



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

March 13, 2026

Yulissa Cervantes Castillo
2025 N. Park Place
Wichita, KS 67203

Re: BZA2026-00017: Administrative Adjustment in the City to reduce the north side setback from 6 feet to 3 feet (50 percent for an area less than 300 square feet) to bring existing home and rear addition into compliance on property zoned MF-29 Multi-Family Residential District, generally located on the west side of North Park Place, within two-blocks south of West 21st Street North (2025 North Park Place).

Legal Description: Lot 14, May Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant,

We have reviewed your request for a Zoning Adjustment to reduce the north interior setback from 6 feet to 3 feet (50 percent) on the aforementioned property to bring the existing dwelling and an addition to the dwelling into compliance. The total area of reduction is 278 square feet, which is under the maximum allowable of 300 square feet. The home was originally constructed three feet from the north property line. Aerial and street view photography identify that an addition was added to the rear of the existing home, and the rear addition was added inline with the north wall of the home. According to our records, there is no indication that a building permit was pulled for the construction of the addition. The applicant is required to obtain a building permit and the addition must pass all necessary inspections.

Section V-I.2.a of the Unified Zoning Code ("UZC") allows reducing the minimum side setback (required by the property development standards of the zoning district) by up to 50 percent (for an area less than 300 square feet). This adjustment is permissible when the provisions of this section and the Zoning Adjustment Criteria of Section V-I.6 are met. We find that the reduction of the setback as proposed meets the provisions of Section V-I.2.a and the four criteria required by Section V-1.6 as set out below:

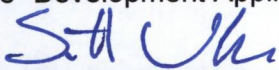
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction of the north side setback from 6 feet to 3 feet will have no impact on the safety and convenience of vehicular and pedestrian circulation in the right-of-way.
- 2) Impact on existing uses in surrounding areas: There will be no impact on the existing uses. The surrounding properties are zoned MF-29 and developed with a mixture of single-family and multi-family uses. The main dwelling was constructed 3 feet from the north property line in 1900. The addition on the rear was constructed in line with the north wall of the home.
- 3) Compatibility with existing or permitted uses on abutting sites: The main dwelling was constructed 3 feet from the north property line in 1900. Constructing an addition in line with the north wall of the home is compatible with the surrounding uses.

- 4) Effect on public health, safety, or welfare: There will be no negative impact on the public health, safety, or welfare, nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that the Zoning Adjustment to reduce the north side setback from 6 feet to 3 feet for an area less than 300 square feet is hereby GRANTED, subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) The applicant **shall obtain a building permit** within one year of the Administrative Adjustment approval. The site shall conform to all codes including but not limited to zoning, building, health, and fire.
- 3) The setback reduction shall apply only to the 3-foot north side setback as illustrated on the approved site plan. All other structures or additions on the subject property shall conform to the setbacks permitted by the Unified Zoning Code unless a separate Zoning Adjustment or Variance is granted.
- 4) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director
Metropolitan Area Planning Department



Chris Labrum, Director
Metropolitan Area Building and Construction
Department

cc: MABCD
Maggie Ballard, City Council District VI;
Ana Lopez, CSR District VI

SIDEWALK

20 ft

20 Ft
Front
setback

2025 N. Park Place
Wichita KS 67203

240 ft LOT DEPTH

45

10 ft

27 Pt

Porch
25 ft

Dorm
1 Room
mom-dad

TWO GUYS

Dorm

2001
42

~~KIT dten~~

Living room

Dinner room

beiler

Sunday Small
Closed

bath room

2
bathroom

proposed
Addition

room

2 room

boy
miniroom

8 ft
Took Shed

Temporal
Toolshed
is going to be removed
to the back corner
where #2 Toolshed is

side setback

~~24 Ft~~

21 Ft

new proposed
metac building

3 FT SIDE
set back

SLATE PLANK

APPROVED

3/13/26

BZA26-17

back ALLEY

ALL