A
Gross Area: 0.692 acre or 30,130 sq. ft.
Maximum height: 35 feet
Maximum coverage: 30%
Maximum Gross Floor Area: 30%
3. Create Parcel 4 B
Gross Area: 1.152 acres or 53,173 sq. ft.
Maximum height: 35 feet
Maximum coverage: 30%
Maximum Gross Floor Area: 30%

General Provision #7 Signs:

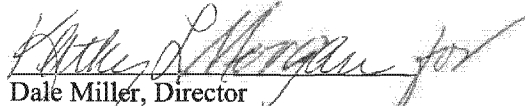
Signs shall be in accordance with appropriate codes with the following additional conditions:

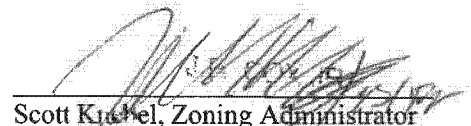
- e. No signs shall be allowed on the rear of any buildings, except for Parcels 1, 2, 3, 4A, 4B, 5, and 6, that have commercial frontage on all four sides.
- f. All freestanding signs must be monument type and shall have a maximum height of 20 feet, except that one 27.5-foot sign on Maize Road and one 27.5-foot sign on 37th Street North. The maximum sign face area along the arterial streets of Parcels 1, 4A, 4B, 5, 6, 7, and 15 shall not exceed 80 percent of the cumulative lot frontages.....

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


Dale Miller, Director
Metropolitan Area Planning Department


Scott Kuchel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Pete Meitzner, CM District II
Laura Rainwater, CSR, District II

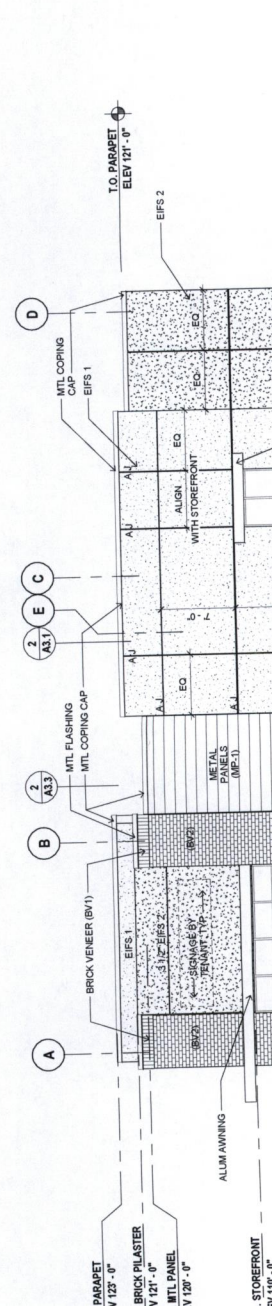
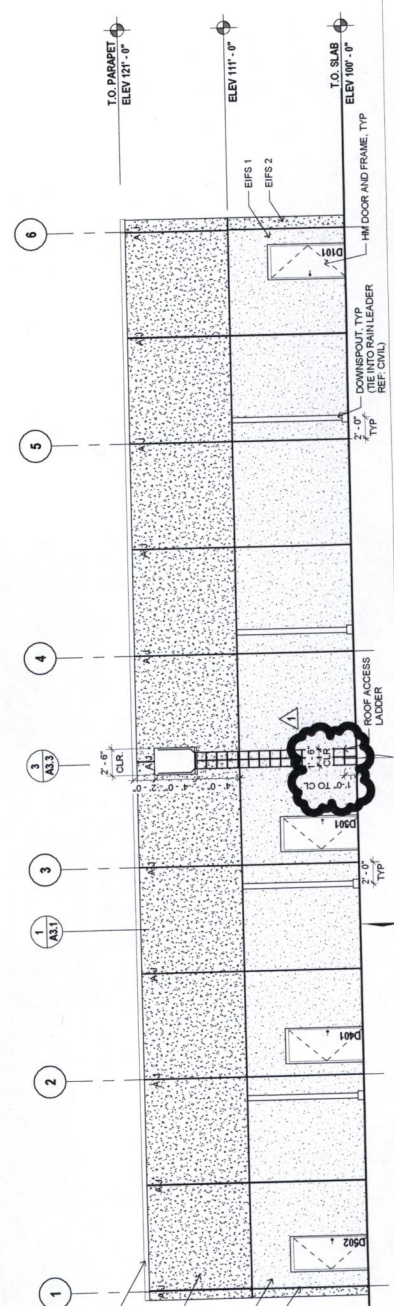
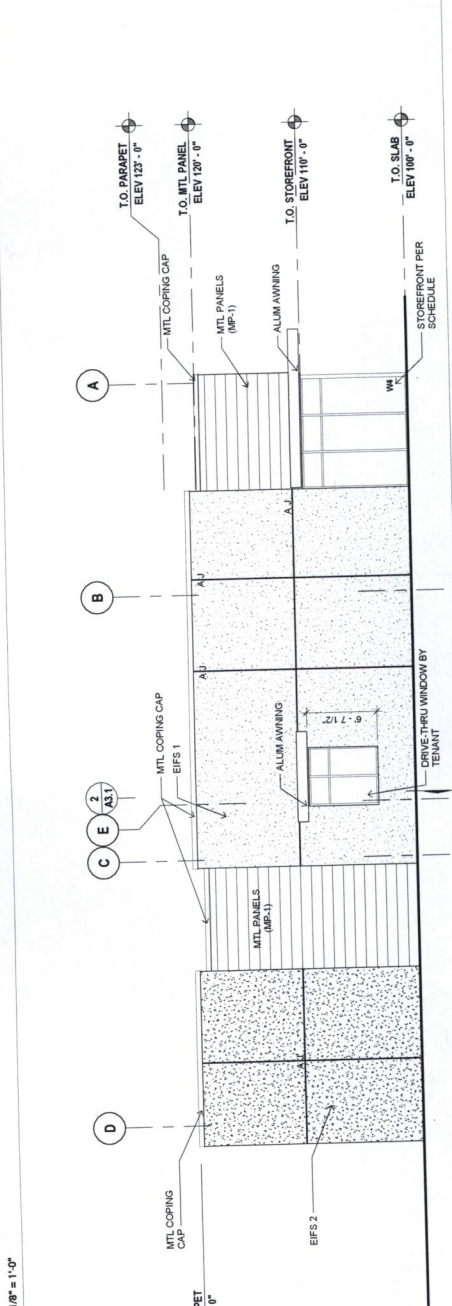
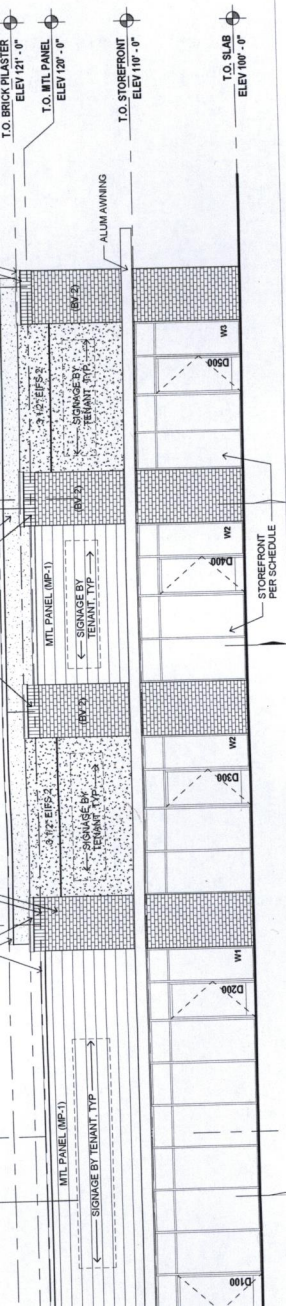


IPG-3 STRIP CENTER
IPG-3 DEVELOPMENT GROUP

3807 N. MAIZE RD WICHITA, KS 67101

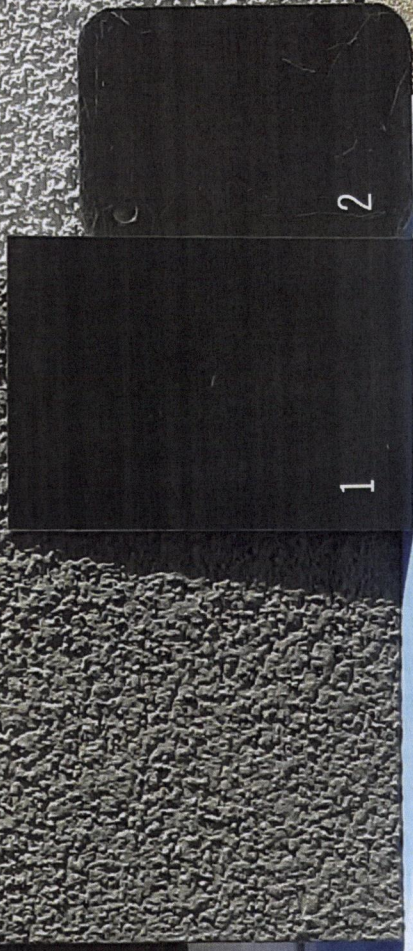
[illegible]

KEY	DESCRIPTION
STOREFRONT	MANUFACTURER: KERNER PRODUCT: 45T - THERMALLY BROKE GLASS: CENTER GLAZED, 1/2" THICK, TUNGSTED WHERE GLASS MEETS FRAME, 1/2" THICK, WINDOW SCHEDULE COLOR: DYE, MEDIUM 3 TILES & 1 RALS COLOR: DARK BRONZE
BATT INSULATION	R-19 FIBERGLASS INSULATION, FILL WALL CAVITY FULLY
BRAKE METAL	PRE-FINISHED 24 GA. METAL, MFG. STANDARD V.N.M.B. 500 (FIRE-PROOFING) STAINLESS STEEL, SILVER METAL - PAINT SYSTEM (PREFINISHED) ANCLAD OR OTHER METAL - PROVIDE SAMPLES FOR APPROVAL COLOR: EXTRA DARK BRONZE
BRICK VENEER (BV 1)	MANUF. GENERAL SHALE COLOR: WATER WASHED UNBLEND NETAL TANGING BOND
BRICK VENEER (BV 2)	MANUF. GENERAL SHALE COLOR: WATER WASHED UNBLEND NETAL TANGING BOND
AJ	ACCENT JOINT - DESIGN INTEREST INDICATED, GO TO COORDINATE WITH INCAINO AND HANSHOF FOR BEST LOCATIONS
DOWNSPOUT	PRE-FINISHED 20 GA. PRESTON, METAL, PRODUCTS UNM-CLOD OR HANSHOF, 1/2" DIA. DOWNSPOUT, MATCH TO EPS.
EPS	MANUFACTURER: STO CORP. (STO CORP. PRODUCT TO THEM) CLIPS FINISH-TYPE, STAINLESS STEEL, COLOR: SEE EPS 1 TIPS EPS 1: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 2: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 3: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 4: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 5: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 6: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 7: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 8: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 9: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 10: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 11: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 12: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 13: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 14: 1/2" THICK, 1/2" DIA. (STO CORP. PRODUCT TO THEM) EPS 15: 1/2" THICK, 1/2" DIA. (STO CORP. 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PRODUCT TO THEM)
EPS 1	EPS SYSTEM COLOR: 1/2" INCHES (UN.O.) THICKNESS 1/2" INCHES (UN.O.)
EPS 2	EPS SYSTEM COLOR: 1/2" INCHES (UN.O.) THICKNESS 1/2" INCHES (UN.O.)
EPS 3	EPS SYSTEM COLOR: 1/2" INCHES (UN.O.) THICKNESS 1/2" INCHES (UN.O.)
EPS 4	EPS SYSTEM COLOR: 1/2" INCHES (UN.O.) THICKNESS 1/2" INCHES (UN.O.)
EPS 5	EPS SYSTEM COLOR: 1/2" INCHES (UN.O.) THICKNESS 1/2" INCHES (UN.O.)
EPS 6	EPS SYSTEM COLOR: 1/2" INCHES (UN.O.) THICKNESS 1/2" INCHES (UN.O.)
EPS 7	EPS SYSTEM COLOR: 1/2" INCH





1-NUCOR MTL PANEL
2-AWNING, BRAKE MTL, COPING CAP



APPROVAL
12-11-2020 Elmogha

LEGAL DESCRIPTION

Lot 6, Block 1, Hampton Square, an Addition to Wichita, Sedgwick County, Kansas.

SITE INFORMATION

Total Area:	±51,397 sq. ft. (1.18 acres)
Disturbed Area:	±51,397 sq. ft. (1.18 acres)
Impervious Area, pre-const:	±0 sq. ft. (0.00 acres)
Impervious Area, post-const:	±44,507 sq. ft. (1.02 acres)

BENCHMARKS

Site Benchmark - 1

"□" chiseled on concrete at south entrance to orthodontics building to the north.
Elevation = 1355.62 (NAVD 88)

Site Benchmark - 2

¹⁰ □¹⁰ NW corner traffic MH pad
Elevation = 1354.49 (NAVD 88)

Site Benchmark - 3

Crows foot cut on south rim of drain Inlet
Elevation = 1356.47 (NAVD 88)

KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.

Kansas One Call 1-800-DIG-SAFE

UTILITY CONTACTS

The Contractor must notify the following in case of an emergency:

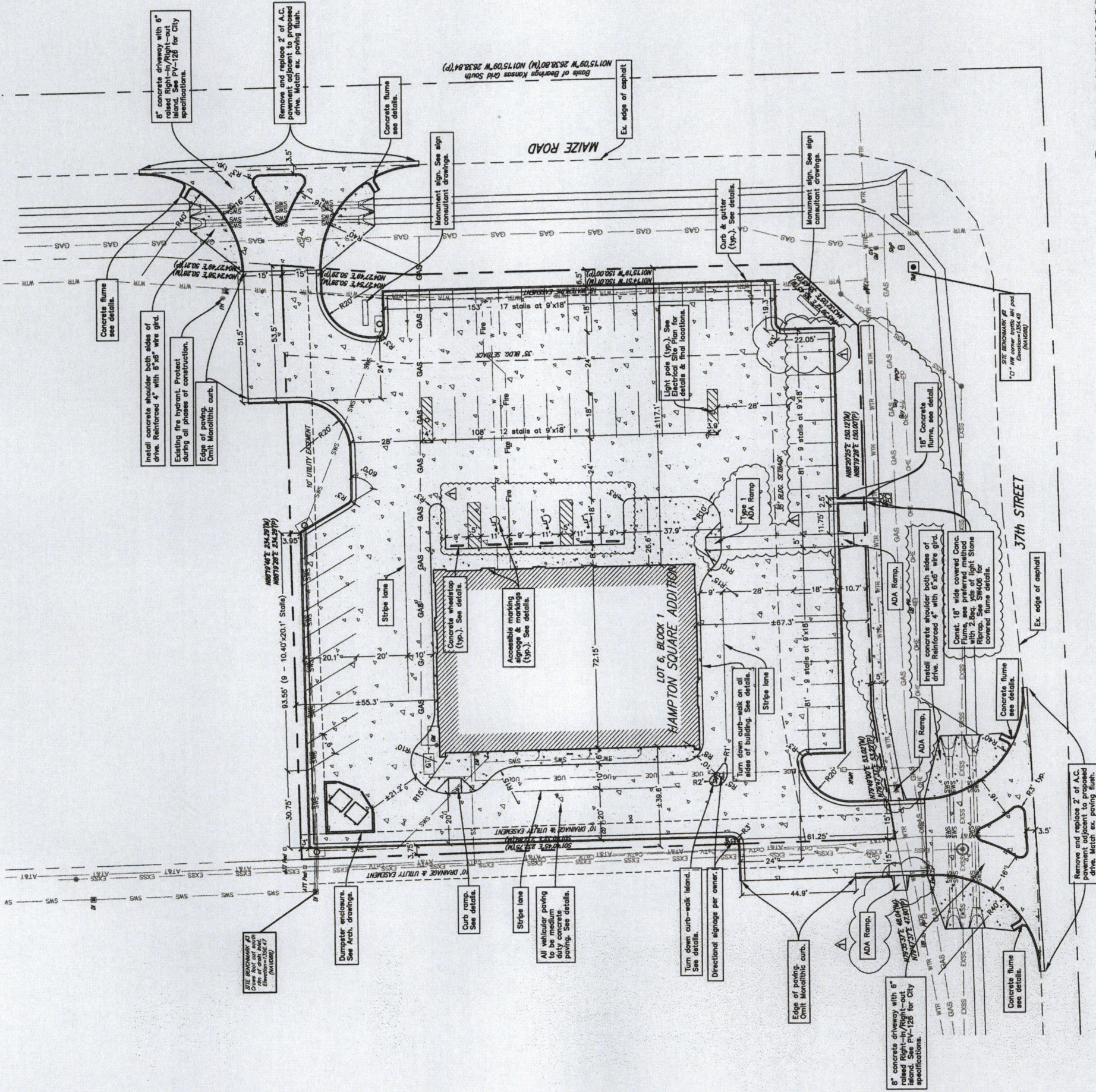
Kansas Gas Service (Gas)	1-888-482-4595
Black Hills Energy (Gas)	1-800-393-0357
Energy (Electric)	383-8650
Cox Communications (Telecommunication)	262-4770
AT&T Telecommunication	268-2759
City of Wichita Water Dept. (Water)	268-4563 or 268-4908
City of Wichita Sewer Maint. (San. Sewer)	268-4024 or 262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer)	268-4090
City of Wichita Traffic Maint. (Tral. Control)	268-4004 or 268-4023
Conoco Pipeline Co. (Petroleum)	1-800-231-2551
Williams Pipeline Co. (Petroleum)	1-800-324-9696 or 1-800-766-8230
Phillips Pipeline Co. (Petroleum)	

SITE NOTES

1. Existing utilities and their locations, as shown on the plans, represent the best information obtainable for this project. Location information has been obtained from the various utility companies and is either from a company record or a company provided map. The Contractor will be responsible for determining the location of existing utilities which do not exist with proposed construction.
2. Traffic affected by construction on this project shall be handled in accordance with the latest edition of the *Manual on Uniform Traffic Control Devices (MUTCD)*.
3. The Contractor shall provide appropriate signage throughout the sequence of construction clearly stating where construction entrance is/are.
4. The Contractor shall take all necessary precautions to protect the general public from the construction and demolition process. This may include the use of fences and signage.
5. The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
6. Signage and striping shall be installed in accordance with Local City Specifications and with the Department shall be placed marked in accordance with the Department's Manual on Uniform Traffic Control and Bridge Construction by the Kansas Department of Transportation.
7. Dimensions shown are to face of curb or edge of pavement unless otherwise noted.



SITE DIMENSION PLAN

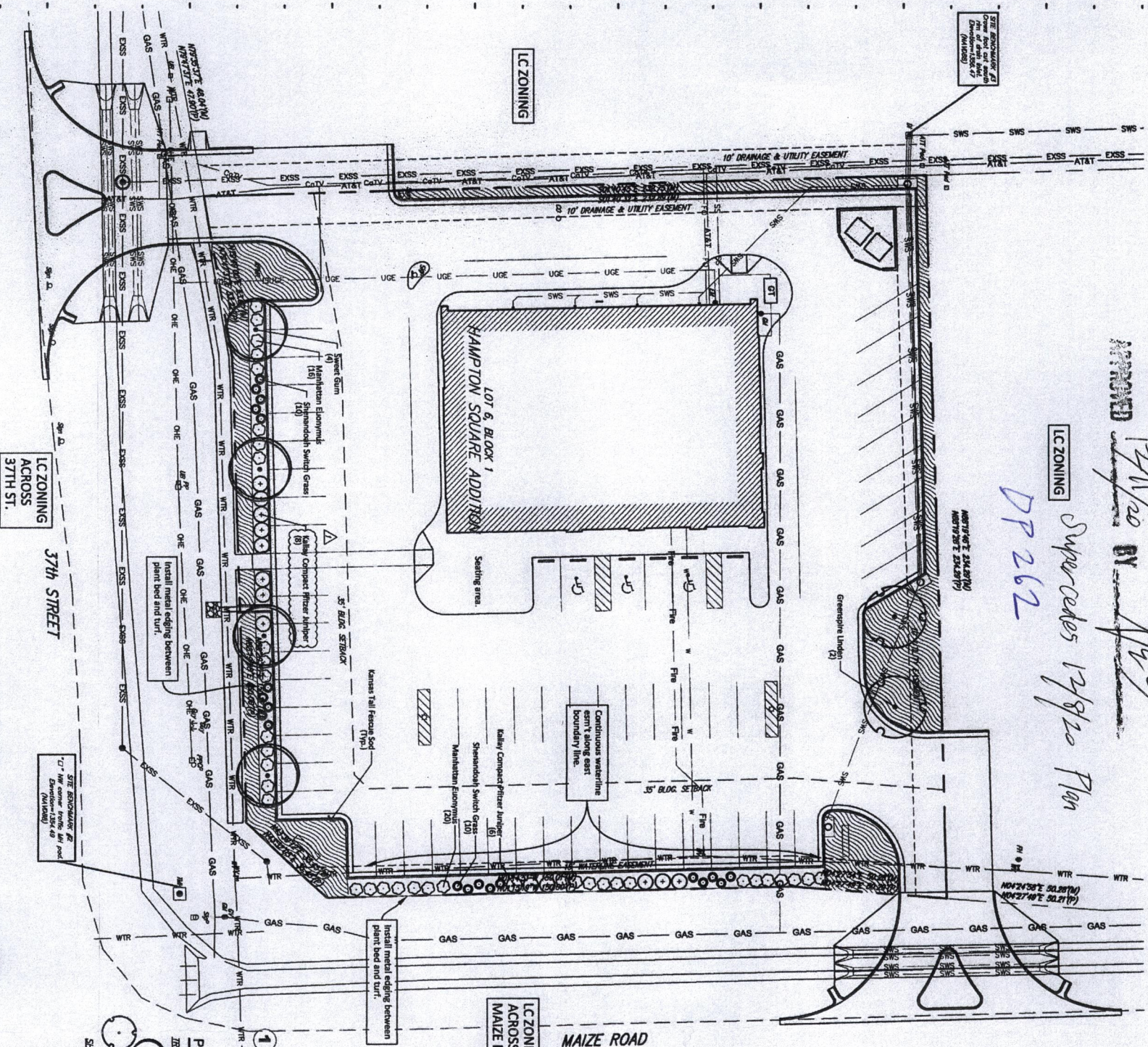


LANDSCAPE PLAN

APPROVED 12/11/20 BY 1439

LC ZONING

Supercedes 12/8/20 Plan DP 262

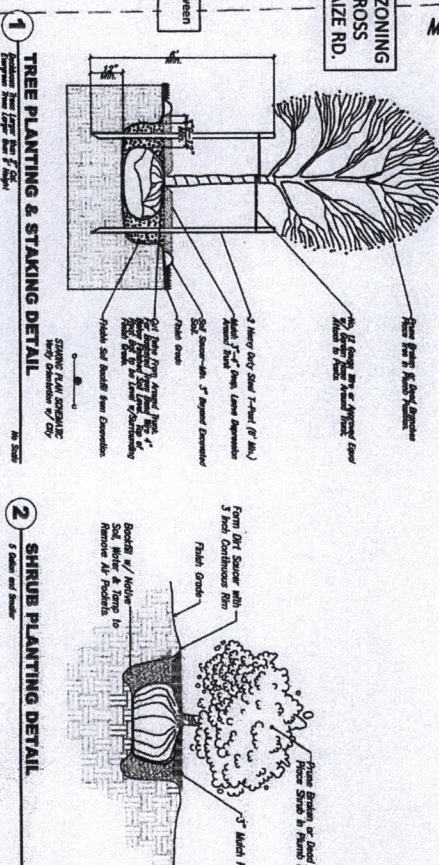


LANDSCAPE NOTES

1. All landscape work shall be done in accordance with industry standards.
2. Turf areas shall be seeded at 2.5 to 3 lbs per 1,000 sq ft and fertilized at 40 lbs per acre.
3. Trees with bottom leaders or no central leader will not be accepted.
4. All planting beds shall be prepared by lifting all existing vegetation with hand tools (or as specified by landscape architect) to a depth of 12" to 18" to receive organic matter (such as cotton seed meal, compost, or humus). All shall be replaced to a depth of 12" to 18" to receive organic matter.
5. Mulch all planting beds with 3" of mulch. Mulch all tree trunks with 5" of mulch. Mulch material to be green, or approved equal.
6. Mulch shall be applied to all trees and shrubs. Mulch shall be applied to all trees and shrubs. Mulch shall be applied to all trees and shrubs.
7. General Contractor shall be responsible for all planting and maintenance of landscape.
8. Topsoil shall be applied to all planting areas. Topsoil shall be applied to all planting areas. Topsoil shall be applied to all planting areas.
9. Topsoil shall be applied to all planting areas. Topsoil shall be applied to all planting areas. Topsoil shall be applied to all planting areas.
10. Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 800-347-7353. Contractor shall be responsible for any damage done to existing utilities.
11. Report any discrepancies in the planting plan to the landscape architect, prior to starting construction.
12. The landscape architect shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
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14. The landscape architect shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
15. The landscape architect shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
16. The planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For full day, planting, fall season shall be September 1 thru October 31. Spring season for planting shall be from March 15 thru May 15.
17. Landscape to be watered manually. If automatic system is requested by owner, contractor to consult irrigation notes below.

IRRIGATION NOTES

1. Automatic irrigation systems shall be equipped with an automatic rain sensing device.
2. All irrigation work is to be installed in compliance with all local codes and regulations.
3. The irrigation contractor shall not start irrigation until the system has been tested and approved by the landscape architect. The irrigation contractor shall not start irrigation until the system has been tested and approved by the landscape architect.
4. Prior to construction, irrigation contractor to locate all existing and proposed utilities and electrical wiring.
5. Contractor shall not install irrigation system until all existing and proposed utilities and electrical wiring.
6. Heads to be adjusted to not spray on buildings, walls, or drives. Spray heads will be located nearest to planting bed edge with every pipe and fittings. Spray heads to be located and aimed to not be susceptible to damage by automobile overhangs.
7. Irrigation Contractor shall coordinate with the General Contractor to locate and install all existing and proposed utilities and electrical wiring.
8. Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
9. Irrigation Contractor shall verify location of water supply with G.C. prior to installation of system. Irrigation Contractor shall verify static pressure.
10. Locate Irrigation Controller per Owner's direction.



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	QTY
4	QTY	LIQUIDAMBAR ROTUNDIFOLIA	SWEET GUM	2" CALIPER MIN.
2	QTY	TILIA CORDATA 'VIRENSPIRE'	GREENSPRING LINDEN	2" CALIPER MIN.
36	QTY	BOZAIACAL NAME	COMMON NAME	QTY
14	QTY	ELONVUS KALUSCHOWICUS 'MAMMUTIAN'	MAMMUTIAN ELONVUS	18" TALL / 2 GAL. MIN.
20	QTY	JUNIPERUS CHINENSIS 'YALAYS COMPACT'	KALAY COMPACT FITZGER JUNIPER	18" TALL / 2 GAL. MIN.
	QTY	PANICUM VIRGATUM 'SHEKUNOAH'	SHEKUNOAH SWITCH GRASS	18" TALL / 2 GAL. MIN.
	QTY	BOZAIACAL NAME	COMMON NAME	QTY
	QTY	FESTUCA ARUNDINACEA SOD	KANSAS TALL FESCUE	SOD

LEGAL DESCRIPTION

Lot 6, Block 1, Hampton Square, an addition to Wichita, Sedgewick County, Kansas.

SITE INFORMATION

Total Area: 451,397 sq. ft. (1.03 acres)
Disturbed Area: 351,397 sq. ft. (0.80 acres)
Impermeable Area, pre-conc: 50 sq. ft. (0.00 acres)
Impermeable Area, post-conc: 344,507 sq. ft. (0.79 acres)

BENCHMARKS

Site Benchmark - 1
"L7" - established on concrete at south entrance to orthodontic building to the north.
Elevation = 1355.42 (NAD 83)

Site Benchmark - 2
"L7" - NW corner traffic light pad
Elevation = 1354.49 (NAD 83)

Site Benchmark - 3
Crown tree cut on south rim of main inlet
Elevation = 1356.47 (NAD 83)

KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at 287-6479 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.

UTILITY CONTACTS

The Contractor must notify the following in case of an emergency:
Kansas Gas Service (Gas) 1-888-482-4550
Black Hills Energy (Gas) 1-800-508-0557
Energy (Electric) 388-4650
Cox Communications (Telecommunication) 362-4270
AT&T (Telecommunication) 368-2759
City of Wichita Water Dept. (Water) 368-4565
City of Wichita Sewer Main (Sewer) 368-4908 or 368-4909
City of Wichita Storm Sewer Main (Storm Sewer) 368-4909
City of Wichita Traffic Main (Traffic Control) 368-4934
City of Wichita Traffic Main (Traffic Control) 368-4934
Cimco Pipeline Co. (Petroleum) 1-800-313-3551
Williams Pipeline Co. (Petroleum) 529-6600 or 1-800-314-9595
Phillips Pipeline Co. (Petroleum) 1-800-765-4230

LANDSCAPE CALCULATIONS

STREET YARD
Avg. Lot Depth: 228.3' x 224.6' = 45,139.7
453.1' x 2' = 226'
Square Footage Factor: 10
Street Frontage: 435.7'
435.7' x 10 = 4,357 sq. ft. landscaped street frontage required
Provided: 5,407 sq. ft.

Trees required: 4,357 / 500 = 9 trees required
Provided: 6. Waterline isn't inside east boundary precludes planting trees.
PARKING LOT SCREENING:
Continuous Plant screen provided adjacent to parking.
PARKING LOT TREES:
62 Parking stalls / 20 = 3 trees required.
Provided: 3 trees and trees. Waterline isn't inside east boundary precludes planting additional parking lot trees.

BAUGHMAN COMPANY

316 E. 9th St., Wichita, KS 67211 316-262-7271
info@baughmanco.com
www.baugmanco.com

SHELDEN ARCHITECTURE
SHELDENARCH.COM
800 E. First Suite 140 Wichita, KS 67202 316.263.4300

IPG-3 STRIP CENTER
IPG-3 DEVELOPMENT GROUP
3801 N. MAIZE RD MAIZE, KS 67101

L1.0

PROJECT NO.	20-0011
ISSUE	1.00/20
DATE	12/07/20
BY	9/15/20