



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

March 26, 2026

Stark Real Estate , LLC
245 N. Waco
Suite 220
Wichita, KS 67202

RE: BZA2026-00013 – Variance request in the City to reduce the parking requirement for Group Residence, Limited from 11 spaces to 3 spaces, generally located on the west side of North Armour Drive and within 550 feet north of East Central Avenue (557 North Armour Drive)

Dear Applicant,

At its regular meeting on **March 26, 2026**, the official action of the Board of Zoning Appeals was to **GRANT** the requested Variance. The approval of the request is subject to the following conditions:

1. The site plan shall be revised to indicate the required parking spaces.

You can submit a revised site plan to:

Brad Eatherly
271 W. 3rd St. N.
Suite 201
Wichita, KS 67202

If you have any questions concerning this application, please contact our office at 268-4421.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brad Eatherly'.

Brad Eatherly
Current Plans
Senior Planner

CC: MABCD

BZA RESOLUTION NO. BZA2026-00013

WHEREAS, Stark Real Estate, LLC, (owner); pursuant to Kansas Statutes Annotated 12-759, requests a Variance to reduce the parking requirement for Group Residence, Limited from 11 spaces to 3 spaces on property located at 557 North Armour Drive; legally described as follows:

Lot 11, Block F, in the First Addition to Woodlawn Village, Wichita, Sedgwick County, Kansas.

WHEREAS, proper notice as required by ordinance and by the rules of the Board of Zoning Appeals has been given; and

WHEREAS, the Board of Zoning Appeals did, at the meeting of March 26, 2026, consider said application; and

WHEREAS, the Board of Zoning Appeals has proper jurisdiction to consider said request for a variance under the provisions of Kansas Statutes Annotated 12-759 *et. seq.*; and

WHEREAS, the conditions of the request are unique to the subject property; and

WHEREAS, waiving the requirements will not adversely affect the rights of adjacent property owners; and

WHEREAS, the strict application of the applicable Code will constitute an unnecessary hardship upon the property owner; and

WHEREAS, it is the opinion of the Board of Zoning Appeals that the requested variance would not adversely affect the public interest, health, safety or welfare; and

WHEREAS, it is the opinion of the Board of Zoning Appeals that the spirit and intent of the Zoning Code is being met in this case; and

WHEREAS, each of the five conditions required by Kansas Statutes Annotated 12-759, are found to be present for a Variance to be granted.

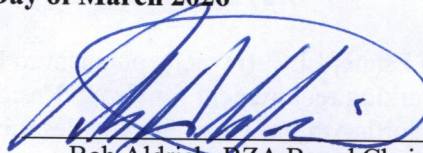
NOW, THEREFORE, BE IT RESOLVED by the Board of Zoning Appeals, pursuant to Kansas Statutes Annotated 12-759, a Variance to reduce the parking requirement for Group Residence, Limited from 11 spaces to 3 spaces on property located at 557 North Armour Drive; legally described as follows:

Lot 11, Block F, in the First Addition to Woodlawn Village, Wichita, Sedgwick County, Kansas

The variance is hereby **GRANTED**, subject to the following conditions:

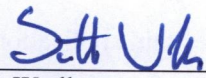
1. The site plan shall be revised to indicate the required parking spaces

ADOPTED AT WICHITA, KANSAS, this 26th Day of March 2026



Bob Aldrich, BZA Board Chair

ATTEST:



Scott Wadle,
BZA Secretary

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Cols	Depth
41100	IPL0318973	Legal Ad - IPL0318973	3-26-2026 MAPC	2.0	156.0L

ATTENTION: CITY OF WICHITA/PLANNING DEPT IP
271 WEST THIRD ST., 2ND FL, SU 203
WICHITA, KS 67202
MHEBERT@wichita.gov;kgonzalez@wichita.gov

OCA 150004
Published in The Wichita Eagle on March 5, 2026
(One Time Only)
MAPC/BZA March 26, 2026
OFFICIAL HEARING NOTICE

NOTICE IS HEREBY GIVEN that on Thursday, March 26, 2026, no earlier than 1:30 p.m., the Wichita-Sedgwick County Metropolitan Area Planning Commission/Board Zoning Appeals will consider the following applications. The meeting will be held in person at the Ronald Reagan Building, 271 West Third Street, 2nd Floor, Wichita, KS 67202. Public participation is encouraged (see instructions below). Virtual participation is not available. If you have any questions regarding the meeting or items on this notice, please call the Wichita-Sedgwick County Metropolitan Area Planning Department at (316) 268-4421. Full notice can be found at www.wichita.gov/LegalNotices.

BZA2026-00008: Variance in the City to reduce the front setbacks on a thru-lot to 20.1 feet on the east and 12.4 feet on the west to build an addition onto a single-family house on property zoned TF-3 Two-Family Residential; located on the northwest corner of South Hydraulic Avenue and Southeast Boulevard (2221 South Hydraulic).

BZA2026-00013: Variance request in the City to reduce required parking from 11 spaces to 3 spaces for Group Residence, Limited; generally located on the west side of North Armour Drive and within 550 feet north of East Central Avenue (557 North Armour Drive).

CON2026-00019: Conditional Use in the City to allow a Tavern and Drinking establishment on property zoned CBD Central Business District; generally located on southeast corner of South Seneca Street and West Douglas Avenue (1029 West Douglas Avenue, Suite 101).

CON2026-00025: Conditional Use request in the City for an Accessory Apartment on property zoned SF-5 Single Residential; Generally located on the west side of North Belmont Avenue and 250 feet north of East 3rd Street North (425 North Belmont Avenue).

CON2026-00029: Conditional Use request in the City to allow wrecking and salvage with waiver of #1 and #3 (with ZON2026-00005 LC to LI) on property zoned LC Limited Commercial District; generally located northwest corner of South Broadway Avenue and East Mt. Vernon Street (1963 South Broadway Avenue).

CON2026-00032: Conditional Use request in the City to allow Group Residence, Limited on property zoned SF-5 Single-Family Residential District; generally located on the west side of North Armour Drive and within 550 feet north of East Central Avenue (557 North Armour Drive).

PUD2026-00002: Zone Change request in the City from MF-18 Multi-Family Residential with PO-371 to PUD to create the Elm Street Apartments PUD; generally located on the south side of West Elm Street, between North Mt. Carmel Avenue and North St. Paul Avenue.

VAC2026-00004: Vacation request in the City to vacate a portion of the platted street side building setback on property zoned SF-5 Single-Family Residential District, generally located at the southwest corner of West Del Sienna Street and West Pecos Avenue (3601 West Del Sienna Street).

VAC2026-00005: Vacation request in the City to vacate a 20 feet alley abutting between the lots, generally located on east of South Laura Avenue and 348 feet north of US-54 (428 South Laura Avenue, 427 South Pattie Avenue).

ZON2026-00002: Zone Change request in the City from B Multi-Family Residential District to OW Office Warehouse District, generally located on the east side of North Pennsylvania Avenue, within 300 feet south of East 3rd Street North (332 North Pennsylvania Avenue).

ZON2026-00004: Zone Change request in the City from SF-5 Single-Family Residential to TF-3 Two-family Residential to allow duplex development, generally located on the west side of North Clara Street and 300 feet north of West Saint Louis Avenue (525 North Clara Street).

ZON2026-00005: Zone Change requesting the City from LC Limited Commercial to LI Limited Industrial (with CON2026-29 for wrecking and salvage yard); generally located northwest corner of S Broadway Street and E Mt. Vernon Street (1963 S Broadway Avenue).
IPL0318973
Mar 4 2026

In The STATE OF KANSAS
In and for the County of Sedgwick
STATE OF KANSAS)
SS
County of Sedgwick)

the undersigned, of lawful age, being first duly sworn, depose and saith: That he is Record Clerk of The Wichita Eagle, a daily newspaper published in the City of Wichita, County of Sedgwick, State of Kansas, and having a general paid circulation on a daily basis in said County, which said newspaper has been continuously and uninterruptedly published in said County for more than one year prior to the first publication of the notice hereinafter mentioned, and which said newspaper has been entered as second class mail matter at the United States Post Office in Wichita, Kansas, and which said newspaper is not a trade, religious or fraternal publication and that a notice of a true copy is hereto attached was published in the regular and entire Morning issue of said The Wichita Eagle.

1.0 insertion(s) published on:
03/04/26 Print

[Print Tearsheet Link](#)

[Marketplace Link](#)

Julie Ambry



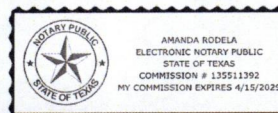
Julie Ambry

Amanda Rodela



Sworn to and subscribed before
me on

Mar 4, 2026, 10:51 AM EST



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNIX®



AFFIDAVIT OF PUBLICATION

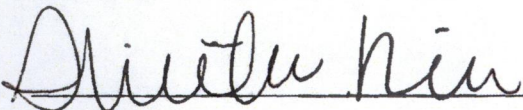
State of Kansas, Sedgwick County, ss:

Shinita Rice, City Clerk

Being first duly sworn, deposes and says:

That Mandy Hebert, Administrative Aide I, from the Planning Department of the City of Wichita, Kansas has published the attached notice on the City of Wichita website, www.wichita.gov/LegalNotices, which website is designated as the official City News Outlet Publication Site for the City of Wichita, Kansas by Charter Ordinance No. 240 effective September 4, 2024.

That the attached Notice of Public Hearing Ordinance No. _____ / Resolution No. _____ is a true copy thereof and was published on such website beginning on the 5th day of March, 2026.

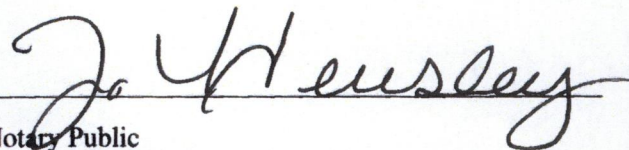


Signature

SUBSCRIBED AND SWORN to before me this 3rd day of March, 2026.



(seal)


Notary Public

City Clerk's Office

City Hall • 13th Floor • 455 N. Main • Wichita, Kansas 67202

316.268.4529 ext. 2805

www.wichita.gov

SECRETARY'S REPORT

CASE NUMBER: BZA2026-00013 (City)

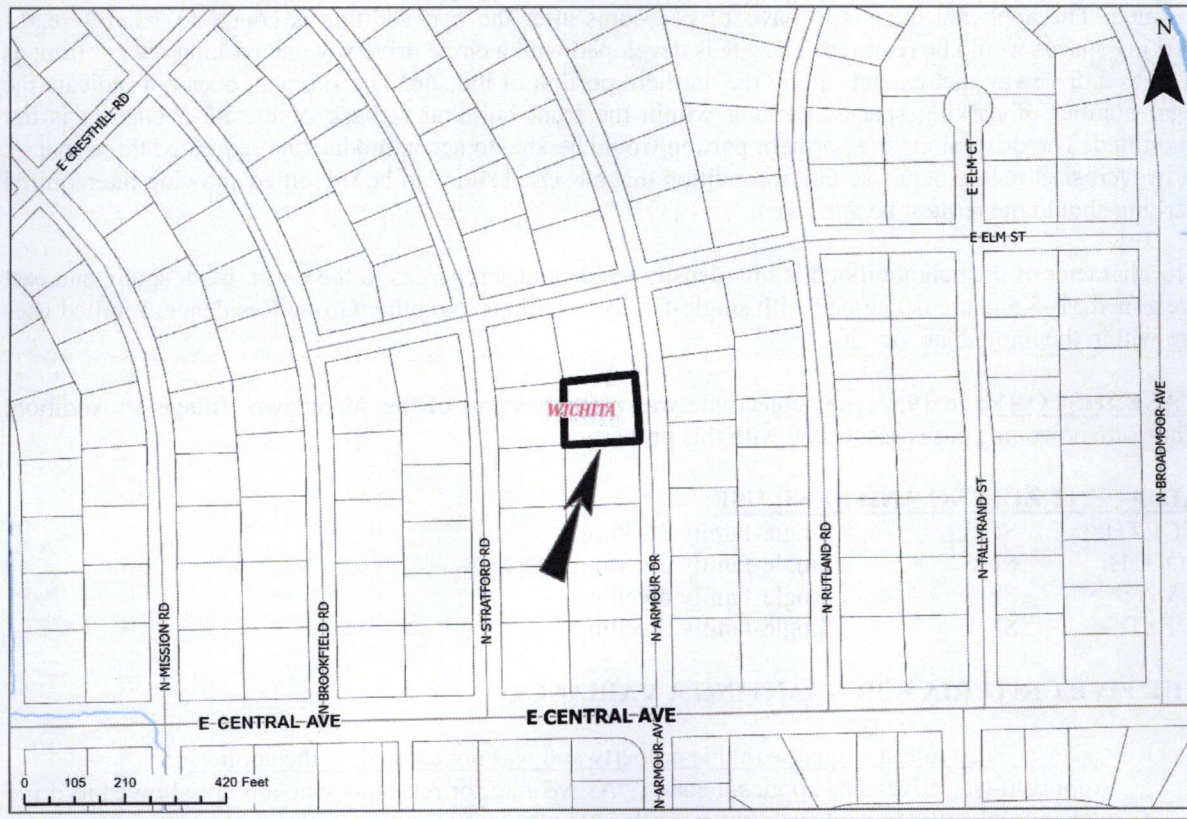
APPLICANTS: Stark Real Estate, LLC

REQUEST: Reduce the parking requirement for Group Residence, Limited from 11 spaces to 3 spaces

CURRENT ZONING: SF-5 Single-Family Residential District

SITE SIZE: 0.48 acres

LOCATION: Generally located on the west side of North Armour Drive and within 550 feet north of East Central Avenue (557 North Armour Drive)



JURISDICTION: The Board has jurisdiction to consider the Variance request under the provisions outlined in Kansas Statutes Annotated 12-759. The Board may grant the request when all five conditions, as required by the statutes, are found to exist.

BACKGROUND: The applicant is requesting a Variance to reduce the parking requirement for Group Residence, Limited from eleven (11) spaces to three (3) spaces.

The applicant is concurrently requesting a Conditional Use (CON2026-00032) for Group Residence, Limited on this property, zoned SF-5 Single-Family Residential District (SF-5). The applicant is proposing to increase the capacity of a Home Plus Group Home on the property. The request for Group Residence, Limited would allow the facility to house up to 15 persons, including staff. The Kansas Department for Aging and Disability Services (KDADS) generally defines Home Plus as “any residence or facility caring for not more than 12 individuals not related within the third degree of relationship to the operator or owner by blood or marriage...who...need personal care or supervised nursing care to help with limitations in activities of daily living.” (see attached full definition)

The applicant is also concurrently requesting an Administrative Adjustment (BZA2026-00014) to reduce the rear setback from twenty feet to eleven feet and three inches. Since the square footage of this encroachment is less than 300 square feet, this can be achieved with an Administrative Adjustment instead of a Variance.

Section IV-A of the Unified Zoning Code requires one parking space per bedroom for Group Residence, Limited. The applicant intends to have 11 bedrooms after the rear addition is complete. Therefore, 11 parking spaces would be required. The site is developed with a circle driveway and parking area in front as well as a driveway that extends along the northern portion of the site. The site plan does not indicate the total number of parking spaces. Parking within the front building setback of the SF-5 District is not permitted. The drive along the northern portion would be able to accommodate the requested three spaces. However, staff recommends adding a condition that a revised site plan be submitted showing the required parking should the request be approved.

The character of the neighborhood is low-density residential. Properties to the north, west, south, and east are zoned SF-5 and are developed with single-family dwellings. No other Group Residence, Limited uses are within the immediate vicinity.

CASE HISTORY: In 1954, the subject site was platted as part of the Woodlawn Village 1st Addition. There are no zoning cases associated with this property.

ADJACENT ZONING AND LAND USE:

NORTH:	SF-5	Single-family dwelling
SOUTH:	SF-5	Single-family dwelling
EAST:	SF-5	Single-family dwelling
WEST:	SF-5	Single-family dwelling

THE FIVE CRITERIA FOR GRANTING A VARIANCE:

1. Criteria: The request is unique to this property and was not created by the applicant:

Applicant Narrative: The applicant states, “As we care for residents who are not allowed to drive and consequently do not have a car at our location, we only need a couple of parking spaces for the care staff. The quite deep and wide main drive on the north of the house combined with the circular drive in the front of the house we can easily park about seven (7) cars in the drives before someone needs to park in front on the street.”

Staff Analysis: Staff agrees that the situation of providing housing for individuals, and likely adults, who cannot drive is unique and not normally found in other situations with a Group Residence use.

Staff notes that the circular drive is mainly within the platted front setback, and that required parking cannot be utilized with the front setback. However, staff concurs that the drive to the north of the house could accommodate the amount of parking spaces the applicant is requesting.

2. Criteria: The granting of the Variance will not adversely affect the rights of the adjacent property owners or residents:

Applicant Narrative: The applicant states that, "The granting of this Variance will not adversely affect anything in relation to the owners of adjacent properties as daily there will still for the most part be the cars of the two care givers unless a family member or nurse has dropped in. Staff are instructed to park in the drive."

Staff Analysis: Staff agrees with this statement. If the associated Conditional Use for Group Residence, Limited is granted, requiring the applicant to provide the minimum number of parking spaces per the standards of the Unified Zoning Code will have greater detrimental impacts to surrounding properties. If the applicant is required to provide eleven off-street parking spaces, it will degrade the residential character of the subject site, which will negatively impact the surrounding properties.

3. Criteria: The strict application of the provisions of the zoning code would constitute an unnecessary hardship on the applicant:

Applicant Narrative: The applicant states that, "If I am not granted the Variance and am forced to comply with the Code, then I will need to pave the rest of the front yard and create a true parking lot of sorts which would be very unsightly for the neighborhood residential feel. It would also remain empty about 98% of the time."

Staff Analysis: Staff agrees that providing the minimum required parking spaces for a Group Residence, Limited on this site could negatively affect both the applicant and the residential nature of the neighborhood. Providing additional parking on the site could also have significant cost implications. Furthermore, parking is not permitted within the front setback, nor can more than 50 percent of the front yard be paved.

4. Criteria: The Variance will not adversely affect the public health, safety, morals, order, convenience, prosperity, general welfare, or harmonious development of the community:

Applicant Narrative: The applicant states, "Regarding if the Variance is granted, I cannot see in any way how it could or would adversely affect any of the mentioned concerns. As this home has been in operation for more than a dozen years, no one will be able to tell any difference in the home from how it operates now."

Staff Analysis: Staff agrees with this statement. Granting the Variance should not adversely affect the public health, safety, morals, order, convenience, prosperity, general welfare, or harmonious development of the community.

5. Criteria: The granting of the Variance will not be opposed to the general spirit and intent of the Unified Zoning Code:

Applicant Narrative: The applicant states that, "I assume that the spirit and intent of the Code is to ensure all properties are treated fairly. Because the inhabitants of this group home are all elderly, dealing with some form of dementia they are not allowed to have a car or drive. There is simply no reason or need then to put in more concrete to park 12 cars. And to be far less disruptive for the property I must believe that the spirit and intent of the Code is for harmonious development instead of meeting a minimum standard."

Staff Analysis: Staff agrees with this statement. Granting the Variance would uphold the spirit and intent of the Unified Zoning Code and promote harmonious development with the surrounding residential properties.

RECOMMENDATION: The recommendation of Staff is that the request to reduce the amount of required off-street parking spaces meets the five criteria required to grant a Variance. Staff recommends the following condition of approval:

1. The site plan shall be revised to indicate the required parking spaces.

Staff Report Attachments:

1. KDADS Definition of Home Plus
2. Applicant Justification
3. Site Plan
4. Aerial Map
5. Zoning Map
6. Land Use Map
7. Site Photos

Home Plus as Defined by the Kansas Department for Aging and Disability Services (KDADS)
www.kdads.ks.gov

"Home Plus" means any residence or facility caring for not more than 12 individuals not related within the third degree of relationship to the operator or owner by blood or marriage unless the resident in need of care is approved for placement by the secretary for children and families, and who, due to functional impairment, needs personal care and may need supervised nursing care to compensate for activities of daily living limitations. The level of care provided to residents shall be determined by preparation of the staff and rules and regulations developed by the Kansas department for aging and disability services. An adult care home may convert a portion of one wing of the facility to a not less than five-bed and not more than 12-bed home plus facility provided that the home plus facility remains separate from the adult care home and each facility must remain contiguous. Any home plus that provides care for more than eight individuals after the effective date of this act shall adjust staffing personnel and resources as necessary to meet residents' needs in order to maintain the current level of nursing care standards. Personnel of any home plus who provide services for residents with dementia shall be required to take annual dementia care training.

**APPLICATION FOR VARIANCE**

- a. As we care for residents who are not allowed to drive and consequently do not have a car at our location, we only need a couple of parking spaces for the care staff. The quite deep and wide main drive on the north of the house combined with the circular drive in the front of the house we can easily park about 7 cars in the drives before someone needs to park in front on the street.
- b. The granting of this variance will not adversely affect anything in relation to the owners of adjacent properties as daily there will still for the most part be the cars of the two care givers unless a family member or nurse has dropped in. Staff are instructed to park in the drive.
- c. If I am not granted the variance and am forced to comply with the Code, then I will need to pave the rest of the front yard and create a true "parking lot" of sorts which would be very unsightly for the neighborhood residential feel. It would also remain empty about 98% of the time.
- d. Regarding (d.), if the variance is granted, I cannot see in any way how it could or would adversely affect any of the mentioned concerns. As this home has been in operation for more than a dozen years, no one will be able to tell any difference in the home from how it operates now.
- e. I assume that the spirit and intent of the Code is to ensure all properties are treated fairly. Because the inhabitants of this group home are all elderly, dealing with some form of dementia they are not allowed to have a car or drive. There is simply no reason or need then to put in more concrete to park 12 cars. And to be far less disruptive for the property I must believe that the spirit and intent of the Code is for harmonious development instead of meeting a minimum standard.

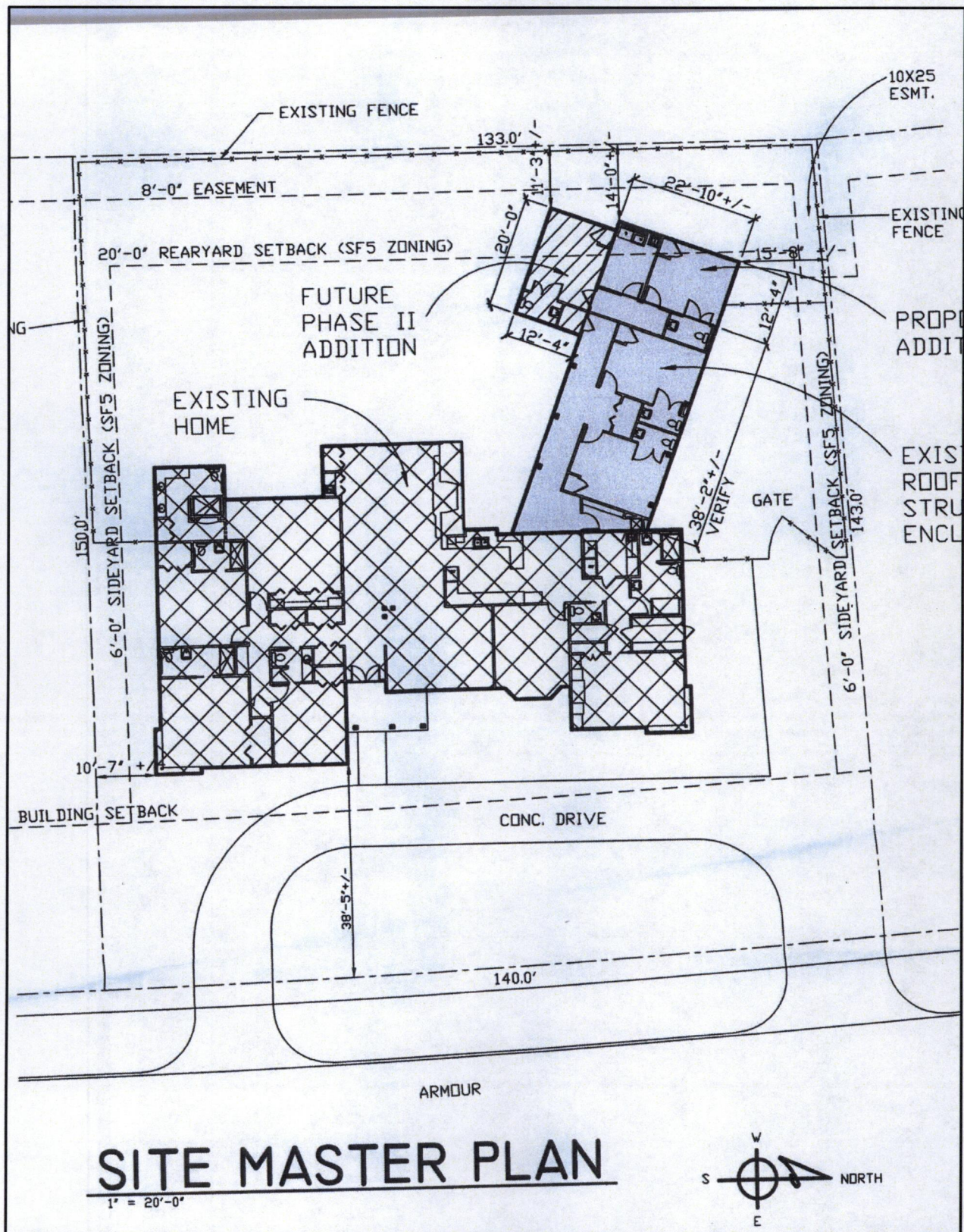
Sincerely,

Douglas C. Stark

Chairman/owner

- 245 N Waco Ave
- Suite 220
- Wichita, KS 67202

BETTER CARE LIVES HERE
ComfortCareHomesWichita.com







2035 Wichita Future Growth Concept Map

Legend

-  Application Area
-  Established Central Area
-  Residential and Employment Mix
-  New Employment
-  New Residential
-  Wichita City Limits
-  Other Cities
-  Northwest Bypass Right-of-Way
-  Other Urban Growth Areas 2014
-  Other Urban Growth Areas 2014
-  Rural Growth Areas 2014
-  Major Institutional
-  Neighborhood Area & Plans 2025

LAND USE

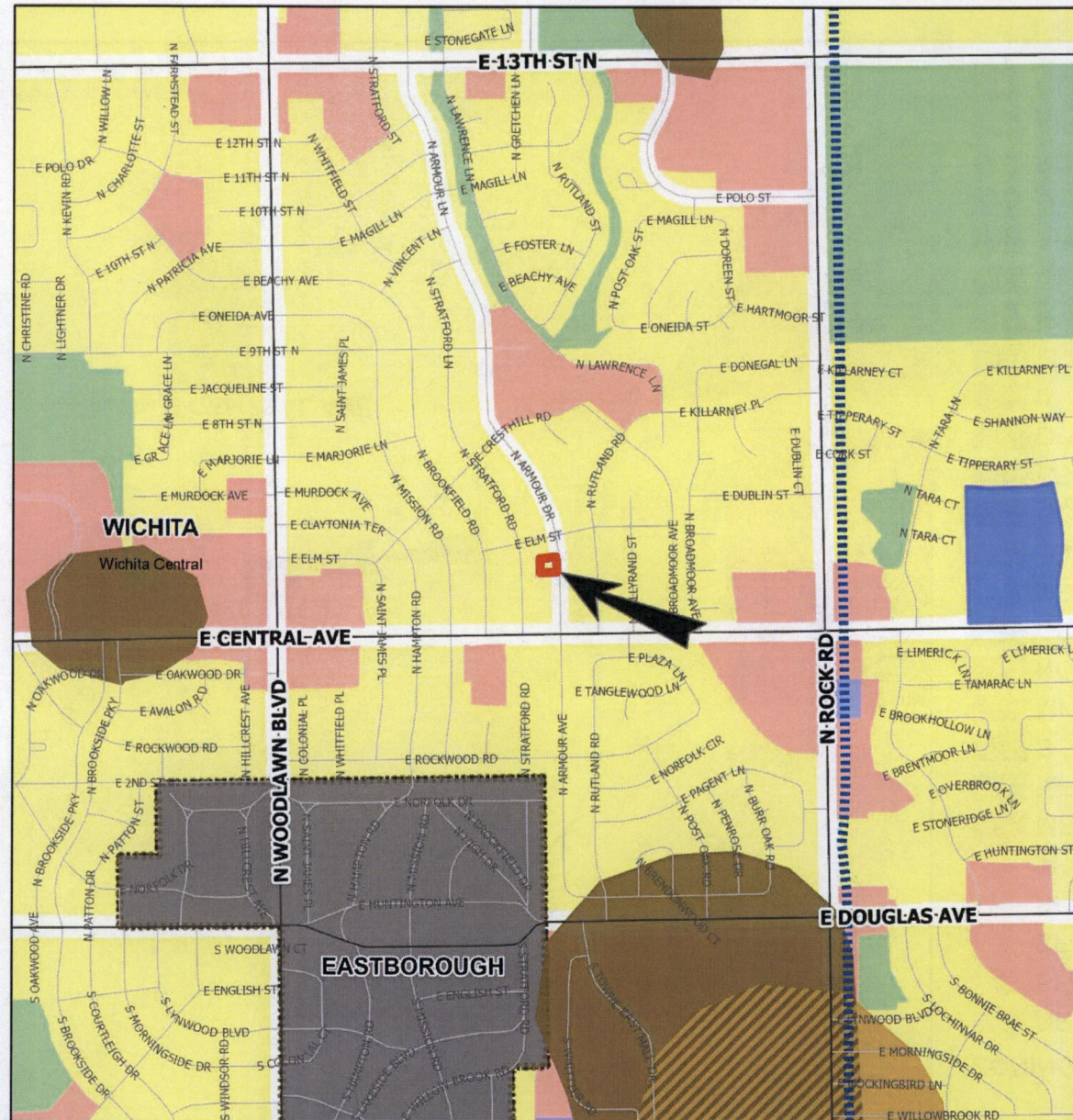
-  Residential
-  Commercial
-  Industrial
-  Major Air Transportation & Military
-  Parks and Open Space
-  Agricultural or Vacant



Scale: 1:15,572

0 600 1,200 2,400 US Feet

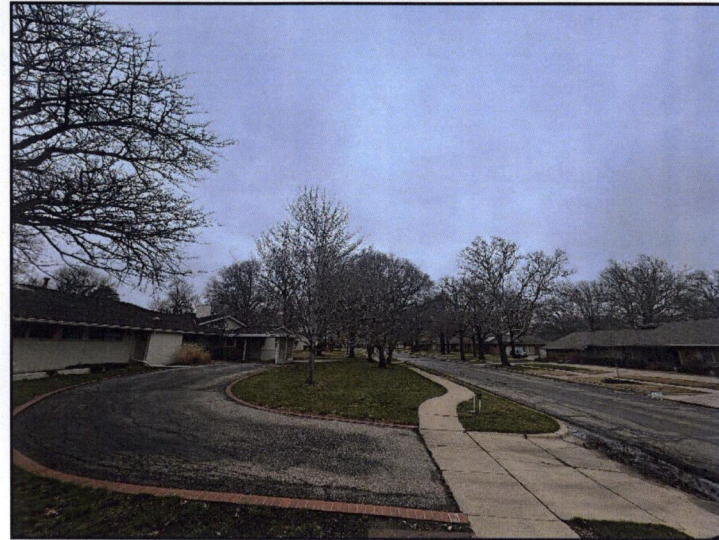
It is understood that while the City of Wichita Data Center Geographical Information Systems Department have no indication and reason to believe that there are inaccuracies in information incorporated in the base map, the Data Center GIS personnel make no warranty or representation, either expressed or implied, with respect to the information, or data displayed.
Note: Public property represented on this map is not intended to be inclusive.



Looking west into site



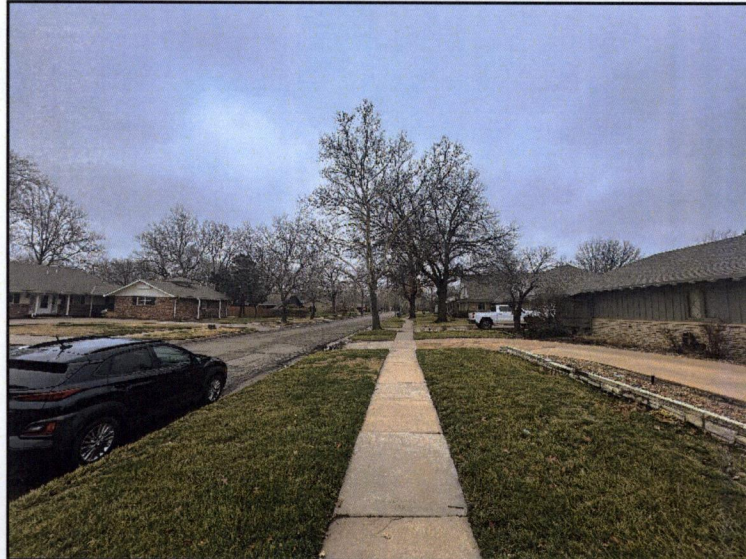
Looking north away from the site

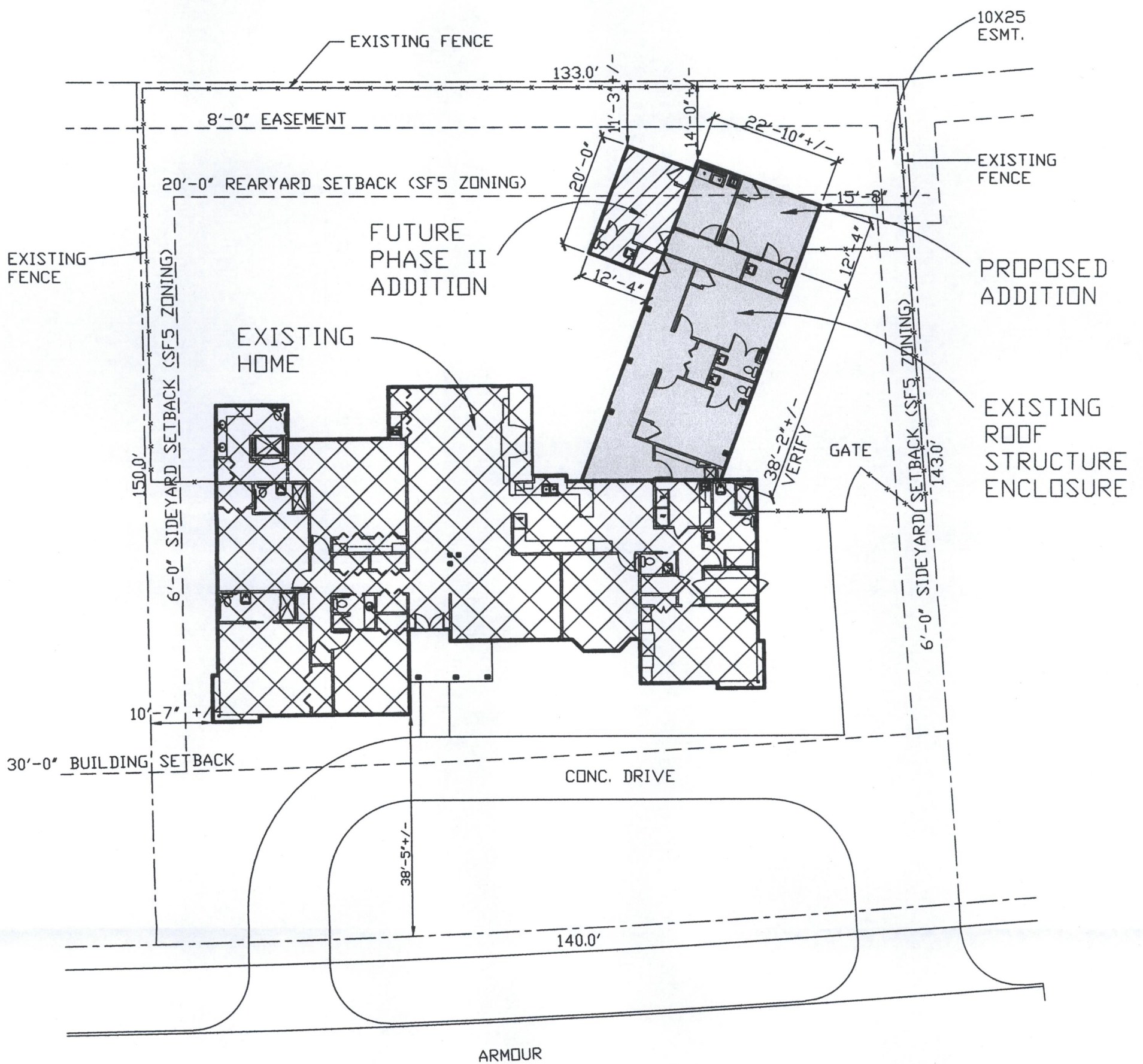


Looking east away from site



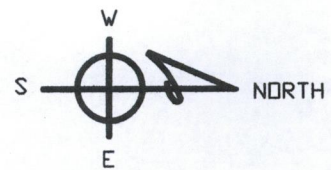
Looking south away from site





SITE MASTER PLAN

1" = 20'-0"



o PROJECT: PROPOSED HOME PLUS ADDITION

o OWNER'S NAME: DOUG STARK

o LEGAL ENTITY: D&K STARK REVOCABLE TRUST
245 N. WACO, SUITE 220
WICHITA, KANSAS 67230
(316) 641-0608

o HOME ADDRESS: 557 N. ARMOUR

o LEGAL DESCRIPTION: LOT 11 BLOCK F
1ST ADDITION TO
WOODLAWN VILLAGE

o TAX PARCEL ID: 00173440

o ZONING DISTRICT: SF5

o LAND AREA: .481 ACRES

Folger and Associates, Inc.
architecture
11001 Quail Creek, Derby, Kansas 316-706-9040

CCH WICHITA
HOME EXPANSION PROJECT
557 N. ARMOUR WICHITA, KANSAS

FEBRUARY 12, 2026