

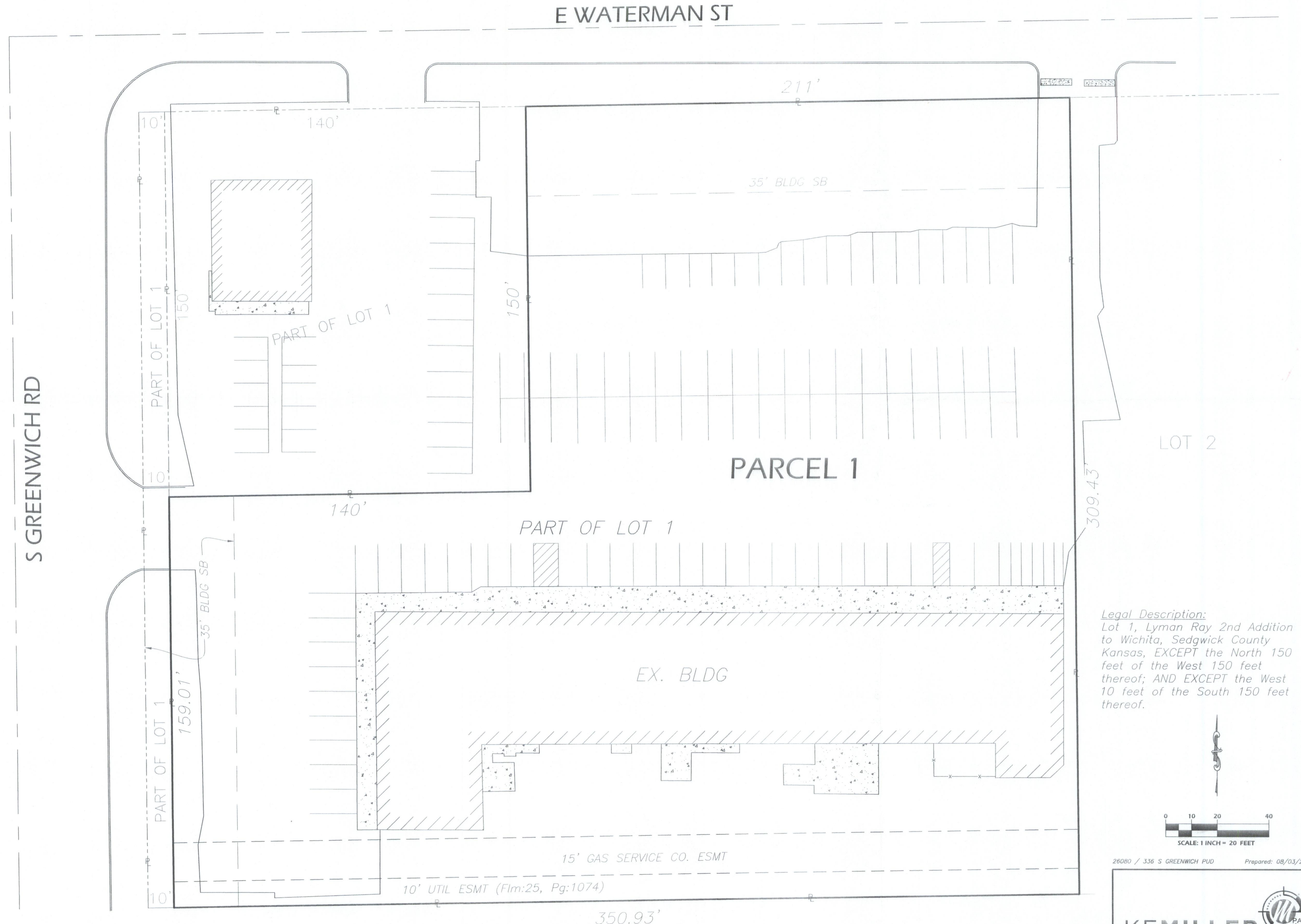
PART OF LOT 1, LYMAN RAY 2ND ADDITION

PLANNED UNIT DEVELOPMENT - P.U.D.#166

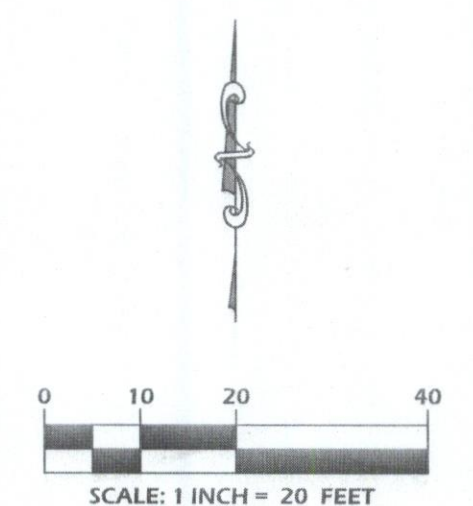
GENERAL PROVISIONS:

- This development contains a gross area of 87,555.60 sq ft. or 2.010 acres more or less.
- Uses in Parcel 1 shall be limited to those permitted by-right in the "LC" Limited Commercial zoning district, with the following exceptions:
 - Tattooing and Body Piercing Facilities shall be permitted by-right in Parcel 1.
 - Tattooing and Body Piercing Facilities located in Parcel 1 shall not have a restriction of distance from residential zoning districts.
 - Nightclub in the City shall be permitted by-right in Parcel 1 subject to the following conditions:
 - The nightclub will be limited and posted as limited to a maximum of 187 persons, which requires 94 paved parking spaces.
 - The site shall be developed with an approved site plan, showing, but not limited to, existing parking spaces, any proposed additional parking, solid screening, solid screening with a solid screening gate around the dumpster(s), the outdoor venue and providing how many seats are located within it, and solid railing or parking blocks around the site's Waterman Street frontage, if this area is paved.
 - Provide a parking plan that would utilize the unpaved area as paved parking and if needed the parking of the BBQ business as a secondary parking area. The unpaved area must be paved within 120 days of approval by the applicable government body or the Nightclub in the City will be declared null and void.
 - If the applicant chooses not to pave the unpaved area for parking, the applicant must apply for an adjustment or variance on the parking requirements.
 - No outdoor speakers or outdoor entertainment are permitted.
 - The applicant shall obtain all required state, local and other applicable permits and inspections.
 - If the Zoning Administrator finds that there is a violation of any of the above conditions, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Nightclub in the City is null and void.
- The property development standards of the "LC" Limited Commercial zoning district shall apply to Parcel 1.
- Parking shall be per the standards of the Unified Zoning Code.
- Signs shall be in accordance with the "LC" Limited Commercial zoning district.
- Amendments, adjustments, or interpretations to the P.U.D. shall be done in accordance with the Unified Zoning Code.
- The Transfer of title or all or any portion of land included within the Planned Unit Development (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors, heirs, and assigns.
- The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator and the Director of Planning, shall constitute a violation of the building permit authorizing construction of the proposed development.
- Any major changes in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.
- Prior to publishing the ordinance establishing the zone change, the applicant shall record a document with the Sedgwick County Register of Deeds indicating this tract (referenced as PUD #166) includes special conditions for the development of this property.

APPROVED PUD
 WCC August 11, 2026
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 PUD 2026-14 1 of 4



Legal Description:
 Lot 1, Lyman Ray 2nd Addition to Wichita, Sedgwick County Kansas, EXCEPT the North 150 feet of the West 150 feet thereof; AND EXCEPT the West 10 feet of the South 150 feet thereof.



26080 / 336 S GREENWICH PUD Prepared: 08/03/2026

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