



## Wichita-Sedgwick County Metropolitan Area Planning Department

July 28, 2021

Marsha M. Haag & Billy Graf  
1612 North West Lynn Avenue  
Wichita, KS, 67212

**Ref: CON2021-00021:** City Conditional Use to allow an Accessory Apartment on SF-5 Single-Family Residential zoned property generally located a ¼-mile west of North West Street, a ¼-mile north of West 13<sup>th</sup> Street North and northwest of the West Ott Street – North West Lynn Avenue intersection (1612 North West Lynn Avenue – District VI)

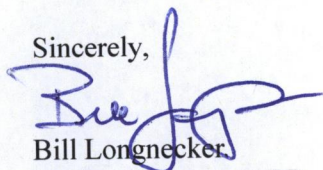
Marsha & Billy,

CON2021-00021 was approved at the Wichita City Council meeting on Thursday July 6, 2021 with the following conditions:

- (1) The applicant shall provide a new site plan with dimensions that better depicts the size and location of the accessory apartment.
- (2) The accessory apartment shall comply with The Wichita-Sedgwick County Unified Zoning Code, specifically Art. III.Sec.III-D.6.a.
- (3) The accessory apartment shall not be rented out to a person or persons who would occupy it for a period of less than one week at a time; see attached recorded, July 14, 2021, Restrictive Covenant Doc #/Flm-Pg 30078434.
- (4) The applicant shall provide proof of proper building permits and an inspection to the MAPD. Modifications must comply with all State, County, and any other applicable standards.
- (5) Development and maintenance of the site shall be in general conformance with the approved site plan.
- (6) If the Zoning Administrator finds that there is a violation of any of the conditions of the Conditional Use, the Zoning Administrator, in addition to enforcing the other remedies set forth in Article VIII of the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Conditional Use is null and void.

All of the above conditions have been successfully completed. The signed copy of the Conditional Use Resolution and approved site plan is for your property records. Should you have any questions, please feel free to call me at 268-4421.

Sincerely,



Bill Longnecker  
Senior Planner, MAPD

OCA 150004

PUBLISHED IN THE WICHITA EAGLE ON July 9, 2021

RESOLUTION NO. 21-249

**WHEREAS**, Marsha Haag, Owner, pursuant to Section V-D of the Wichita-Sedgwick County Unified Zoning Code (herein referred to as Unified Zoning Code), request a Conditional Use to allow an accessory apartment on property zoned SF-5 Single-Family Zoning District described as:

Lot 6, Block 2, Womer's West Lynn 2<sup>nd</sup> Addition to Wichita, Sedgwick County, Kansas.

**WHEREAS**, proper notice as required by the Unified Zoning Code and by the policy of the Metropolitan Area Planning Commission (hereinafter referred to as MAPC) has been given; and

**WHEREAS**, the MAPC did, at the meeting of June 3, 2021, consider said application; and

**WHEREAS**, the MAPC has authority to permit a Conditional Use, subject to any special conditions deemed appropriate in order to assure full compliance with the criteria of the Unified Zoning Code.

**NOW, THEREFORE, BE IT RESOLVED** by the Metropolitan Area Planning Commission that this application be approved to allow a Conditional Use to allow an Accessory Apartment on property zoned SF-5 Single-Family Zoning District described as:

Lot 6, Block 2, Womer's West Lynn 2<sup>nd</sup> Addition to Wichita, Sedgwick County, Kansas.

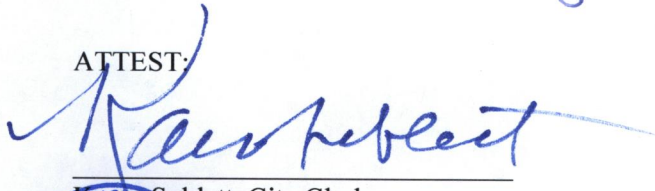
Approved subject to the following conditions:

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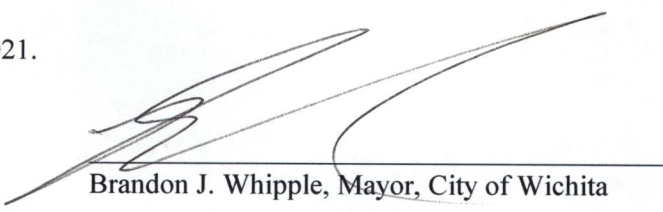
Adopted this 16<sup>th</sup> day of July, 2021.

ATTEST:

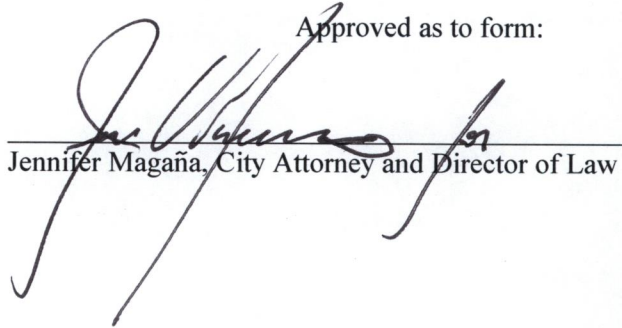


Karen Sublett, City Clerk

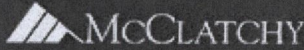


  
Brandon J. Whipple, Mayor, City of Wichita

Approved as to form:

  
Jennifer Magaña, City Attorney and Director of Law

CON2021-00021



Beaufort Gazette  
 Belleville News-Democrat  
 Bellingham Herald  
 Bradenton Herald  
 Centre Daily Times  
 Charlotte Observer  
 Columbus Ledger-Enquirer  
 Fresno Bee

The Herald - Rock Hill  
 Herald Sun - Durham  
 Idaho Statesman  
 Island Packet  
 Kansas City Star  
 Lexington Herald-Leader  
 Merced Sun-Star  
 Miami Herald

el Nuevo Herald - Miami  
 Modesto Bee  
 Raleigh News & Observer  
 The Olympian  
 Sacramento Bee  
 Fort Worth Star-Telegram  
 The State - Columbia  
 Sun Herald - Biloxi

Sun News - Myrtle Beach  
 The News Tribune Tacoma  
 The Telegraph - Macon  
 San Luis Obispo Tribune  
 Tri-City Herald  
 Wichita Eagle

## AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
32522	95677	Print Legal Ad - IPL0031459	RESOLUTION NO. 21-249	\$70.45	1	84 L

**Attention:** Jamie Buster  
 CITY OF WICHITA/CLERKS OFFICE  
 455 N MAIN ST FL 13  
 WICHITA, KS 67202

### LEGAL PUBLICATION

OCA 150004  
 PUBLISHED IN THE WICHITA  
 EAGLE ON July 9, 2021  
 RESOLUTION NO. 21-249  
 CON2021-00021

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Adopted this 6th day of July, 2021.

ATTEST:  
 Brandon J. Whipple, Mayor, City of Wichita  
 Karen Sublett, City Clerk  
 (SEAL)

Approved as to form:  
 Jennifer Magana, City Attorney and Director of Law  
 IPL0031459  
 Jul 9 2021

In The STATE OF KANSAS  
 In and for the County of Sedgwick

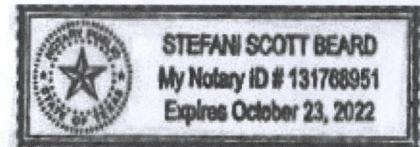
No. of Insertions: 1  
 Beginning Issue of: 07/09/2021  
 Ending Issue of: 07/09/2021

STATE OF KANSAS)  
 SS  
 County of Sedgwick)

Hayley Martin, of lawful age, being first duly sworn, deposeth and saith: That he is Record Clerk of The Wichita Eagle, a daily newspaper published in the City of Wichita, County of Sedgwick, State of Kansas, and having a general paid circulation on a daily basis in said County, which said newspaper has been continuously and uninterruptedly published in said County for more than one year prior to the first publication of the notice hereinafter mentioned, and which said newspaper has been entered as second class mail matter at the United States Post Office in Wichita, Kansas, and which said newspaper is not a trade, religious or fraternal publication and that a notice of a true copy is hereto attached was published in the regular and entire Morning issue of said The Wichita Eagle from 07/09/2021 to 07/09/2021.

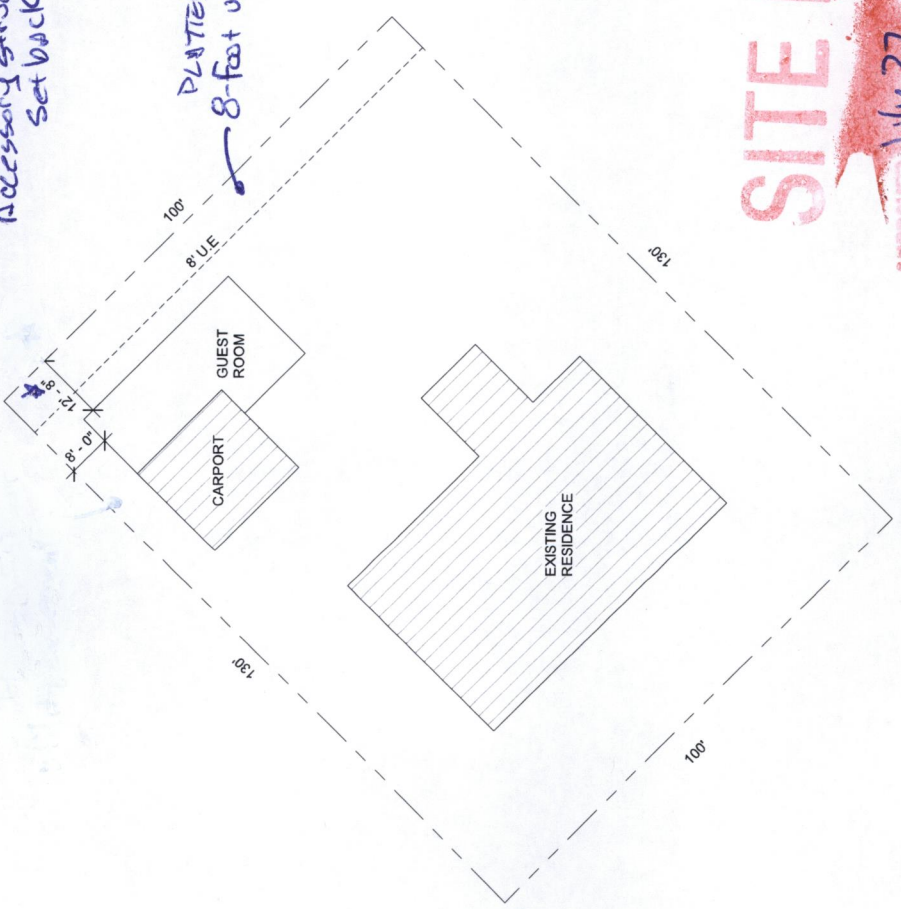
I certify (or declare) under penalty of perjury that the foregoing is true and correct.  
 DATED: 07/12/2021

Notary Public in and for the state of Texas, residing in Dallas County



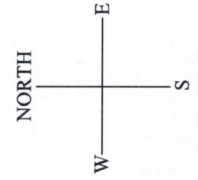
Extra charge for lost or duplicate affidavits.  
 Legal document please do not destroy!

\* Art III, Sec III-D, 7.0(d) REAR SETBACK - PERMITS  
 Necessary structure within 5-foot of rear  
 Setback



PLATED  
 8-foot utility easement

LOT 8 BLOCK 2 WOMERS  
 WESTLYNN 2ND. ADD.



**SITE PLAN**

APPROVED July 27, 2021  
 Bill Longnecker

1  
 1" = 20'-0"

 EVANS BUILDING CO. INC. 5555 N. LARSON MAIZE, KANSAS 67101	MARSHA HAAG RESIDENCE WICHITA, KS	PROPERTY 1612 W. LYNN WICHITA, KS WICHITA CITY LICENSE NO. 26 EXPIRES 03/15/2021	<table border="1"> <tr><td>DATE:</td><td>7/21/21</td></tr> <tr><td>DR. BY:</td><td>JMC</td></tr> <tr><td>CK. BY:</td><td></td></tr> </table>	DATE:	7/21/21	DR. BY:	JMC	CK. BY:		PROJECT NO. Project Number	SHEET SA1.1
	DATE:	7/21/21									
DR. BY:	JMC										
CK. BY:											
7/16/2021 10:09:46 AM G:\ACTIVE JOBS\MARSHA HAAG RESIDENCE\MARSHA HAAG RESIDENCE.rvt											

Page 1

PRINTS ISSUED  
ON PLANS OR DETAILS

REVISIONS



Room Addition - Carport Addition  
For Michael Minto - Burwell Construction  
1612 Weathym Street  
Wichita, KS

Paul Sullivan, PE  
5317 EAST FLINSTON  
WICHITA, KS. 67218  
Phone 316-265-8457  
EMAIL paul.sullivan@gmail.com

ENCR: PDS DR: PDS  
PROJECT NO.: 20-8122

SHEET TITLE

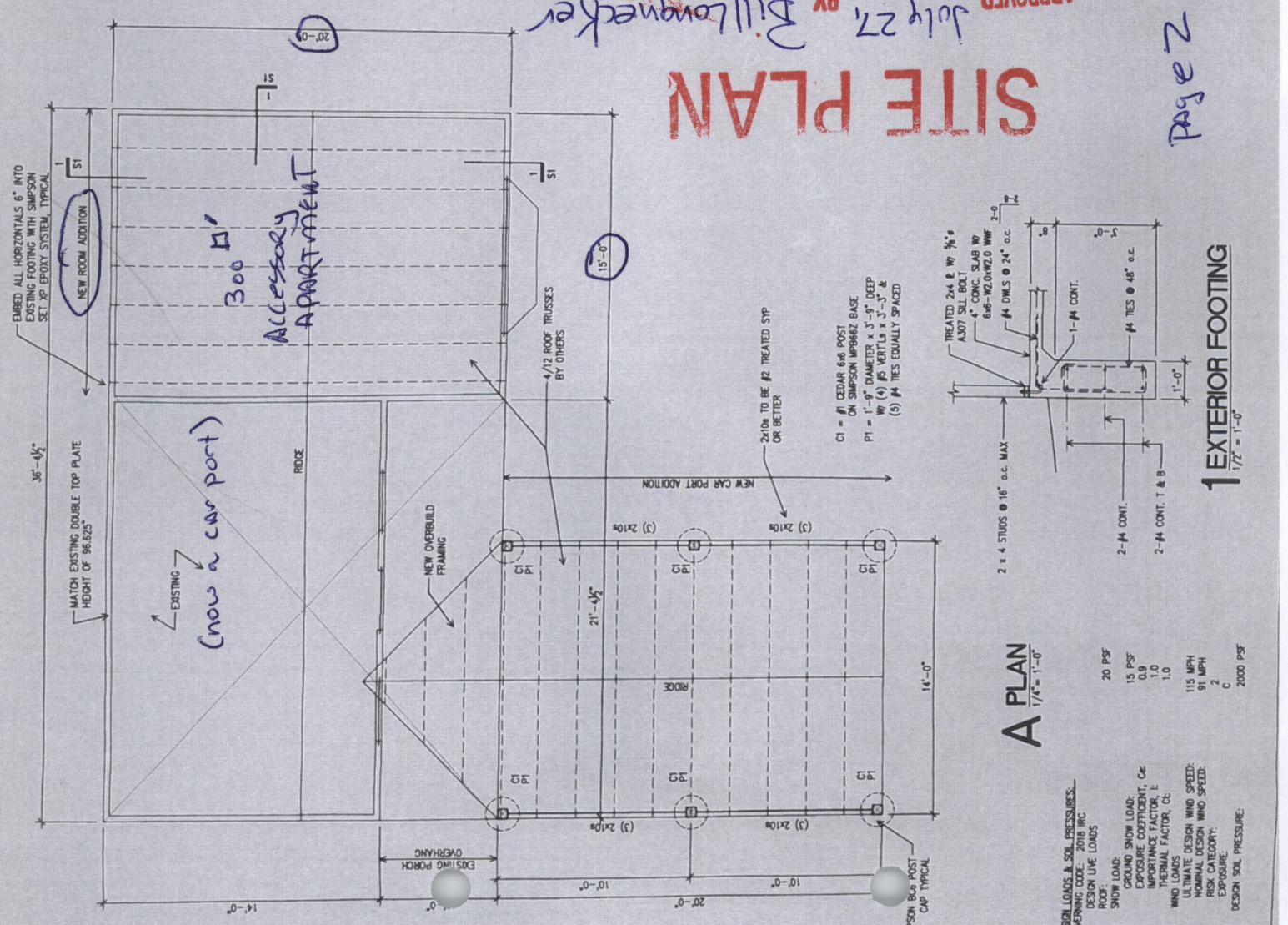
SHEET  
15  
OF

GENERAL NOTES:  
ALL NOTES HEREFTER ARE TYPICALLY APPLICABLE UNLESS OTHERWISE NOTED

G 1 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECT'S PLANS BEFORE STARTING WORK  
G 2 SEE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF OPENINGS IN WALLS, ROOF AND FLOOR SYSTEMS.  
G 3 CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BRACING, SHORING, GUYING, ETC. AND OTHER METHODS TO PREVENT EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. THESE PROVISIONS TO REMAIN IN PLACE UNTIL SUPPORT PERMANENT MEMBERS ARE CONSTRUCTED TO INSURE THE SAFETY OF THE STRUCTURE.  
G 4 ALL DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS, UNLESS SHOWN OTHERWISE.

FOUNDATION/SOILS:  
FS 1 FOUNDATION DESIGN IS BASED ON AN ASSUMED BEARING CAPACITY. PREPARATION OF SOILS AT BUILDING PAD AND ALL SOILS WORKS INCLUDING BACKFILL OF UTILITY TRENCHES AND VERIFICATION OF BEARING MATERIALS SHALL BE UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER. PROXIMITY OF UTILITY TRENCHES TO BUILDING FOUNDATION SYSTEM SHALL BE AS APPROVED BY THE SOILS ENGINEER TO INSURE THE INTEGRITY OF THE BEARING SOILS.  
FS 2 ALL FOUNDATIONS SHALL BEAR ON UNDISTURBED EARTH OR ENGINEERED FILL AT ELEVATIONS SHOWN ON DETAILS. BEARING MATERIALS TO BE VERIFIED BY A LICENSED SOILS ENGINEER.  
FS 3 ALL ABANDONED FOUNDATIONS, UTILITIES, ETC., THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED. BEAR NEW FOUNDATIONS ON ENGINEERED FILL OR INCREASE BEARING DEPTH TO UNDISTURBED EARTH AT REMOVED OBSTRUCTIONS.  
FS 4 ALL FOUNDATIONS (OR PORTIONS THEREOF) BELOW GRADE MAY BE EARTH FORMED BY HEAT EXCAVATIONS, SOIL PERMITTING.  
FS 5 FOOTINGS TO BE CENTERED ON WALLS, OR COLUMNS, U.N.C.

CONCRETE:  
C 1 CONCRETE REINFORCING FABRICATOR AND GENERAL CONTRACTOR SHALL CERTIFY THAT THEY HAVE REVIEWED ALL SHOP DRAWING SHEETS BEFORE SUBMITTING FOR REVIEW, BY STAMPING EACH SHEET, OR BY IMPRINT LETTERHEAD STATING THE SAME, FOR EACH SUBMITTAL. ALL SHOP DRAWINGS SHALL BE HIGHLIGHTED BY THE FABRICATOR AND FOR GENERAL CONTRACTOR. ALL SHOP DRAWINGS SUBMITTED FOR ENGINEER'S REVIEW ARE ONLY CHECKED FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER FOR THE CORRECTNESS OF DIMENSIONS, DETAILS, QUANTITIES OR PROCEDURES SHOWN ON THE SHOP DRAWINGS.  
C 2 SHOP DRAWINGS SHALL BE PREPARED IN KEEPING WITH THE CURRENT PRACTICE.  
C 3 NATIONAL STANDARDS: A.C.I. AND C.R.S.I.  
C 4 CONCRETE SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PRACTICE".  
C 5 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 6 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 7 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 8 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 9 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 10 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
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C 12 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
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C 16 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 17 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 18 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.  
C 19 PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.



APPROVED  
July 27, 2021  
BY Bill Longnecker

Page 2

A PLAN  
1/4" = 1'-0"

1 EXTERIOR FOOTING  
1/2" = 1'-0"