



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

Stuhlsatz Holdings, LLC
Attn: Dillen Andrew Stuhlsatz
1326 S. Palmetto
Edwards AFB, CA 93523

February 18, 2026

Justin Parks
920 E. 1st Steet North
Wichita, KS 67202

Timothy Stuhlsatz
120 E. 1st Street North, Apt. 7E
Wichita, KS 67202

RE: BZA2026-00011: Administrative Adjustment in the City to revise an approved site plan for BZA2021-00012 to permit construction of a second building with a zero-foot setback, on property zoned LI Limited Industrial District, generally located on the north side of West Harry Street, one-half mile west of South Tyler Road (9324 West Harry Street).

Legal Description: Lot 5, Except the east 5 feet thereof, Black A, Osbeck Addition, Wichita, Sedgwick County, Kansas.

Dear Applicants,

We reviewed your Administrative Adjustment request to revise an approved site plan for BZA2021-00012 on a property zoned LI Limited Industrial District (LI) to permit construction of a second building north of the existing building.

On August 11, 2020, an Administrative Adjustment (BZA2020-00035) was approved, reducing the compatibility setback along the east property line from 25 feet to 10 feet. On March 23, 2021, an Administrative Adjustment was approved further reducing the setback along the east from 10 feet to zero feet for the construction of the existing building. The review of the most recent adjustment included evidence that the existing single-family structure in the east is at least 60 feet from the shared property line. It was approved with a condition that the reduction would only apply to the building on the approved site plan.

It is our understanding that since the approval of the Administrative Adjustment in 2021, the applicants have deeded the east five feet of their property to the owner to the east. The existing building was constructed at the newly established property line, five feet farther away than previously proposed.

The proposed second building would be north of the existing building and would be built with a zero-foot setback along the newly established property line as described above. If constructed, the front 25 feet of the new building would be approximately 25 feet from an existing accessory structure on the

residential property to the east. The remaining 171 feet of the rear of the building would be adjacent to open land.

We find that the adjustment to the site plan as proposed meets the four conditions required by Section V-I.6 of the Unified Zoning Code as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed Administrative Adjustment to BZA2021-00012 should have no impact on the safety and convenience of vehicular traffic and pedestrian circulation in the vicinity of the application area. The additional building is not within the right-of-way and will not have any visual impact to drivers along West Harry Street.
- 2) Impact on existing uses in surrounding areas: There will be no impact on exiting uses in the surrounding areas as a result of the addition of a second building with a zero-foot setback. As previously discussed, a new property line was established, increasing the separation of uses on the subject site from the residential uses to the east by five feet. The proposed second building would be constructed near an accessory structure to the east, with a separate of approximately 25 feet.
- 3) Compatibility with existing or permitted uses on abutting sites: The properties to the north are zoned GC General Commercial District (GC) and developed with commercial uses. Property to the west is zoned LI and developed with an industrial use. Property to the south, across West Harry Street, is zoned SF-5 Single-Family Residential District (SF-5) and developed with a golf course. Property to the east is zoned SF-5 and developed with a large lot single-family residential use.
- 4) Effect on public health, safety, or welfare: It is not anticipated to have any significant negative impacts on the public health, safety, or welfare, nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that the Administrative Adjustment to revise the approved site plan for BZA2021-00012 to permit construction of a second building on the subject site is hereby GRANTED, subject to the following conditions:

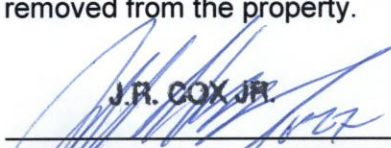
1. All original conditions of BZA2021-00012 shall be adhered to.
2. The site shall be developed in general conformance with the approved, revised site plan submitted with this application.
3. If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director

Metropolitan Area Planning Department



John R. Cox, Jr., Zoning Administrator

Metropolitan Area Planning Department

cc: MABCD, Dalton Glasscock, CM District IV, Brooke Kauchak, CSR District IV



Wichita-Sedgwick County Metropolitan Area Planning Department

March 23, 2021

Tim Stuhlsatz
9201 Suncrest
Wichita, KS 67212

Certified Engineering Design, P.A.
Attn: Logan Mills
1935 W. Maple
Wichita, KS 67213

Re: BZA2021-00012: Administrative Adjustment to reduce the Compatibility Setback from 10 feet to 0 feet on property zoned LI Limited Industrial adjacent to a property zoned SF-5 Single-Family Residential.

Legal Description: Lot 5, Block A, Osbeck Addition, Wichita, Sedgwick County, Kansas (9330 W. Harry)

Dear Applicant,

We have reviewed your request for a Zoning Adjustment to reduce the Compatibility Setback from 10-feet to 0-feet to allow a new commercial structure to be built on the aforementioned property on the east property line. BZA2020-00035 previously allowed the compatibility setback to be reduced from 25 feet to 10 feet. VAC2020-00050 vacated the 10-foot utility easement along the east property line. From reviewing the application, we understand that you desire to reduce the compatibility setback to allow redevelopment of the subject lot.

Section V-1.2.d of the Unified Zoning Code ("UZC") allows reducing or waiving the required Compatibility Setback. This adjustment is permissible when the provisions of the Zoning Adjustment Criteria of Section V-1.6 are met. We find that the reduction of the Compatibility Setback to allow for the redevelopment of the subject lot as proposed meets the provisions of Section V-1.2.d and the four criteria required by Section V-1.6 as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: Reduction of the building setback from to zero feet will have no impact on the safety and convenience of vehicular and pedestrian circulation in the vicinity as right-of-way and driveways are not affected.
- 2) Impact on existing uses in surrounding areas: There will be no impact on the existing uses in surrounding areas as a result of the interior building setback reduction. The neighboring residential structure is setback approximately 60-feet from the shared property line. Street visibility will be unchanged for neighboring properties.
- 3) Compatibility with existing or permitted uses on abutting sites: The properties to the north are GC General Commercial, east of the property is zoned SF-5 and is developed with a single-family

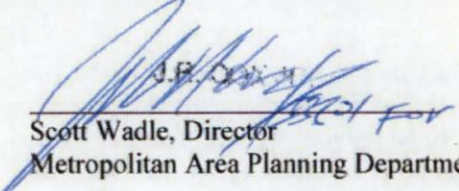
residence. The Compatibility Setback reduction will not have a negative impact on existing or permitted uses.

- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or rights-of-way. There will be no negative impact on the public health, safety or welfare, nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that a Zoning Adjustment to reduce the Compatibility Setback from 10 feet to 0 feet is hereby **GRANTED** for the aforementioned property, subject to the following conditions:

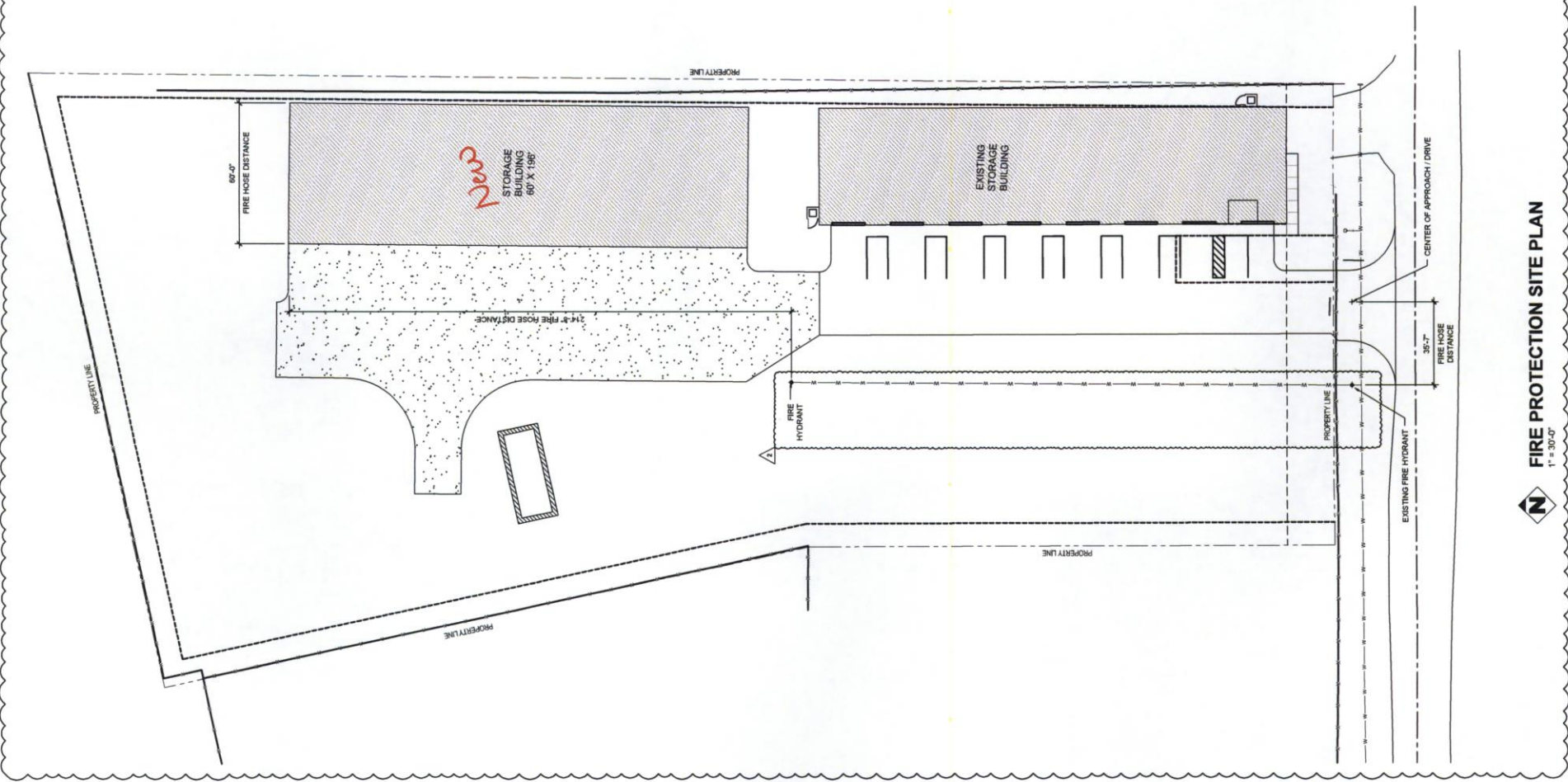
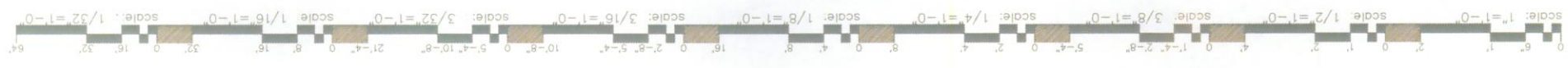
1. The Compatibility reduction shall apply only to the location of the new commercial structure as illustrated on the approved site plan. All other structures or additions on the subject property shall conform to the setbacks permitted by the Unified Zoning Code unless a separate Zoning Adjustment or Variance is granted.
2. This adjustment voids the conditions of BZA2020-00035.
3. If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.

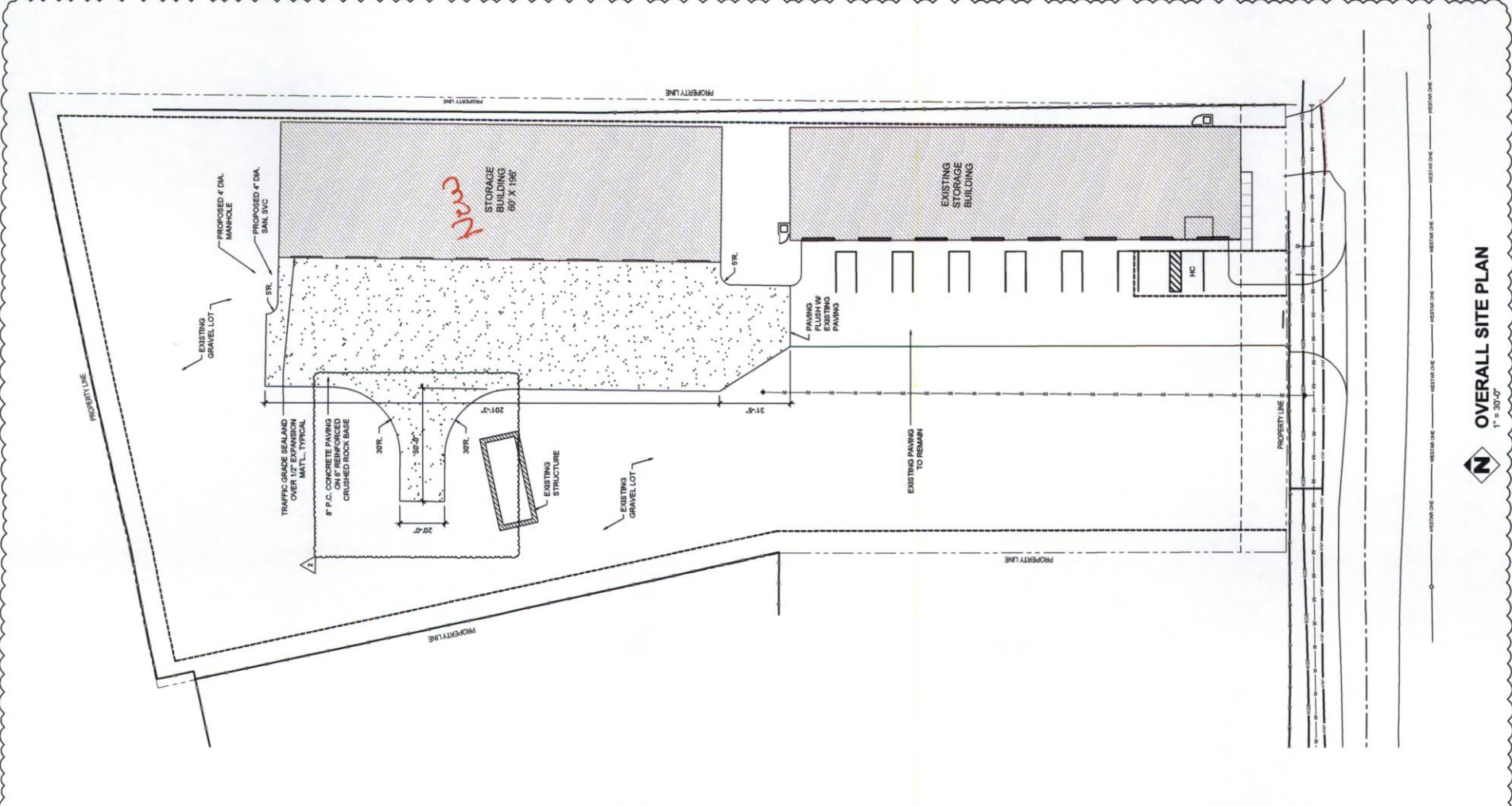

Scott Wadle, Director
Metropolitan Area Planning Department


Chris Labrum, Director
Metropolitan Area Building and Construction
Department

cc: MABCD
Jeff Blubaugh, CM District IV
Rebecca Fields, Community Service Representative, District IV



FIRE PROTECTION SITE PLAN
1" = 30'-0"



OVERALL SITE PLAN
1" = 30'-0"

Stormwater Certification:
New Development or Redevelopment (Circle One)
Stormwater Permit # _____
NGL Permit # _____

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Site Area (Acres) = 116.175 SF
Disturbed Area (Acres) = 35,000 SF
Water Quality Treatment: NONE
Downstream Channel Protection: NONE
Detention: NONE
The BMP used for this development is: NONE

SITE PLAN
APPROVED 2/14/26 BY *[Signature]*
BZA26-11

SITE AREAS	
DISTURBED AREA	= LESS THAN 35,000 SF
PAVING AREA	= 12,525 SF
BUILDING AREA	= 11,750 SF
TOTAL IMPERVIOUS AREA	= 24,275 SF

PARKING COUNT	
REQUIRED PARKING	MINIMUM OF 3 STALLS
SELF STORAGE	= 1 STALL PER 1000 SF OF BUILDING
BUILDING AREA	= 21,000 SF (BOTH BUILDINGS)
21,000 / 1,000 SF = 21 STALLS REQUIRED (5 STALLS MINIMUM)	
HC STALLS REQUIRED	= 1-25 STALLS + 116 STALLS
PROVIDED PARKING	= 6 STANDARD STALLS / 11 HC STALLS

GENERAL NOTES	
1.	FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2.	ALL DIMENSIONS ARE TO FACE OF BUILDING, EDGE OF PAVING, OR FACE OF CURB.
3.	DEEP RAINOUT CONTROL JOINTS AT MINIMUM 1' O.C. IN EACH DIRECTION.

STUHLSATZ STORAGE
PHASE TWO
9324 W. HARRY ST., BUILDING #200
WICHITA, KS 67209

