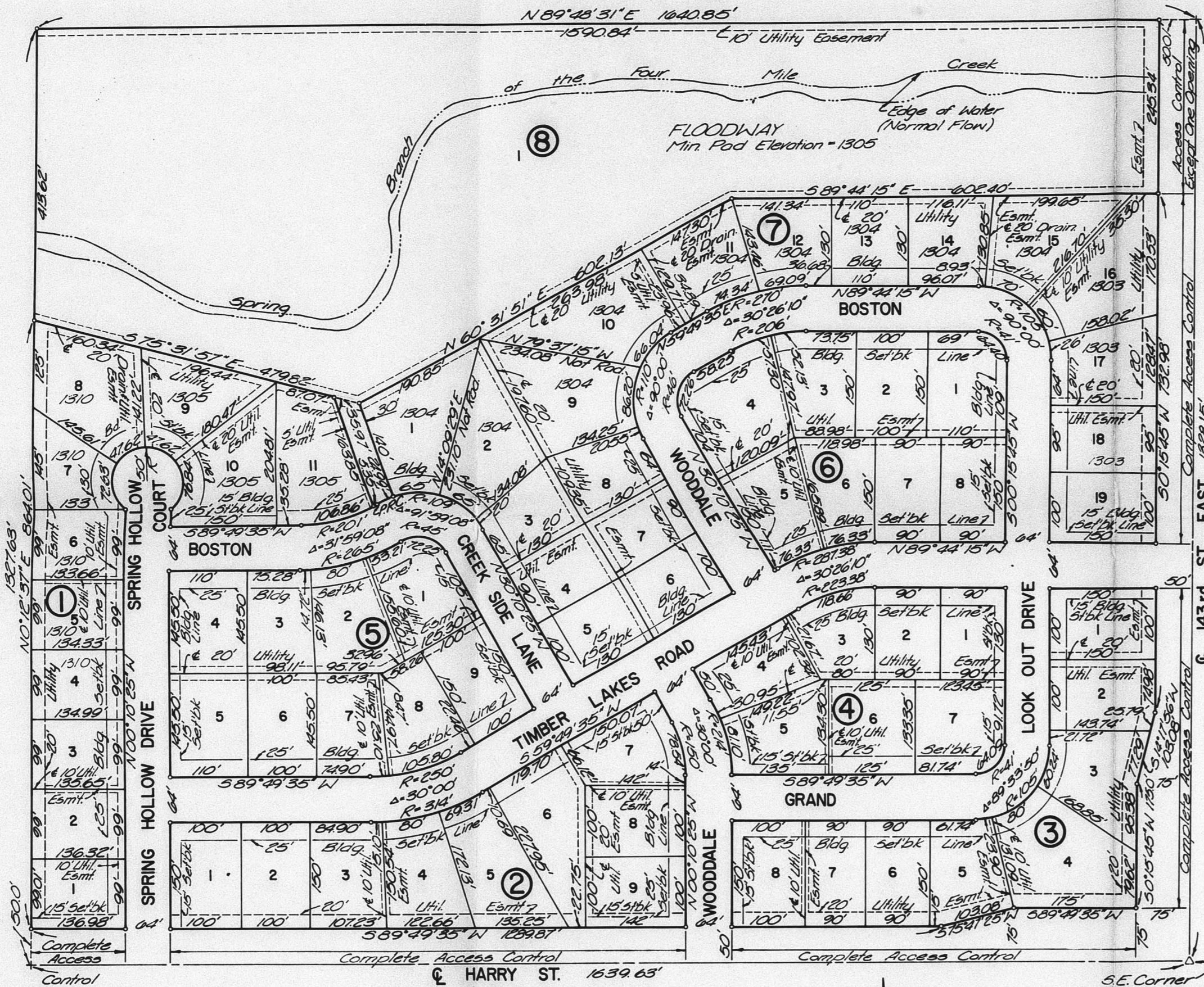


S

# SPRING HOLLOW ADDITION TO SEDGWICK COUNTY, KANSAS

**APPROVED FOR RECORDING  
RECORDED ON August 31, 1977**



Minimum Flood Elevations

| Block | Lots                            | Elev. |
|-------|---------------------------------|-------|
| 1     | 4, 5, 6, 7, 8                   | 1310  |
| 1     | 9, 10, 11                       | 1305  |
| 7     | 1, 2, 9, 10, 11, 12, 13, 14, 15 | 1304  |
| 7     | 16, 17, 18                      | 1303  |
| 8     | 1                               | 1305  |

Scale: 1"=100'  
Bench Mark - Railroad Spike in Utility Pole  
S.E. Corner, Sec. 26, T. 27S., R. 2E., of the 6th P.M.

STATE OF KANSAS  
COUNTY OF SEDGWICK

I, CHARLES M. JEFFRIES, A REGISTERED LAND SURVEYOR IN FORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT, ON THIS DAY OF 1977, I HAVE SURVEYED AND PLATTED SPRING HOLLOW ADDITION TO SEDGWICK COUNTY, KANSAS, INTO LOTS, BLOCKS AND STREETS. MORE PARTICULARLY DESCRIBED AS:

THE EAST 50 ACRES OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 27 SOUTH, RANGE 2 EAST OF THE SIXTH PRINCIPAL MERIDIAN, SEDGWICK COUNTY, KANSAS.

*Charles M. Jeffries*  
CHARLES M. JEFFRIES  
REG. NO. 555

KNOW ALL MEN BY THESE PRESENTS, THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS SET FORTH IN THE SURVEYOR'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS, BLOCKS, AND STREETS, THE SAME TO BE KNOWN AS SPRING HOLLOW ADDITION TO SEDGWICK COUNTY, KANSAS. THE STREETS ARE HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC. THE EASEMENTS, AS INDICATED, FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES, ARE HEREBY GRANTED. THE FLOODWAY SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY IN THE SUBDIVISION UNTIL SUCH TIME AS THE GOVERNING BODY EXERCISING JURISDICTION ELECTS TO ASSUME THE RESPONSIBILITY FOR MAINTENANCE AND IMPROVEMENT OF THE DRAINAGE. PROVIDED FURTHER THAT NO BUILDING SHALL BE CONSTRUCTED ON OR WITHIN SAID FLOODWAY, NOR SHALL ANY FILL, CHANGE OF GRADE, CREATION OF CHANNEL OR OTHER WORK BE CARRIED ON WITHOUT THE PERMISSION OF THE WICHITA-VALLEY CENTER FLOOD CONTROL OFFICE OR THEIR SUCCESSORS OF OFFICE. ALL ABUTTER'S RIGHTS OF ACCESS, AS INDICATED, TO AND FROM HARRY STREET, ARE HEREBY GRANTED TO THE APPROPRIATE GOVERNING BODY. ALL ABUTTER'S RIGHTS OF ACCESS, AS INDICATED, TO AND FROM 143RD STREET EAST, ARE HEREBY GRANTED TO THE APPROPRIATE GOVERNING BODY. PROVIDED, HOWEVER, THAT LOT 1, BLOCK 8, SHALL HAVE ACCESS TO AND FROM 143RD STREET EAST AT ONE LOCATION TO BE DESIGNATED BY THE APPROPRIATE ENGINEER.

CEDAR LAKES, INC.  
*Arthur J. Casado* PRESIDENT  
ARTHUR J. CASADO  
*John W. McKay, Jr.* SECRETARY  
JOHN W. MCKAY, JR.

STATE OF KANSAS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS DAY OF 1977, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CAME CEDAR LAKES INC., A CORPORATION, BY ARTHUR J. CASADO, PRESIDENT AND JOHN W. MCKAY, JR., SECRETARY, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME. IN TESTIMONY WHEREOF I HAVE HERE UNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS OF SEDGWICK COUNTY, KANSAS, THIS DAY OF \_\_\_\_\_ 1977.

TONY SCOTT CHAIRMAN  
JOHN HALE COMMISSIONER  
EVERETT PATRICK COMMISSIONER

ATTEST

DOROTHY K. WHITE COUNTY CLERK  
ENTERED ON TRANSFER RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1977.  
DOROTHY K. WHITE COUNTY CLERK

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS 26<sup>th</sup> DAY OF May, 1977.

*William J. Hubel* CHAIRMAN  
WILLIAM J. HUBEL  
*Robert A. Lakin* SECRETARY  
ROBERT A. LAKIN

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE CITY COMMISSION OF THE CITY OF WICHITA, KANSAS, THIS DAY OF \_\_\_\_\_ 1977.

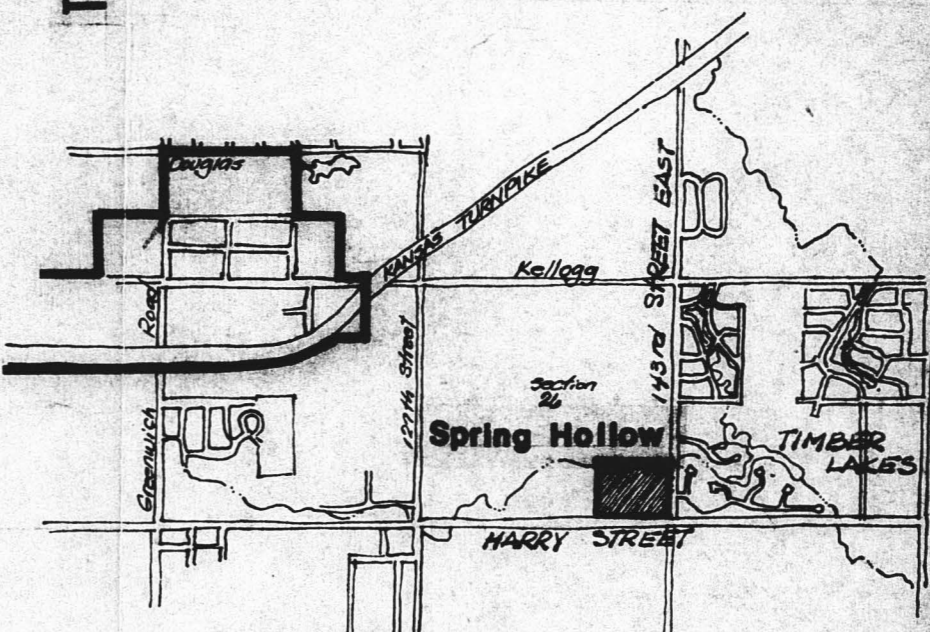
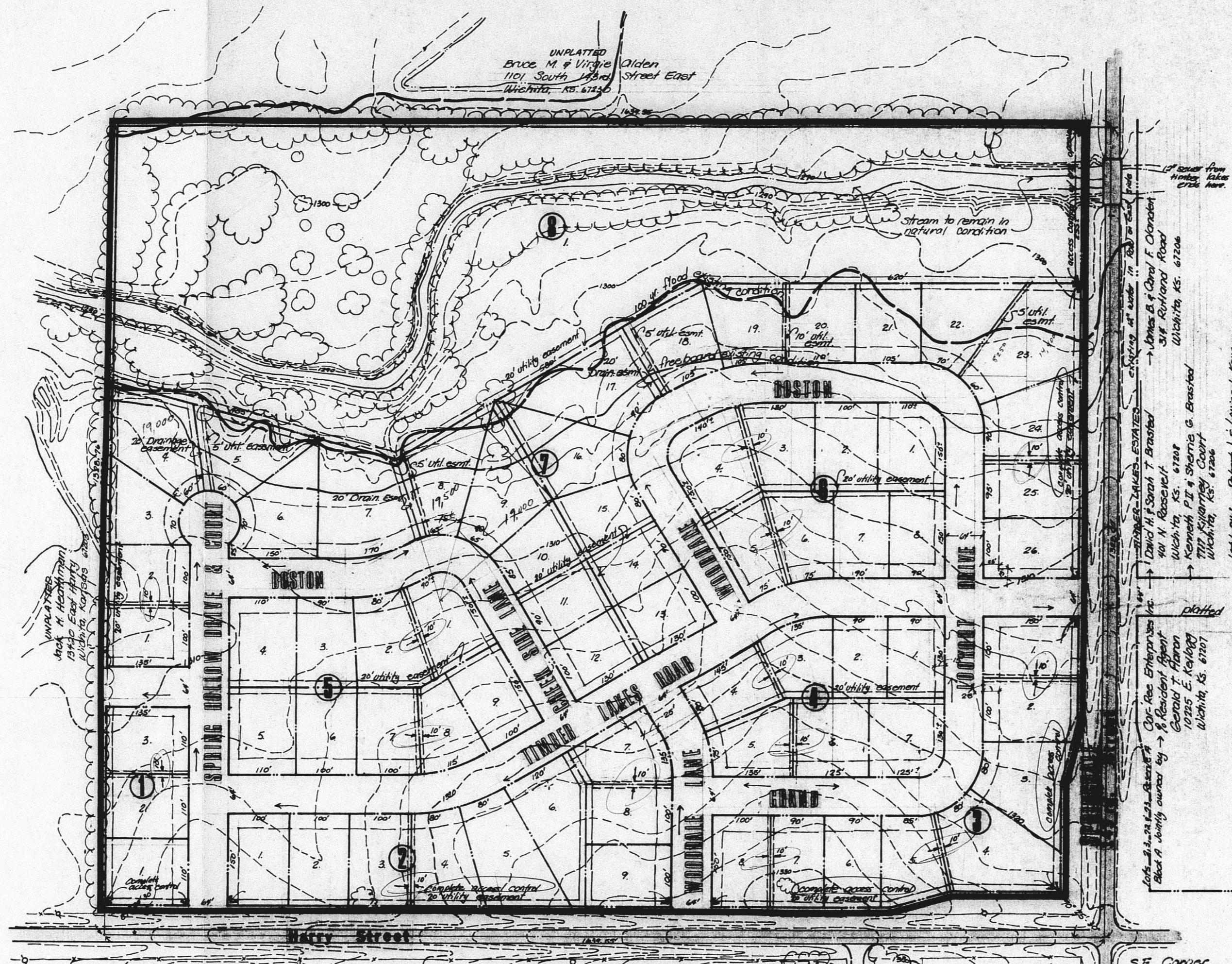
TONY CASADO MAYOR  
DONALD C. GISTICK CITY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT \_\_\_\_\_ H., ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 1977.

BETTE F. MC GARY REGISTER OF DEEDS  
PAT KETTLER DEPUTY

S/D 76-83

COPY FILED



**GENERAL INFORMATION**

- 71 Single Family Lots
- min. lot size - 11,700 sq. ft.
- all roadways - 64' R.O.W.
- total acres in addition - 46.6 net acres  
49.97 gross acres

→ areas in street ROWs indicates proposed drainage patterns.

**REVISED COPY**  
**PRELIMINARY PLAT**  
**SPRING HOLLOW ADDITION**  
 1/4 Sec. 26 of Harry - Sedgwick County  
 Cedar Lakes Inc. 302 North Main, Wichita, Kansas 67202



scale - 1" = 100'

**REVISED COPY**  
**OFFICE COPY**  
 DO NOT REMOVE

100 yr. flood plain established by Professional Engineering Consultants, Spring 1976

topo prepared 5-25-77  
 by: BAUGHMAN CO.  
 250 acres 31/4 SAH, Sec 26, T21S R2E

S/D 76-83



real  
 roots  
 by a  
 valley vendor  
 Kansas 67107  
 316-246-3900

designed by  
 checked by  
 dated 1/10/77

Project  
 SPRING HOLLOW ADDITION  
 Cedar Lakes Inc. Wichita, KS  
 Casper Mackay, Inc. Wichita, KS

sheet title  
 PRELIMINARY PLAT

sheet  
 of 1



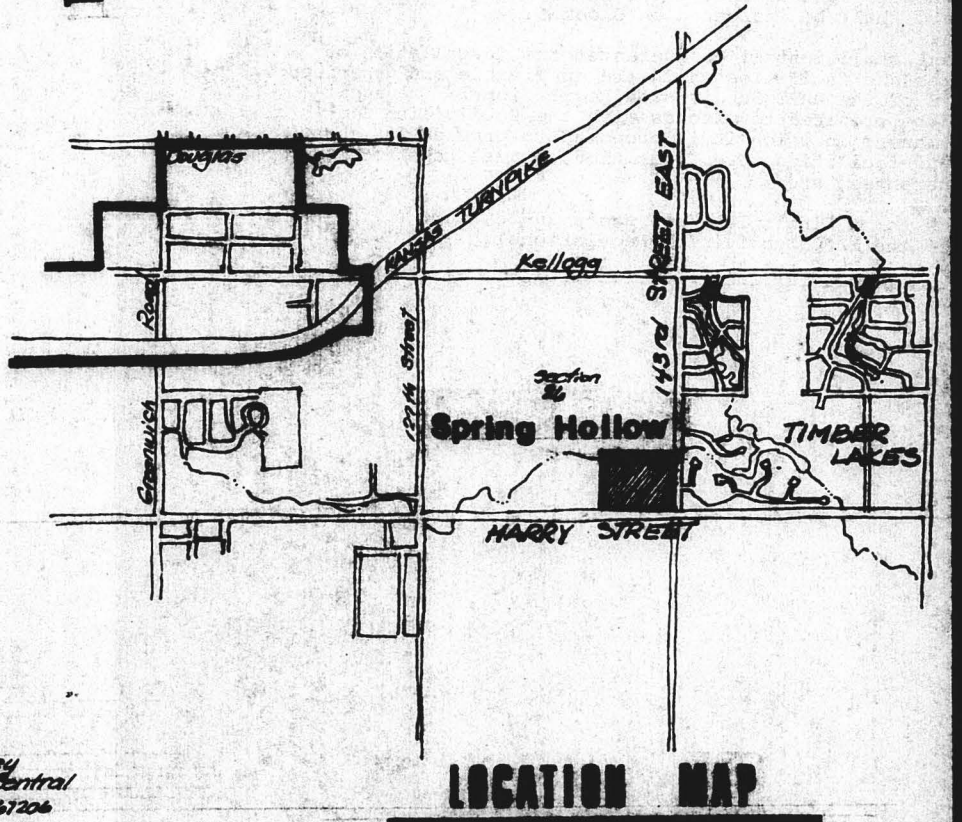
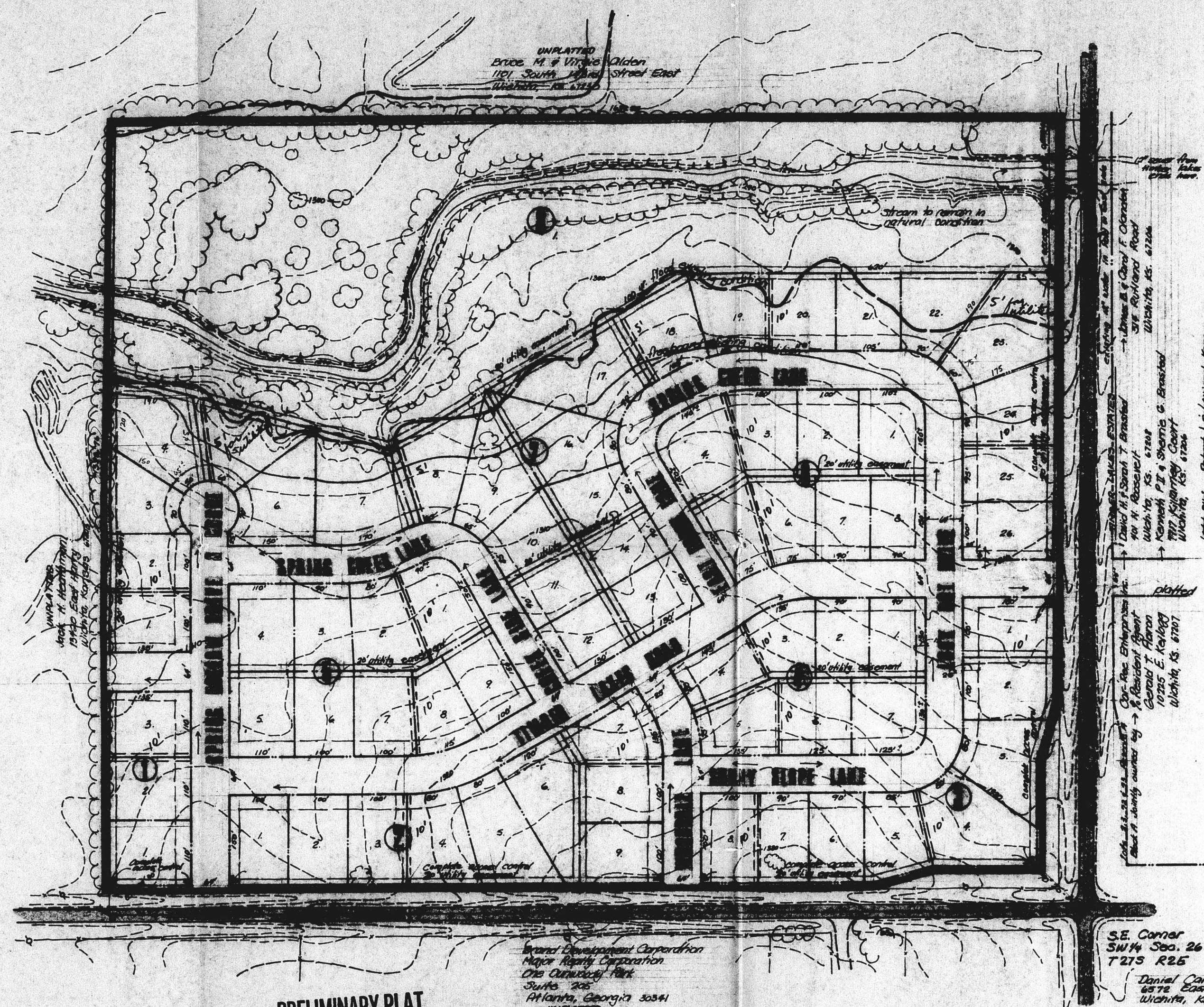
**GENERAL INFORMATION**

- 71 Single Family Lots
  - min. lot size - 11,700 sq. ft.
  - all roadways - 60' R.O.W.
  - total acres in addition - 46.6 net acres  
49.97 gross acres
- arrows in street layouts indicates proposed drainage patterns.

**REVISED COPY**  
**PRELIMINARY PLAT**  
**SPRING HOLLOW ADDITION**  
 TERRY L. SMITH BY TERRY L. SMITH, C.E.  
 CONY-LARSON INC. 302 North Main, Wichita, KS

- The street running west from Spring Hollow Drive may be deleted from the plat.
- The applicant shall guarantee the extension of sanitary sewer service to all lots within Spring Hollow. Sewer service to this area is dependent upon the financing and construction of a sewage treatment facility to serve this plat as well as several other proposed subdivisions in the area. The applicant shall be advised that until sanitary sewer service is available, no final plat is to be submitted.
- The applicant shall guarantee the extension of City water to serve all lots being platted.
- The applicant shall guarantee the paving of all streets to urban standards.
- The applicant shall guarantee the construction of sidewalks on both sides of all interior streets.
- The applicant's designer shall refer to M.A.P.C. Subdivision Regulations 7-204 (D) and make sure that all lots have adequate frontage measured at the setback lines. Note especially lots 4, 5, 8, 9 and 23 in block 7.
- Approval of the plat is subject to approval of an appropriate zone change to permit the lot sizes proposed by the plat.
- All utility easements shall be labeled on the final plat.
- The applicant and/or his engineer shall work with M. S. Mitchell of the Flood Control Office to establish building pad elevations, methods for handling of drainage across Block 8, i.e., open ditch, underground, lined channel, and an overall acceptable drainage plan for the plat. The applicant shall obtain a letter from Mr. Mitchell stating that a satisfactory drainage plan has been submitted, that the appropriate building pad elevations have been set and the drainage across Block 8 has been resolved. This letter shall be submitted to the Planning Department.
- The applicant shall guarantee the required drainage improvements on the plat.
- The applicant's engineer shall submit a copy of the street plans and profiles when approved by the City Engineer, to the County Engineer's Office for their records and use during final inspection of the street improvements.
- The applicant shall submit to the Planning Department a letter from the County Fire Department stating that the fire hydrant locations have been approved for subject property.
- The applicant shall be advised that there are several terraces on subject property which will have to be removed during development of subject property to prevent spot erosion and flooding problems from occurring.
- The access control notations shall be labeled on the street side of the lots on the final plat.
- The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 5 of the M.A.P.C. Subdivision Regulations. The applicant should be prepared to discuss with the Subdivision Committee the manner in which it is proposed to provide for such utilities and facilities, e.g., petition, actual construction, monetary guarantee, etc.
- Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the M.A.P.C. Subdivision Regulations).

210 15-88

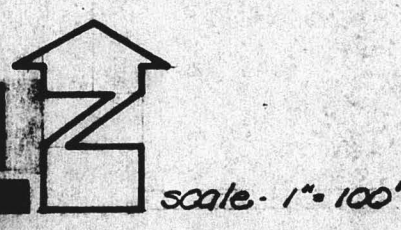


**GENERAL INFORMATION**

- 71 Single Family Lots
- min. lot size - 11,100 sq. ft.
- all roadways - 64' R.O.W.
- total acres in addition - 46.6 net acres  
49.97 gross acres

→ areas in street ROWs indicates proposed drainage patterns.

**PRELIMINARY PLAT**  
**OFFICE COPY PRELIMINARY PLAT**  
**DO NOT REMOVE**  
**SPRING HOLLOW ADDITION**  
 W.P.M. Survey of Harry - Sedgwick County  
 Cedar Lakes Inc. 308 North Main, Wichita, Kansas 67202



100 yr. flood plain established by Professional Engineering Consultants, Spring 1976

topo prepared 5-25-71  
 by: BAUGHMAN CO.  
 2.50 acres 51% SHW JAC 26 7215 R26

S/D 76-83

**g**  
 BILL S. YOUNG  
 Design Consultant

total  
 route  
 100  
 utility center  
 located 07167  
 316-744-2800

received by City  
 engineer by City  
 5/21/76

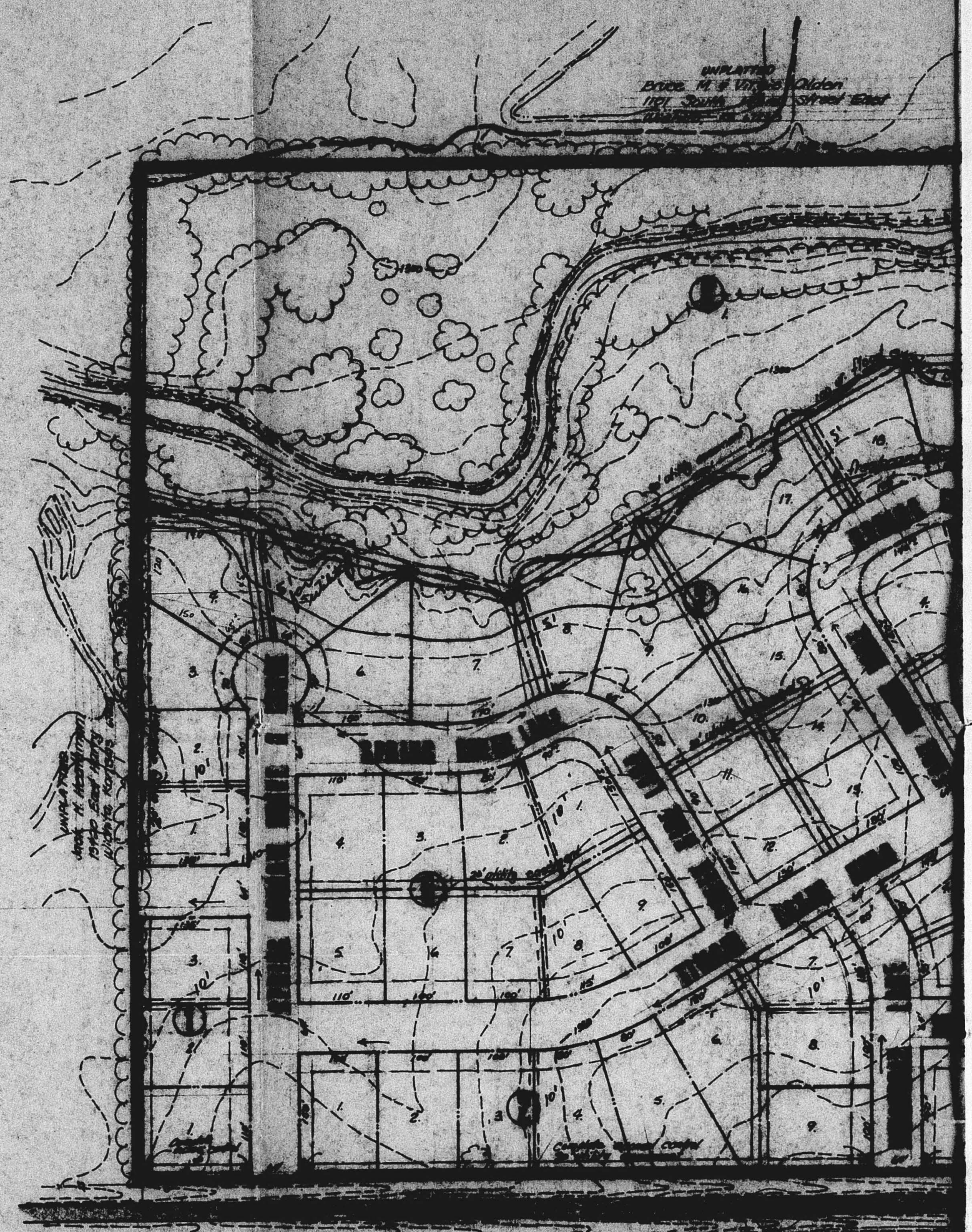
Project  
 SPRING HOLLOW ADDITION  
 Cedar Lakes Inc., Wichita, KS  
 Casach, Mackey, Inc., Wichita, KS

sheet title  
 PRELIMINARY PLAT

sheet  
 of: 1

98 1 25

- NOTE:** The Committee in approving the preliminary plat subject to the following conditions, also requested that the revised preliminary plat be submitted for their review prior to submission of a final plat.
- A. The applicant shall guarantee the extension of sanitary sewer service to all lots within Spring Hollow. Sewer service to this area is dependent upon the financing and construction of a sewage treatment facility to serve this plat as well as several other proposed subdivisions in the area. The applicant shall be advised that until sanitary sewer service is available, no final plat is to be submitted.
  - B. The applicant shall guarantee the extension of City water to serve all lots being platted.
  - C. The applicant shall guarantee the paving of all streets to urban standards.
  - D. The applicant shall guarantee the construction of sidewalks on both sides of all interior streets.
  - E. The applicant's designer shall refer to M.A.P.C. Subdivision Regulations 7-204(D) and make sure that all lots have adequate frontage measured at the setback lines.
  - F. Approval of the plat is subject to approval of an appropriate zone change to permit the lot sizes proposed by the plat.
  - G. Additional utility easements as shown on the marked "engineer's copy" of the plat shall be indicated on the final plat.
  - H. The applicant and/or his engineer shall work with M. S. Mitchell of the Flood Control Office to establish building pad elevations, methods for handling of drainage across Block 8, i.e., open ditch, under ground, lined channel, and an overall acceptable drainage plan for the plat. The applicant shall obtain a letter from Mr. Mitchell stating that a satisfactory drainage plan has been submitted, that the appropriate building pad elevations have been set and the drainage across Block 8 has been resolved. This letter shall be submitted to the Planning Department.
  - I. The applicant shall guarantee the required drainage improvements on the plat.
  - J. Appropriate street names as furnished to the applicant's engineer by Bill McKinley, Traffic Engineering Division of the Department of Public Works shall be indicated on the plat.
  - K. The applicant's engineer shall submit a copy of the street plans and profiles when approved by the City Engineer, to the County Engineer's office for their records and use during final inspection of the street improvements.
  - L. The applicant shall submit to the Planning Department a letter from the County Fire Department stating that the fire hydrant locations have been approved for subject property.
  - M. The applicant shall be advised that there are several terraces on subject property which will have to be removed during development of subject property to prevent spot erosion and flooding problems from occurring.
  - N. "Complete access control" shall be indicated adjacent to Harry Street and 143rd Street on all lots and blocks except for Block 8. "Access control except for one opening" adjacent to 143rd Street, shall be indicated on Block 8.
  - O. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the M.A.P.C. Subdivision Regulations. The applicant should be prepared to discuss with the Subdivision Committee the manner in which it is proposed to provide for such utilities and facilities, e.g., petition, actual construction, monetary guarantee, etc.
  - P. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the M.A.P.C. Subdivision Regulations).



**GENERAL INFORMATION**

- 71 Single family lots
- min. lot size - 11,700 sq. ft.
- all roadways - 60' R.O.W.
- total acres in addition - 16.6 net acres
- 11.97 Gross acres
- arrows in other sheets indicates proposed drainage patterns.

**PRELIMINARY PLAT**

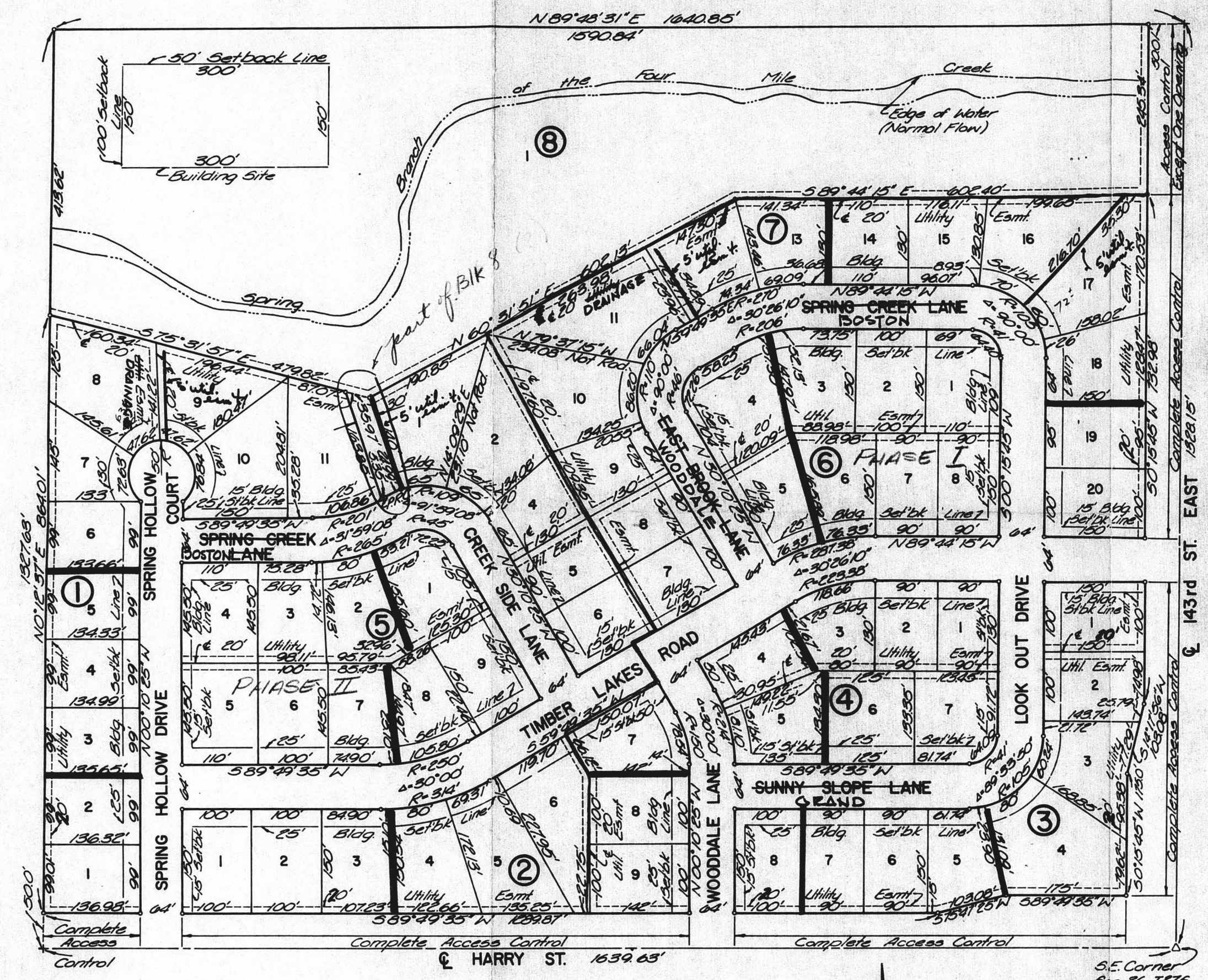
**OFFICE COPY**  
DO NOT REMOVE

**PRELIMINARY PLAT**  
**SPRING HOLLOW AREA**  
**300 NORTH MAIN, WILSON**  
**COOK LADD INC.**

S/D 76-83

**SPRING HOLLOW ADDITION  
TO SEDGWICK COUNTY, KANSAS**

**FINAL PLAT  
OFFICE COPY  
DO NOT REMOVE**



STATE OF KANSAS  
COUNTY OF SEDGWICK, SS

I, CHARLES M. JEFFRIES, A REGISTERED LAND SURVEYOR IN APRESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977, I HAVE SURVEYED AND PLATTED SPRING HOLLOW ADDITION TO SEDGWICK COUNTY, KANSAS, INTO LOTS, BLOCKS AND STREETS, NONE PARTICULARLY DESCRIBED AS:

THE EAST 58 ACRES OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 27 SOUTH, RANGE 2 EAST OF THE SIXTH PRINCIPAL MERIDIAN, SEDGWICK COUNTY, KANSAS.

CHARLES M. JEFFRIES  
REG. NO. 555

KNOW ALL MEN BY THESE PRESENTS, THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS SET FORTH IN THE SURVEYOR'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS, BLOCKS, AND STREETS, THE SAME TO BE KNOWN AS SPRING HOLLOW ADDITION TO SEDGWICK COUNTY, KANSAS. THE STREETS ARE HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC. THE EASEMENTS, AS INDICATED, FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES, ARE HEREBY GRANTED. ALL RIGHTS OF ACCESS, AS INDICATED, TO AND FROM HARRY STREET, ARE HEREBY GRANTED TO THE APPROPRIATE GOVERNING BODY. ALL RIGHTS OF ACCESS, AS INDICATED, TO AND FROM LOOK OUT DRIVE, ARE HEREBY GRANTED TO THE APPROPRIATE GOVERNING BODY. PROVIDED, HOWEVER, THAT: LOT 1, BLOCK 8, SHALL HAVE ACCESS TO AND FROM HARRY STREET EAST AT ONE LOCATION TO BE DESIGNATED BY THE APPROPRIATE GOVERNING BODY.

ENGINEER  
CEDAR LAKES, INC.  
ARTHUR J. CASADO, PRESIDENT  
JOHN W. MC RAY, JR., SECRETARY

STATE OF KANSAS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CAME CEDAR LAKES, INC., A CORPORATION, BY ARTHUR J. CASADO, PRESIDENT AND JOHN W. MC RAY, JR., SECRETARY, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND ONLY ACKNOWLEDGED THE EXECUTION OF SAME. IN TESTIMONY WHEREOF I HAVE HERE UNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL, THE DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS OF SEDGWICK COUNTY, KANSAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

TOM SCOTT, CHAIRMAN  
JOHN HALE, COMMISSIONER  
EVERETT PATRICK, COMMISSIONER

ATTEST  
DOROTHY K. WHITE, COUNTY CLERK

ENTERED ON TRANSFER RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

DOROTHY K. WHITE, COUNTY CLERK

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

WILLIAM J. GOEBEL, CHAIRMAN  
ROBERT A. LAKIN, SECRETARY

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE CITY COMMISSION OF THE CITY OF WICHITA, KANSAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

TONY CASADO, MAYOR  
DONALD C. GISICK, CITY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT \_\_\_\_\_ N., ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

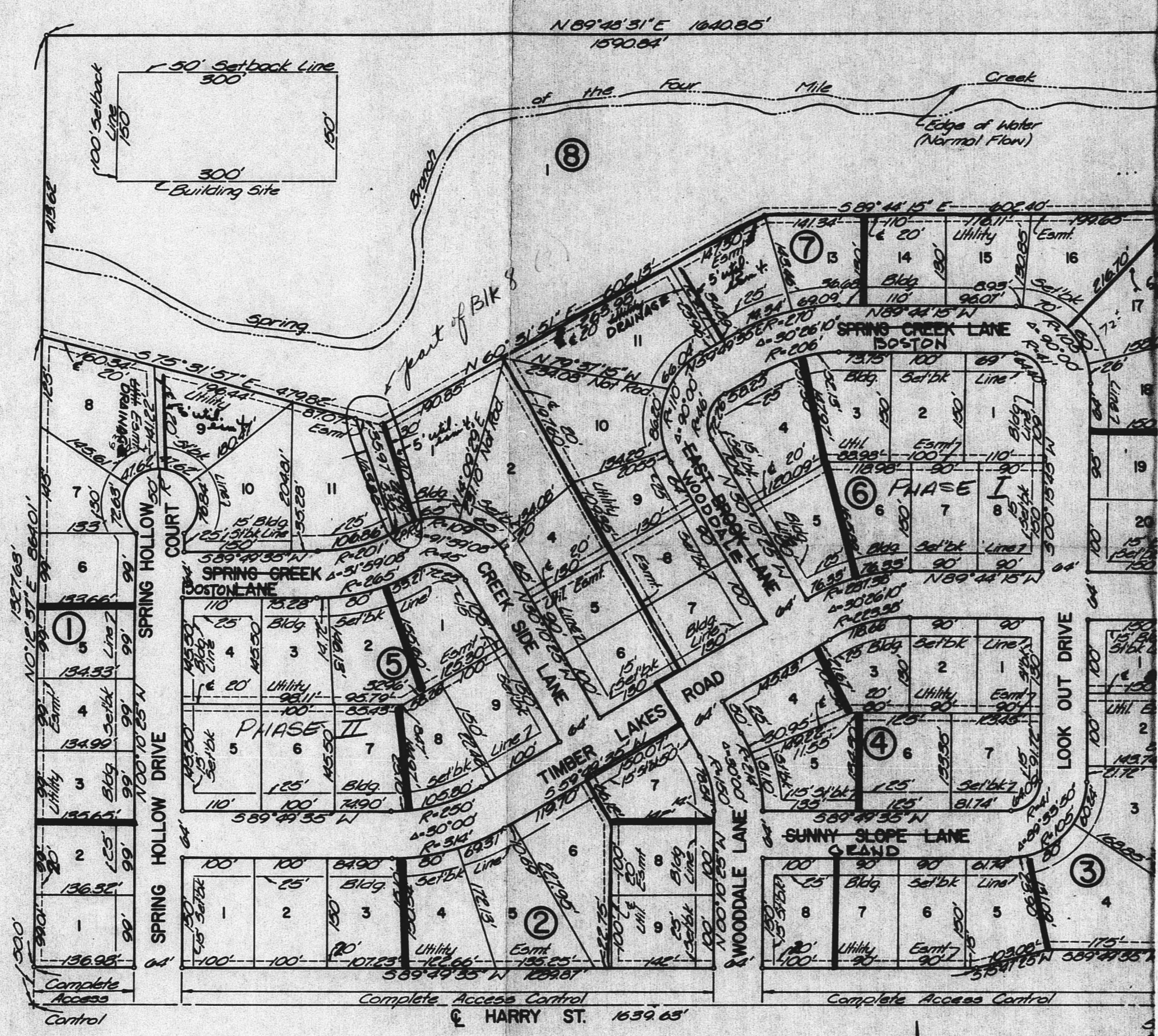
BETTE F. MC CART, REGISTER OF DEEDS  
PAT KEYTLER, DEPUTY

Scale: 1"=100'  
Bench Mark - Railroad Spike in Utility Pole  
S.E. Corner, Sec. 26  
E1-1929.25 N.T.S.L.

S/D 76-83

SPRING HOLLOW  
TO SEDGWICK

FINAL PLAT  
OFFICE COPY  
DO NOT REMOVE



- A. Approval of this plat is subject to approval of the zone change from "R-1" to "AA" (SCS-3374).
- B. The applicant shall guarantee the extension of sanitary sewer to serve all lots. Sewer service to this area is dependent upon the financing and construction of a sewage treatment facility to serve this plat as well as several other proposed subdivisions in the area. Approval of sewer service for this plat will require State and local health departments approval as well as approval by the County.
- C. The applicant shall guarantee the extension of city water to serve all lots.
- D. The applicant shall guarantee the paving of all interior streets to urban standards.
- E. The applicant shall guarantee the construction of sidewalks on both sides of all interior streets. If the City Commission adopts a new sidewalk policy, the requirements for this plat shall coincide with the new policy.
- F. Approval of this plat will require a waiver of the lot width requirements as set forth in Article 7-204(D) of the Subdivision Regulations.
- G. Building pad elevations shall be established for Lots 4 through 11 in Block land for lots 1, 2, 10 through 18 in Block 7, and shall be shown on the face of the plat. Lot 1, Block 8, shall be labeled "floodway" and a minimum pad elevation shall be shown rather than the setback lines.
- H. A drainage plan shall be submitted to M. S. Mitchell of the Maintenance-Flood Control office and, when said plan is approved, a memo from Mr. Mitchell shall be submitted to the Planning Department.
- I. Any drainage improvements required by this plat shall be guaranteed by the applicant. Drainage between Lots 11 and 12 in Block 7, between Lots 8 and 9 in Block 1, and between Lot 11, Block 1 and Lot 1, Block 7 shall be underground or in paved flumes the entire distance to the creek.
- J. The applicant's engineer shall submit a copy of the street plans and profiles, when approved by the City Engineer, to the County Engineer's office for their records and use during final inspection of the street improvements.
- K. The applicant shall submit to the Planning Department a letter from the County Fire Department stating that the fire hydrant locations have been approved for subject property.
- L. The applicant shall be advised that there are several terraces on subject property which will have to be removed during development to prevent spot erosion and flooding.
- M. According to the legal description of the property being platted, the street rights-of-way for Lakes Road and Harry Street are being dedicated by this plat. The dimensions of these rights-of-way shall be labeled on the face of the plat.
- N. The applicant's engineer shall provide to the Flood Control Office a profile of the proposed driveway for Lot 1, Block 8.
- O. The applicant's engineer shall contact K. G. and E. and Southwestern Bell relative to side lot utility easements which are needed.
- P. The applicant shall contact Tim Cain of the Public Works Department relative to some street name changes.
- Q. Recording of the plat within 30 days after approval by the Board of City Commissioners.

S/D 76-83

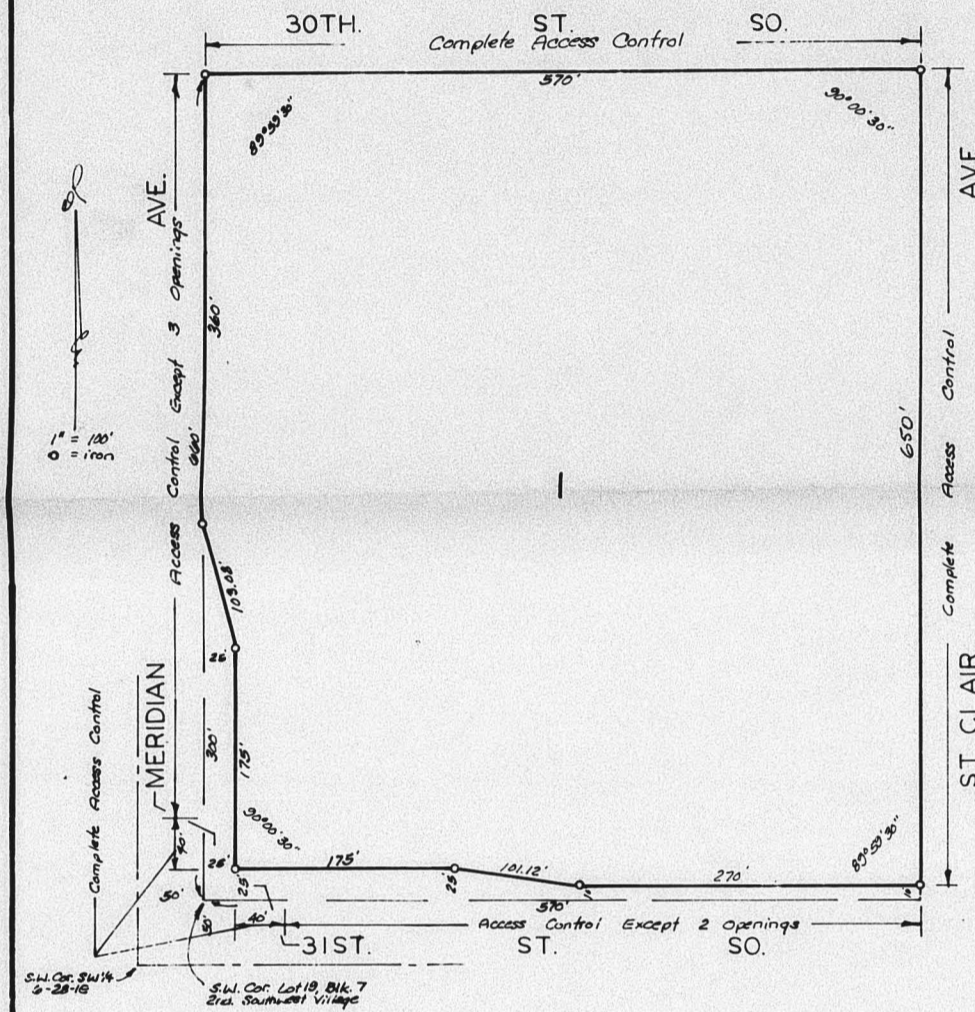
128 6 111

S/D 77-118

APPROVED FOR RECORDING  
RECORDED ON December 29, 1977  
**SOUTHWEST PLAZA ADDITION**

COPY  
DEAD - FILE

WICHITA, KANSAS



State of Kansas? S.S. The foregoing instrument was acknowledged before me this 29th day of December 1977, by Vernon J. Jacobs, President of Southwest Plaza, Inc.

Vera M. Williams Notary Public  
My Comm. Exp. Dec. 6, 1980

We, the undersigned, holders of a mortgage on the above described property, do hereby consent to this plat of "SOUTHWEST PLAZA ADDITION", Wichita, Kansas.

Fourth National Bank & Trust Company of Wichita, Kansas

[Signature]  
V.P.

State of Kansas? S.S. The foregoing instrument was acknowledged before me this 29th day of December 1977, by J.P. Neuman V.P. of the Fourth National Bank & Trust Company of Wichita, Kansas.

Cheryl Ann Blue Notary Public  
My Comm. Exp. 2-14-1982

This plat approved, and all dedications shown hereon accepted by the Board of Commissioners Sedgwick County, Kansas, this 29th day of December 1977.

Jim Scott Chairman  
John Hale Commissioner  
Everett Patrick Commissioner  
Donna K. White County Clerk

Entered on transfer record this 29th day of December 1977.

Donna K. White County Clerk

State of Kansas? S.S. We, Baughman Company Surveyors in Sedgwick County, Kansas, do hereby certify that we have surveyed and plotted "SOUTHWEST PLAZA ADDITION", Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed described as and being a replat of lots 1, through 19, odd and even inclusive, together with the vacated alley, all in Block 7, Second Addition to Southwest Village, Wichita, Kansas.

Baughman Company

10/20/77  
William L. Korber Surveyor

7-4-80 This plat of "SOUTHWEST PLAZA ADDITION", Wichita, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 29th day of December 1977.

Wichita-Sedgwick County Metropolitan Area Planning Commission

James D. [Signature] Vice Chairman  
Robert A. Lakin Secretary

State of Kansas? S.S. This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 29th day of December 1977, at 10:00 o'clock P.M. and is duly recorded.

John F. [Signature] Register of Deeds  
Paul [Signature] Deputy

This plat approved and all dedications shown hereon accepted by the Board of Commissioners of the City of Wichita, Kansas, this 29th day of December 1977.

Tom Casado Mayor  
Donald C. [Signature] City Clerk

Know all men by these presents that we, the undersigned, have caused the land described in the surveyors certificate to be platted into a lot and streets to be known as "SOUTHWEST PLAZA ADDITION", Wichita, Kansas. The streets are hereby dedicated to and for the use of the public. All abutting rights of access to or from Meridian Ave. over and across the west line of lot 1, to or from 30th St. So. over and across the north line of lot 1, to or from St. Clair Ave. over and across the east line of lot 1, and to or from 31st St. So. over and across the south line of lot 1, are hereby granted to the City of Wichita, Kansas provided however that lot 1 shall have access to Meridian Ave. at 3 points over all but the south 40 feet of the west line of lot 1 and shall have access to 31st St. So. at 2 points over all but the west 40 feet of the south line of lot 1, as shall be determined by the City Engineer of the City of Wichita, Kansas.

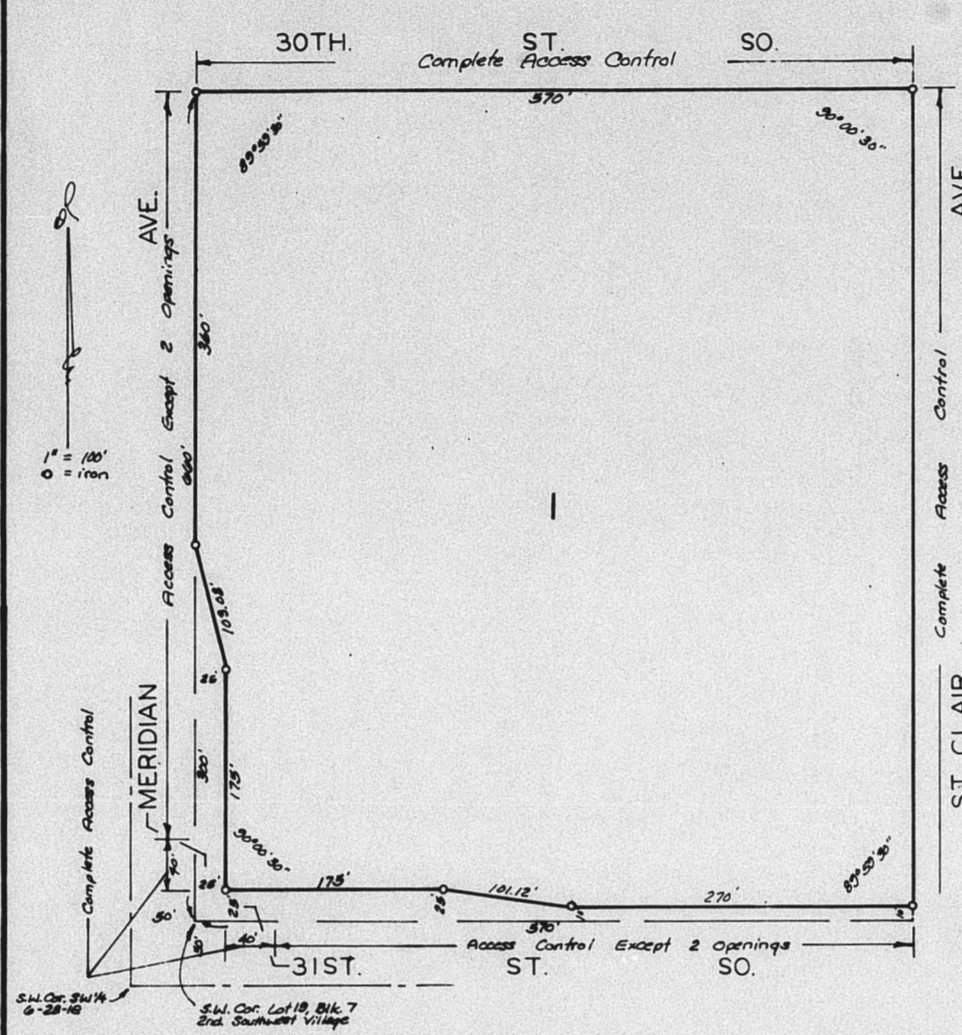
Southwest Plaza, Inc.  
Vernon J. Jacobs President

S/D 77-118

# SOUTHWEST PLAZA ADDITION

WICHITA, KAN.

**OFFICE COPY**  
**DO NOT REMOVE**  
**PRELIMINARY PLAT**



State of Kansas? S.S. The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 1977 by Vernon J. Jacobs, President of Southwest Plaza, Inc.

This plat approved and all dedications shown hereon accepted by the Board of Commissioners Sedgewick County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

My Comm. Exp. \_\_\_\_\_ Notary Public

\_\_\_\_\_ Chairman

We, the undersigned, holders of a mortgage on the above described property, do hereby consent to this plat of "SOUTHWEST PLAZA ADDITION", Wichita, Kansas.

\_\_\_\_\_ Commissioner

\_\_\_\_\_ Commissioner

Fourth National Bank & Trust Company of Wichita, Kansas

\_\_\_\_\_ County Clerk

State of Kansas? S.S. The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 1977 by \_\_\_\_\_ of the Fourth National Bank & Trust Company of Wichita, Kansas.

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

\_\_\_\_\_ County Clerk

My Comm. Exp. \_\_\_\_\_ Notary Public

State of Kansas? S.S. We, Baughman Company Surveyors, in Sedgewick County, Kansas, do hereby certify that we have surveyed and platted "SOUTHWEST PLAZA ADDITION", Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed described as and being a replat of lots 1, through 19, odd and even inclusive, together with the vacated Alley, all in Block 7, Second Addition to Southwest Village, Wichita, Kansas.

This plat of "SOUTHWEST PLAZA ADDITION", Wichita, Kansas, has been submitted to and approved by the Wichita-Sedgewick County Metropolitan Area Planning Commission, Wichita, Kansas, dated this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

State of Kansas? S.S. This is to certify that Sedgewick County, Kansas, has been filed for record in the office of the Register of Deeds this \_\_\_\_\_ day of \_\_\_\_\_ 1977, at \_\_\_\_\_ o'clock \_\_\_\_\_ M.; and is duly recorded.

Wichita-Sedgewick County Metropolitan Area Planning Commission

\_\_\_\_\_ Register of Deeds

Baughman Company

\_\_\_\_\_ Chairman

\_\_\_\_\_ Secretary

This plat approved and all dedications shown hereon accepted by the Board of Commissioners of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

\_\_\_\_\_ Mayor

\_\_\_\_\_ City Clerk

Know all men by these presents that we, the undersigned, have caused the land described in the surveyors certificate to be platted into a lot and streets to be known as "SOUTHWEST PLAZA ADDITION", Wichita, Kansas. The streets are hereby dedicated and for the use of the public. All easements of access to or from Meridian Ave. over and across the west line of Lot 1, to or from 30th St. So. over and across the north line of Lot 1, to or from St. Clair Ave. over and across the east line of Lot 1, and to or from 31st St. So. over and across the south line of Lot 1, are hereby granted to the City of Wichita, Kansas, provided however that Lot 1 shall have access to Meridian Ave. at 2 points over all but the south 40 feet of the west line of Lot 1 and shall have access to 31st St. So. at 2 points over all but the west 40 feet of the south line of Lot 1, as shall be determined by the City Engineer of the City of Wichita, Kansas.

Southwest Plaza, Inc.

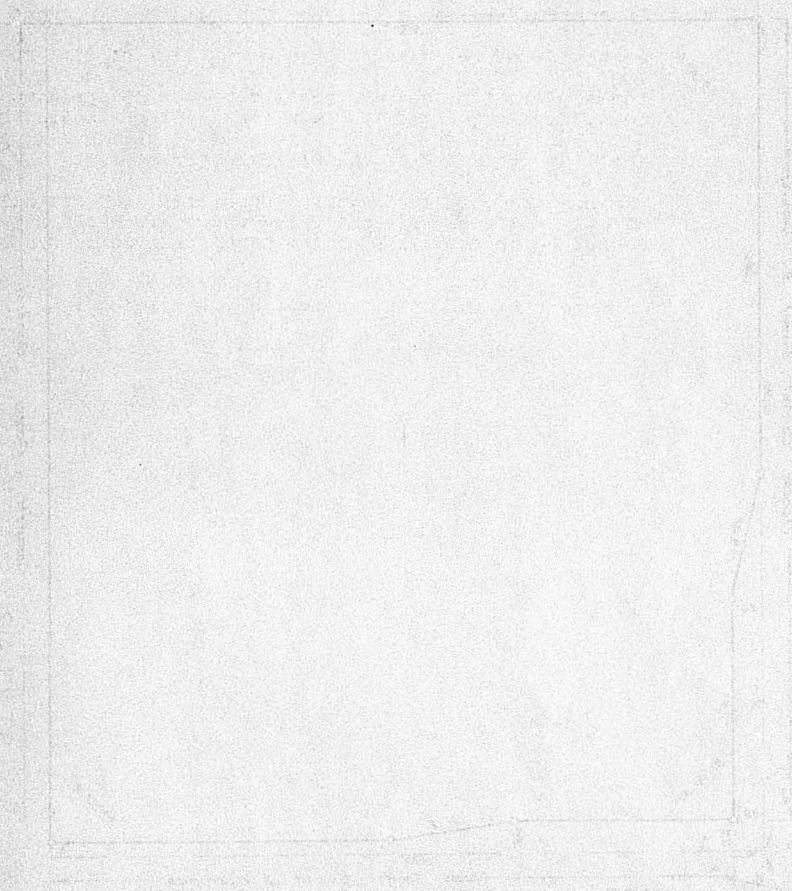
\_\_\_\_\_ President

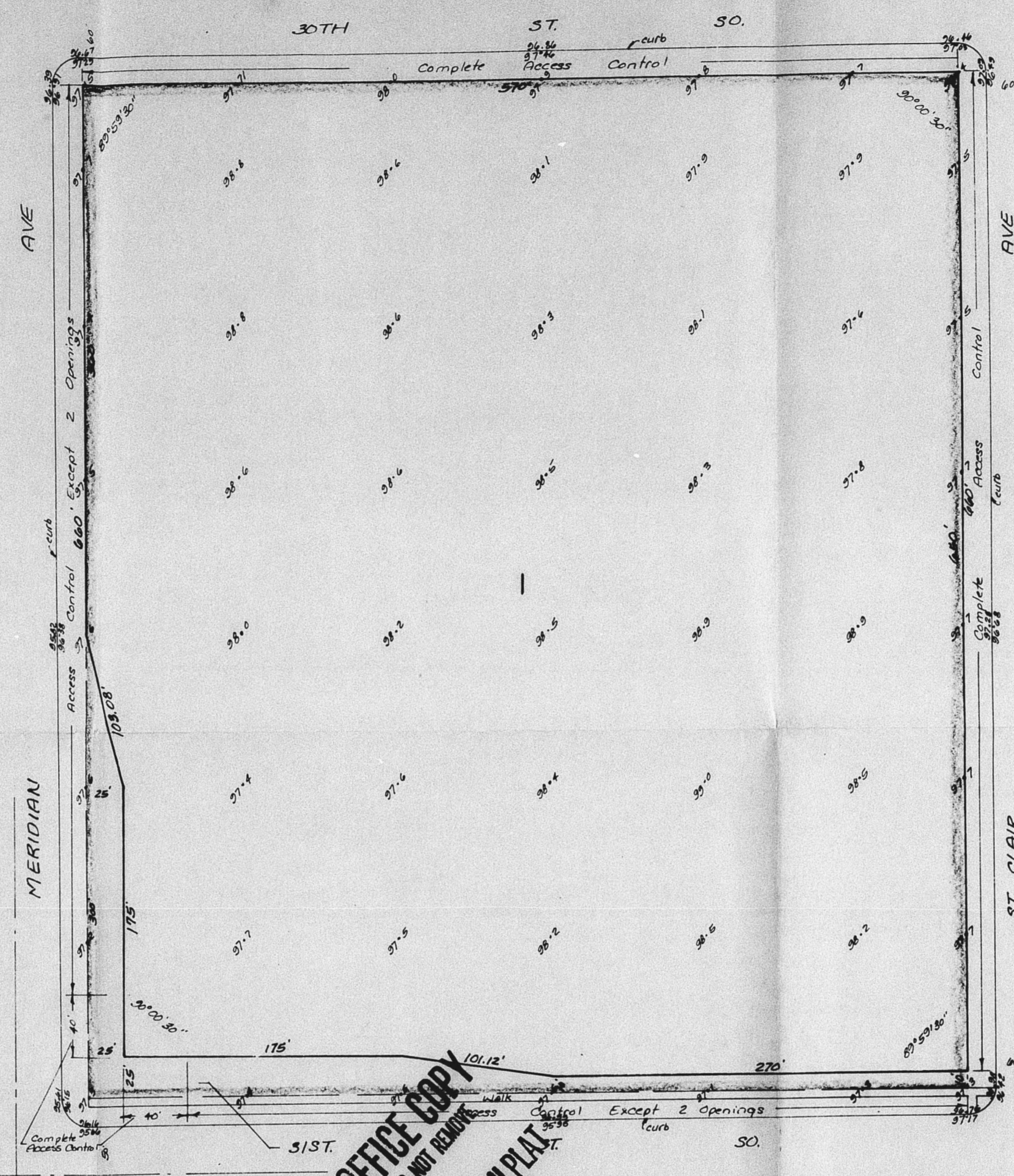
81-77-118

ADDITION PLATS SOUTH WEST

OFFICE COPY  
APPROVED FOR  
RECORDING

- A. The access control labeling adjacent to Meridian shall be changed to indicate three openings as approved on the associated C.U.P.
- B. As approved on the associated C.U.P., the applicant shall guarantee the construction of a major entrance on Meridian.
- C. As approved on the associated C.U.P., the applicant shall guarantee the construction of deceleration lanes on the east side of Meridian and the north side of 1st Street.
- D. The applicant's engineer shall submit a lot grading plan to M. S. Mitchell of the Maintenance-Flood Control Office. A letter obtained from Mr. Mitchell approving said plan shall be submitted to the Planning Department.
- E. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MFC Subdivision Regulations.
- F. Requirements for a final plat (see pages 20-25, Part 4, Article 5 of the MFC Subdivision Regulations).





BENCH MARK:  
City Standard Disc  
4" x 1/2" x 1/2" x 1/2" x 1/2" x 1/2"  
Elev = 53.573 City Datum

LOT GRADING PLAN:  
The lot shall be graded to drain  
to the street, via approved  
drainage - flumes - inlets, when  
developed

SKETCH PLAT  
SOUTHWEST PLAZA ADDITION

LOTS 1 THRU 10 ODD & EVEN INCLUSIVE, BLOCK 7, Second  
Addition to Southwest Village, Wichita, Kansas.

SOUTHWEST PLAZA INC.

OFFICE COPY  
DO NOT REMOVE  
SKETCH PLAT

BAUGHMAN COMPANY 11 SEP 77

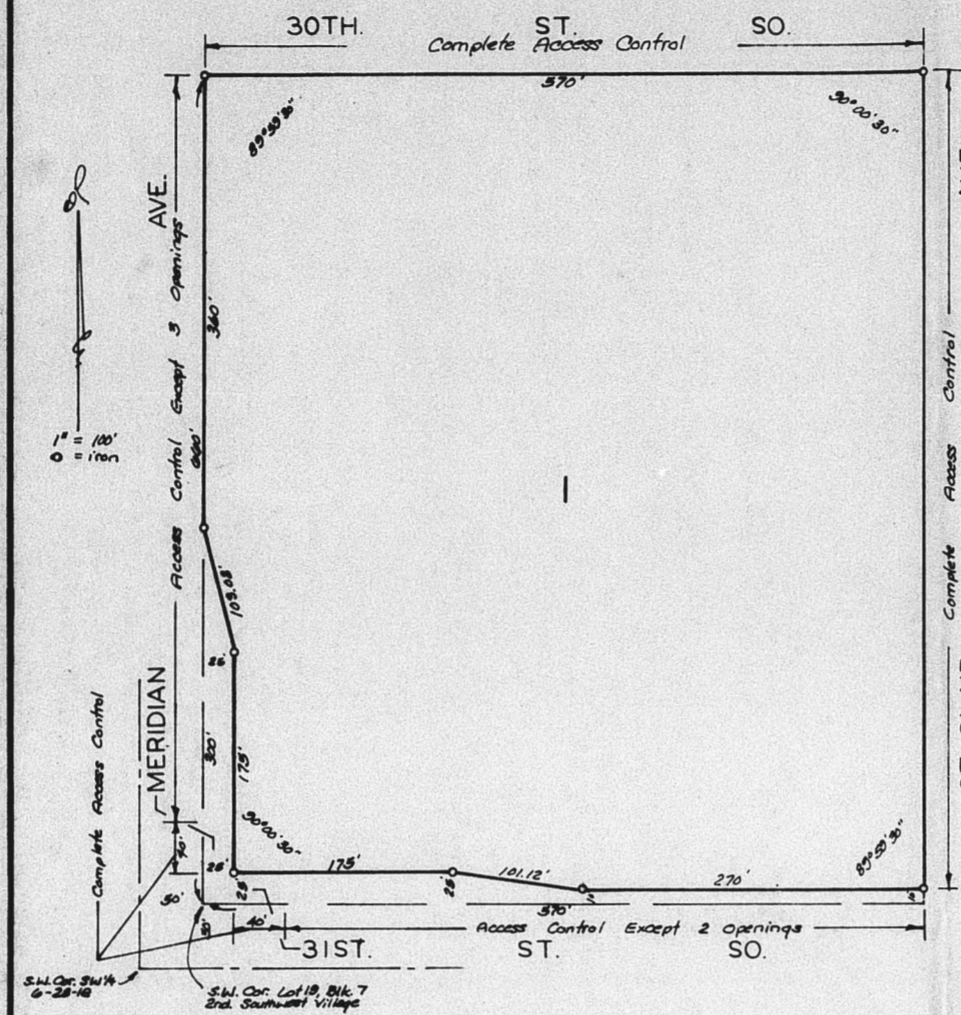
3/D 77-118

S/D 77-118

FINAL PLAT  
OFFICE COPY  
DO NOT REMOVE

# SOUTHWEST PLAZA ADDITION

WICHITA, KANSAS



State of Kansas, S.S. We, Baughman Company, Surveyors, in and for said county and state do hereby certify that we have surveyed and platted "SOUTHWEST PLAZA ADDITION", Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed described as and being a replat of Lots 1 through 13 odd and even, inclusive, together with the vacated Alley, all in Block 7 Second Addition to Southwest Village, Wichita, Kansas.

Baughman Company

\_\_\_\_\_  
Caleb \_\_\_\_\_  
William L. Kober Surveyor

Know all men by these presents that we, the undersigned, have caused the land described in the surveyors certificate to be platted into a lot and streets to be known as "SOUTHWEST PLAZA ADDITION", Wichita, Kansas. The streets are hereby dedicated to and for the use of the public. All abutting rights of access to or from Meridian Ave. over and across the west line of Lot 1, to or from 30th St. So. over and across the north line of Lot 1, to or from St. Clair Ave. over and across the east line of Lot 1, and to or from 31st St. So. over and across the south line of Lot 1, are hereby granted to the City of Wichita, Kansas provided however that Lot 1 shall have access to Meridian Ave. at 3 points over all but the south 40 feet of the west line of Lot 1, and shall have access to 31st St. So. at 3 points over all but the west 40 feet of the south line of Lot 1, as shall be determined by the City Engineer of the City of Wichita, Kansas.

Southwest Plaza, Inc.

\_\_\_\_\_  
Vernon J. Jacobs President

State of Kansas, S.S. The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 1977, by Vernon J. Jacobs, President of Southwest Plaza, Inc.

My Comm. Exp. \_\_\_\_\_ Notary Public

We, the undersigned, holders of a mortgage on the above described property, do hereby consent to this plat of "SOUTHWEST PLAZA ADDITION", Wichita, Kansas.

Fourth National Bank & Trust Company of Wichita, Kansas

State of Kansas, S.S. The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 1977, by \_\_\_\_\_ of the Fourth National Bank & Trust Company of Wichita, Kansas.

My Comm. Exp. \_\_\_\_\_ Notary Public

This plat of "SOUTHWEST PLAZA ADDITION", Wichita, Kansas, has been submitted to and approved by the Wichita-Sedwick County Metropolitan Area Planning Commission, Wichita, Kansas, dated this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

Wichita-Sedwick County Metropolitan Area Planning Commission

\_\_\_\_\_  
Marjorie L. Taylor Chairman

\_\_\_\_\_  
Robert A. Calkin Secretary

This plat approved and all dedications shown hereon accepted by the Board of Commissioners of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

\_\_\_\_\_  
Tom Casade Mayor

\_\_\_\_\_  
Donald C. Girick City Clerk

This plat approved and all dedications shown hereon accepted by the Board of Commissioners, Sedwick County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

\_\_\_\_\_  
Tom Scott Chairman

\_\_\_\_\_  
John Hale Commissioner

\_\_\_\_\_  
Everett Patrick Commissioner

\_\_\_\_\_  
Dorothy K. White County Clerk

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_ 1977.

\_\_\_\_\_  
Dorothy K. White County Clerk

State of Kansas, S.S. This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_ 1977, at \_\_\_\_\_ o'clock \_\_\_\_\_ M.; and is duly recorded.

\_\_\_\_\_  
Catherine M. Hester Register of Deeds

\_\_\_\_\_  
Paul Ketter Deputy

81-77-118

PLAZA ADDITION

- A. As approved on the associated C.U.P., the applicant shall guarantee the construction of a major entrance on Meridian and deceleration lanes on Meridian and 31st Street South.
- B. The applicant shall guarantee the construction of a sanitary sewer manhole. The Engineering Division shall be contacted regarding the amount of guarantee needed.
- C. Recording of the plat within 30 days after approval by the Board of City Commissioners.

OFFICE COPY  
DO NOT REMOVE

