



**Wichita-Sedgwick County Metropolitan Area Planning Department**

March 2, 2026

Family Promise of Greater Wichita  
1111 N. St. Francis Ave.  
Wichita, KS 67214

Hutton Design-Build  
Attn: Brock Traffas  
111 N. Sycamore St.  
Wichita, KS 67203

**Re: BZA2026-00005:** Administrative Adjustments in the City to reduce the parking requirement from 38 spaces to 34 spaces (9 percent) for Assembly uses and permit parking to be within the front setback on property zoned B Multi-Family Residential District, located on the west side of North St. Francis Avenue and within one-block north of East 10<sup>th</sup> Street North (1111 North St. Francis Ave.).

**Legal Description:** North 15 feet of Lot 11 and all odd Lots 13-33, on 4<sup>th</sup> now St. Francis Ave, Burleigh's Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant:

We received and reviewed your request for the following Administrative Adjustment:

1. Reduce the parking requirements for an Assembly use from 38 to 34 spaces (9 percent); and
2. Permit parking to be within the front setback, provided it is not within the first 8 feet. The 2 full parking spaces (plus portions of 2 other parking spaces) are existing. Historic aerial imagery indicates these parking spaces have existed since at least 1997. The Administrative Adjustment would bring the existing spaces into compliance.

The following is an analysis of the required parking spaces per use:

- 1,694 square feet of Assembly space at 1 parking space per 45 square feet: 37.64 (38) parking spaces.
- 9,266 square feet of General Office at 1 parking space per per 333 square feet: 27.83 (28) parking spaces
- Assembly and Office uses are non-simultaneous. Therefore, the parking requirement must be the greater requirement of each single use, which is the Assembly use.
- Nine (9) percent reduction of 37.64 equals 33.88 (34) parking spaces.

Sec. V-I.2. (i) of the Unified Zoning Code (UZC) allows reduction of the parking requirement for redevelopment projects by up to 25 percent. Section V-I.2.1 of the UZC allows parking to be permitted within the front setback of a residential zoning district provided it is no closer than 8 feet from the front property line. These Adjustments are permissible when the conditions required by Sec. V-I.6 of the Code are met. We find that the parking requirement reduction and bringing the existing parking spaces in the front setback into compliance as proposed meets the four conditions required by Sec. V-I.6 of the Code as set out below:



- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction in parking requirement should have no impact on the safety and convenience of vehicular and pedestrian circulation in the vicinity of the application area. Furthermore, the parking spaces within the front setback are existing and should have no impact on the safety and convenience of vehicle and pedestrian circulation in the vicinity of the application area.
- 2) Impact on existing uses in surrounding areas: The proposed reduction in parking should not have significant negative impacts the surrounding uses in the immediate area. In addition to the available off-street parking, transit routes and on-street bike facilities are available within two-blocks to the west. The parking spaces in the front setback have existed since at least 1997, the action is bringing them into compliance.
- 3) Compatibility with existing or permitted uses on abutting sites: The layout of the subject site is not changing but is likely undergoing a change of use. The site is within the Established Central Area, and the *Wichita: Places for People Plan* promotes more walkable development that is less auto-oriented. The way in which the site has been developed has been compatible with the surrounding context of office and multi-family uses for some time.
- 4) Effect on public health, safety or welfare: The public's safety, health and welfare should not be impacted.

Our signatures below indicate that the Administrative Adjustments to reduce required parking spaces from 38 to 34 spaces (9 percent) and permit parking to be within the front setback are hereby granted for the aforementioned property subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) This adjustment shall apply only to the reduction of parking spaces for Assembly use and the parking area within the front setback as shown on the approved site plan. If the use of the site changes and requires a greater parking requirement than stated in this adjustment, an additional adjustment or Variance may be required. Any additional adjustments on the property will require a separate action to be filed with the MAPD.
- 3) All parking on the site shall be paved and marked in accordance with City standards.
- 4) If the Zoning Administrator finds that there is a violation of any of the conditions of the Administrative Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director  
Metropolitan Area Planning Department



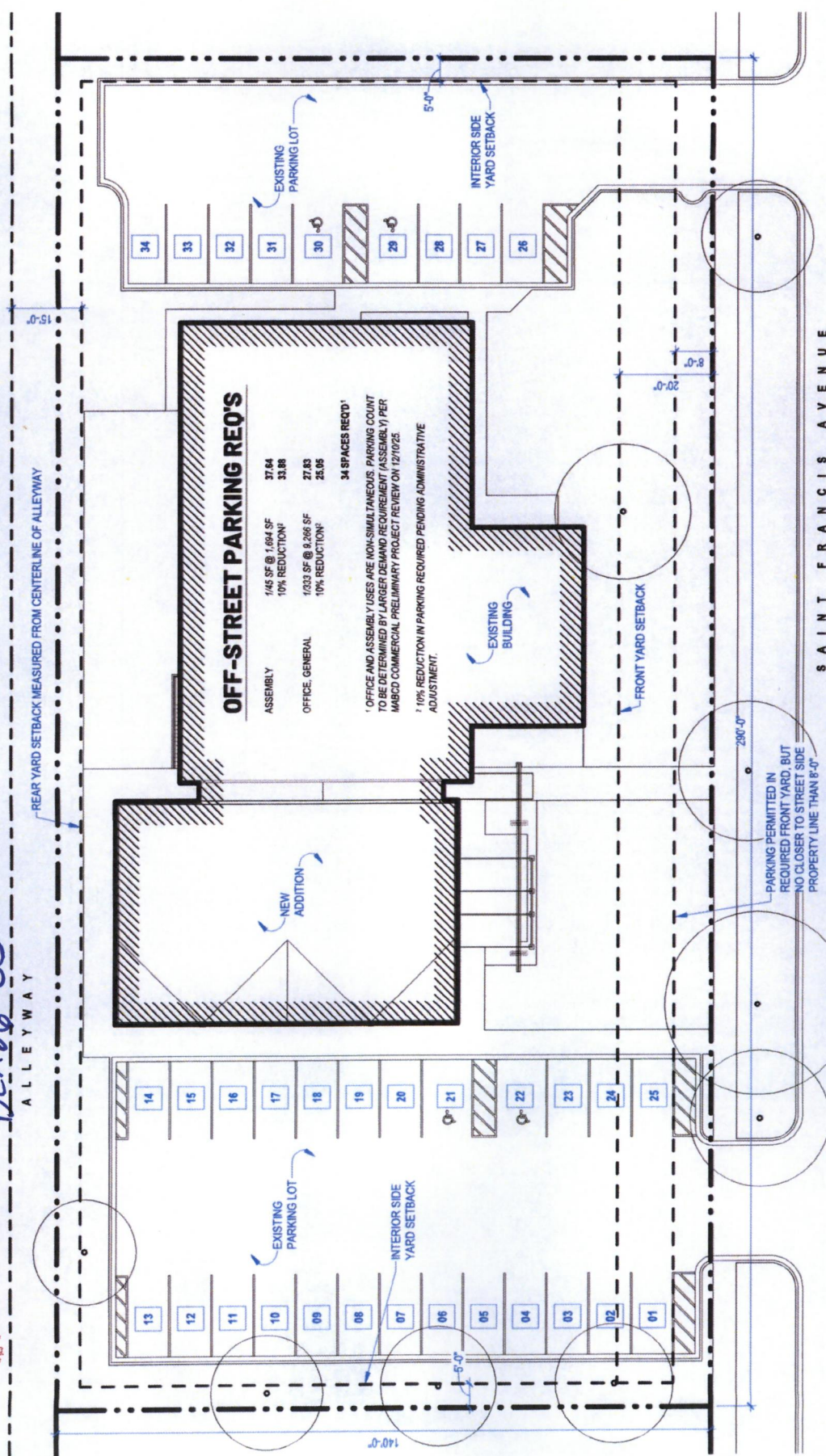
Chris Labrum, Director  
Metropolitan Area Building and Construction  
Department

cc: MABCD  
Maggie Ballard, CM District VI  
Ana Lopez, CSR District VI



# SITE PLAN

APPROVED 3/2/26 BY *[Signature]*  
BZA26-05



## 1111 N ST. FRANCIS, WICHITA, KS - PROPOSED SITE PLAN

APPLICANT: FAMILY PROMISE OF GREATER WICHITA AGENT: HUTTON DESIGN+BUILD SCALE: 1" = 20' - 0" 01/08/2026

