



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

March 16, 2026

Area 151, LLC
McLaughlin Holdings, LLC
1650 South Meridian Ave., Ste. 7
Wichita, KS 67213

K.E. Miller Engineering, P.A.
Attn: Kirk Miller
117 East Lewis St.
Wichita, KS 67202

Re: BZA2026-00021: Administrative Adjustments in the City to reduce the rear setbacks from 20 feet to a maximum of 14 feet (30 percent) for areas less than 300 square feet on multiple development lots to construct duplexes on properties zoned TF-3 Two-Family Residential District, generally located within one-quarter mile south of West 21st Street North and within one-half mile west of North 151st Street West

Legal Description: Lots 81, 82, & 83, Block 3, Area 151 Addition, Wichita, Sedgwick County, Kansas.

Dear Applicants,

We have reviewed your request for Zoning Adjustments to reduce the rear setbacks from 20 feet to a maximum of 14 feet (30 percent) for areas less than 300 square feet on the aforementioned properties in order to build duplexes on said lots. The properties are under common ownership of the developer and are undeveloped. The exact reduction for each lot is as follows:

- Lot 81: reduce the rear setback from 20 feet to 15.17 feet (24 percent) for a total area of 250 square feet.
- Lot 82: reduce the rear setback from 20 feet to 15.17 feet (24 percent) for a total area of 250 square feet.
- Lot 83: reduce the rear setback from 20 feet to 14.86 feet (25.7 percent) for a total area of 260.74 square feet.

The site plans illustrate five-foot interior side setbacks. These interior side setbacks are platted and therefore do not have to conform to the standard six-foot interior zoning setback per the TF-3 District.

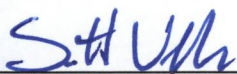
Section V-I.2.a of the Unified Zoning Code ("UZC") allows reducing the minimum rear setbacks (required by the property development standards of the zoning district) by up to 50 percent for areas of less than 300 square feet. These adjustments are permissible when the provisions of this section and the Zoning Adjustment Criteria of Section V-I.6 are met. We find that the reduction of the setbacks as proposed meets the provisions of Section V-I.2.a and the four criteria required by Section V-1.6 as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction of the rear setbacks from 20 feet to a maximum of 14 feet will have no impact on the safety and convenience of vehicular and pedestrian circulation in the right-of-way.
- 2) Impact on existing uses in surrounding areas: There will be no impact on the existing uses. The surrounding properties of all subject lots are zoned TF-3 Two-Family Residential, are under common ownership of the developer (applicant), and are undeveloped. Two of the subject lots back up to a platted reserve with a drainage pond. The third backs up to the side yard of another lot. The proposed rear setback combined with the required side yard setback will provide at least 20 feet of separation between structures.
- 3) Compatibility with existing or permitted uses on abutting sites: The surrounding properties of all subject lots are zoned TF-3 Two-Family Residential, are under common ownership of the developer (applicant), and are undeveloped. Two of the subject lots abut a platted reserve with a drainage pond. The third backs up to the side yard of another lot. The proposed rear setback combined with the required side yard setback will provide at least 20 feet of separation between structures.
- 4) Effect on public health, safety, or welfare: There will be no encroachment into public utility easements or right-of-way. There will be no negative impact on the public health, safety, or welfare, nor will properties or improvements in the vicinity be materially injured.

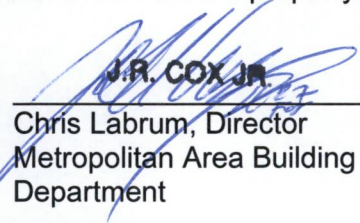
Our signatures below indicate that the Zoning Adjustments to reduce the rear setbacks from 20 feet to a maximum of 14 feet are hereby GRANTED, subject to the following conditions:

- 1) The sites shall be developed in general conformance with the approved site plans.
- 2) The applicant shall obtain a building permit within one year of the Administrative Adjustment approval. The sites shall conform to all codes including but not limited to zoning, building, health, and fire.
- 3) The setback reductions shall apply only to the rear setbacks on Lots 81, 82, and 83, Block 3, Area 151 Addition as illustrated on the approved site plans. All other structures or additions on the subject properties shall conform to the setbacks permitted by the Unified Zoning Code unless a separate Zoning Adjustment or Variance is granted.
- 4) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director
Metropolitan Area Planning Department



J.R. COX JR.
Chris Labrum, Director
Metropolitan Area Building and Construction
Department

cc: MABCD
J.V. Johnston, City Councilmember, District V
Teresa Veazey, CSR District V

Administrative Adjustment for
 Lot 83, Block 3
 Area 151 Addition
 Wichita, Sedgwick County, Kansas

SITE PLAN

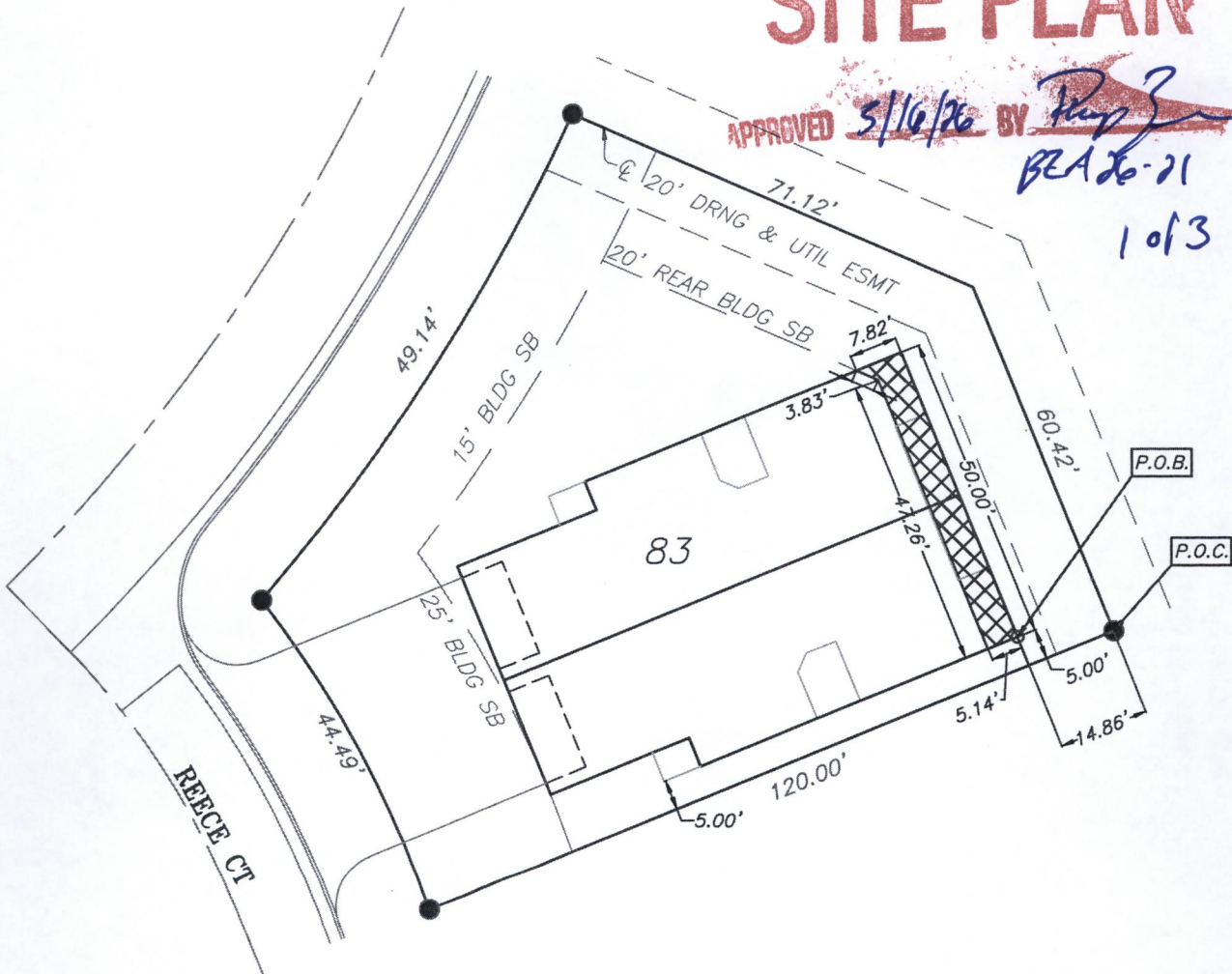
APPROVED

5/16/26

BY

BEA 26-21

1 of 3



Administrative Adjustment Legal Description:

Commencing at the Southeast corner of Lot 83, Block 3, Area 151 Addition, Wichita, Sedgwick County, Kansas; thence southwest along the South line of said Lot 83, S67°55'13"W a distance of 14.86 feet; thence northwest, perpendicular to the South line of said Lot 83, N22°04'47"W a distance of 5.00 feet to the POINT OF BEGINNING; thence continuing northwest, perpendicular to the South line of said Lot 83, N22°04'47"W a distance of 50.00 feet; thence Southwest, parallel with the South line of said Lot 83, S67°55'13"W a distance of 7.82 feet; thence S66°27'18" a distance of 3.83 feet; thence southeast, perpendicular to the South line of said Lot 83, S22°04'47"E a distance of 47.26 feet; thence Northeast, parallel with the South line of said Lot 83, N67°55'13"E a distance of 5.14 feet to the Point of Beginning.

ZONING: TF-3

FRONT SETBACK: 25' (PLATTED)

MIN. SIDE-YARD SETBACK: 5'

MIN. REAR SETBACK: 20'

Said tract contains approx. 260.74 sq ft more or less.

SITE PLAN:

03.04.2026



SCALE: 1"=30'

SITE PLAN

Site plan showing a property with dimensions and labels:

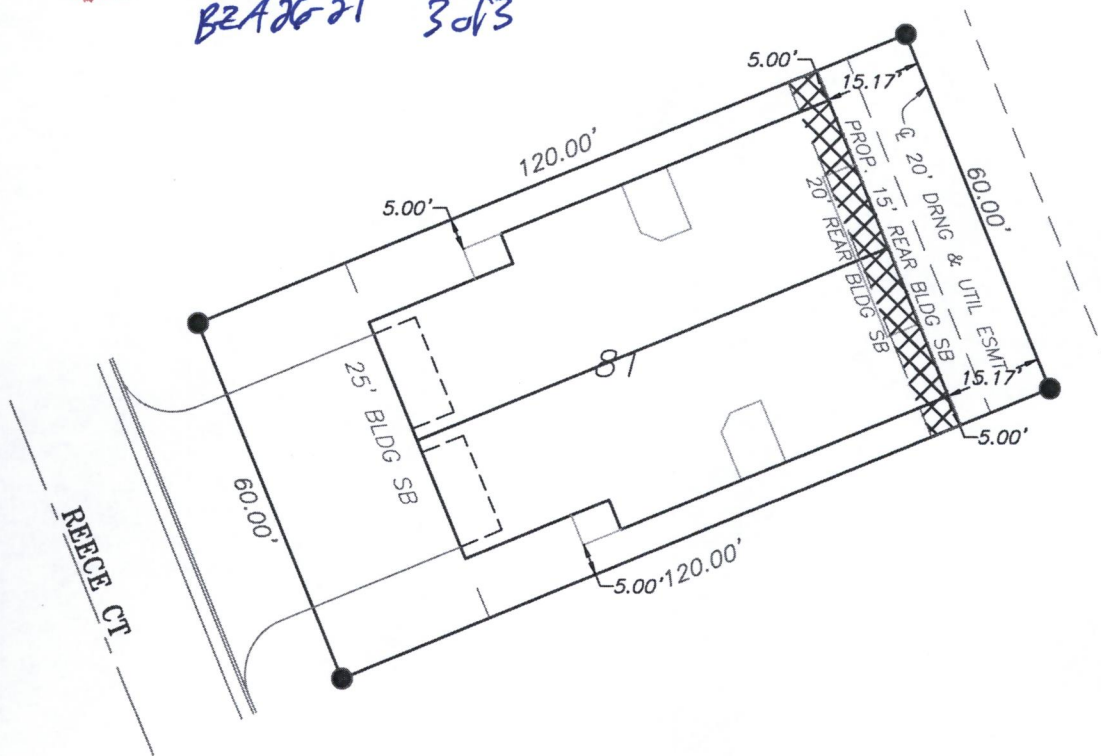
- Overall dimensions: 60.00' (width) and 120.00' (length).
- Internal dimensions: 5.00' (width of the central strip), 15.17' (width of the side strips), and 20.00' (width of the central strip).
- Labels: "REECE CT" (road name), "25' BLDG SB" (building setback), "20' REAR BLDG SB" (rear building setback), "PROB. 15' REAR BLDG SB" (probable rear building setback), "20' DRNG & UTIL ESMNT" (drainage and utility easement), and "82" (lot number).

SCALE: 1"=30'

Administrative Adjustment for
Lot 81, Block 3
Area 151 Addition
Wichita, Sedgwick County, Kansas

SITE PLAN

APPROVED 3/16/26 BY [Signature]
BEA 26-21 3013



ZONING: TF-3

FRONT SETBACK: 25' (PLATTED)

MIN. SIDE-YARD SETBACK: 5'

MIN. REAR SETBACK: 20'

Administrative Adjustment Legal Description:

The West 5 feet of the East 20 feet of Lot 81, Block 3, Area 151 Addition, Wichita, Sedgwick County, Kansas.

Said tract contains approx. 300.00 sq ft more or less.

SITE PLAN:

03.04.2026



SCALE: 1"=30'