



Wichita-Sedgwick County Metropolitan Area Planning Department

February 23, 2026

Catholic Diocese of Wichita
424 N. Broadway
Wichita, KS 67202

Baughman Company P.A.
Attn: Phil Meyer
315 Ellis Ave.
Wichita, KS 67211

Re: BZA2026-00009: Administrative Adjustments in the City to reduce the parking requirement from 163 spaces to 124 spaces (24 percent) for a Church on property zoned SF-5 Single-Family Residential District, located on the southwest corner of South Pattie Avenue and East Marion Street (2635 South Pattie Ave.).

Legal Description: Lots 1 – 12 inclusive including vacated Pattie Court, Block B, Lowrey Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to reduce the parking requirement for a Church from 163 to 124 spaces (24 percent). We understand that a parking deficiency was discovered during the plan review process for a building addition. Section IV-A of the Unified Zoning Code sets the off-street parking standard for a Church at 1 space per 4 seats based on the room or space with the largest maximum seating capacity. It is our understanding that the addition to the church is not increasing the parking requirement for the church. The Administrative Adjustment is addressing an existing deficiency.

Sec. V-I.2. (i) of the Unified Zoning Code (UZY) allows reduction of the parking requirement for redevelopment projects by up to 25 percent. This Adjustment is permissible when the conditions required by Sec. V-I.6 of the Code are met. We find that the parking requirement reduction as proposed meets the four conditions required by Sec. V-I.6 of the Code as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction in parking requirement should have no impact on the safety and convenience of vehicular and pedestrian circulation in the vicinity of the application area.
- 2) Impact on existing uses in surrounding areas: The proposed reduction in parking should not have significant negative impacts on the surrounding uses in the immediate area. The Church has functioned for some time with the current number of parking spaces and the building addition is not requiring any additional parking spaces.
- 3) Compatibility with existing or permitted uses on abutting sites: The building addition is not requiring any additional parking spaces. The Church has functioned with the current number of parking spaces in this neighborhood for some time. The reduction in parking is to bring the church into compliance with the UZY.

- 4) Effect on public health, safety or welfare: The public's safety, health and welfare should not be impacted.

Our signatures below indicate that the Administrative Adjustment to reduce required parking spaces from 163 to 124 spaces (24 percent) is hereby granted for the aforementioned property subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) This adjustment shall apply only to the reduction of parking spaces for a Church. If the use of the site changes and requires a greater parking requirement than stated in this adjustment, an additional adjustment or Variance may be required. Any additional adjustments on the property will require a separate action to be filed with the MAPD.
- 3) All parking on the site shall be paved and marked in accordance with City standards.
- 4) If the Zoning Administrator finds that there is a violation of any of the conditions of the Administrative Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director
Metropolitan Area Planning Department



Chris Labrum, Director
Metropolitan Area Building and Construction
Department

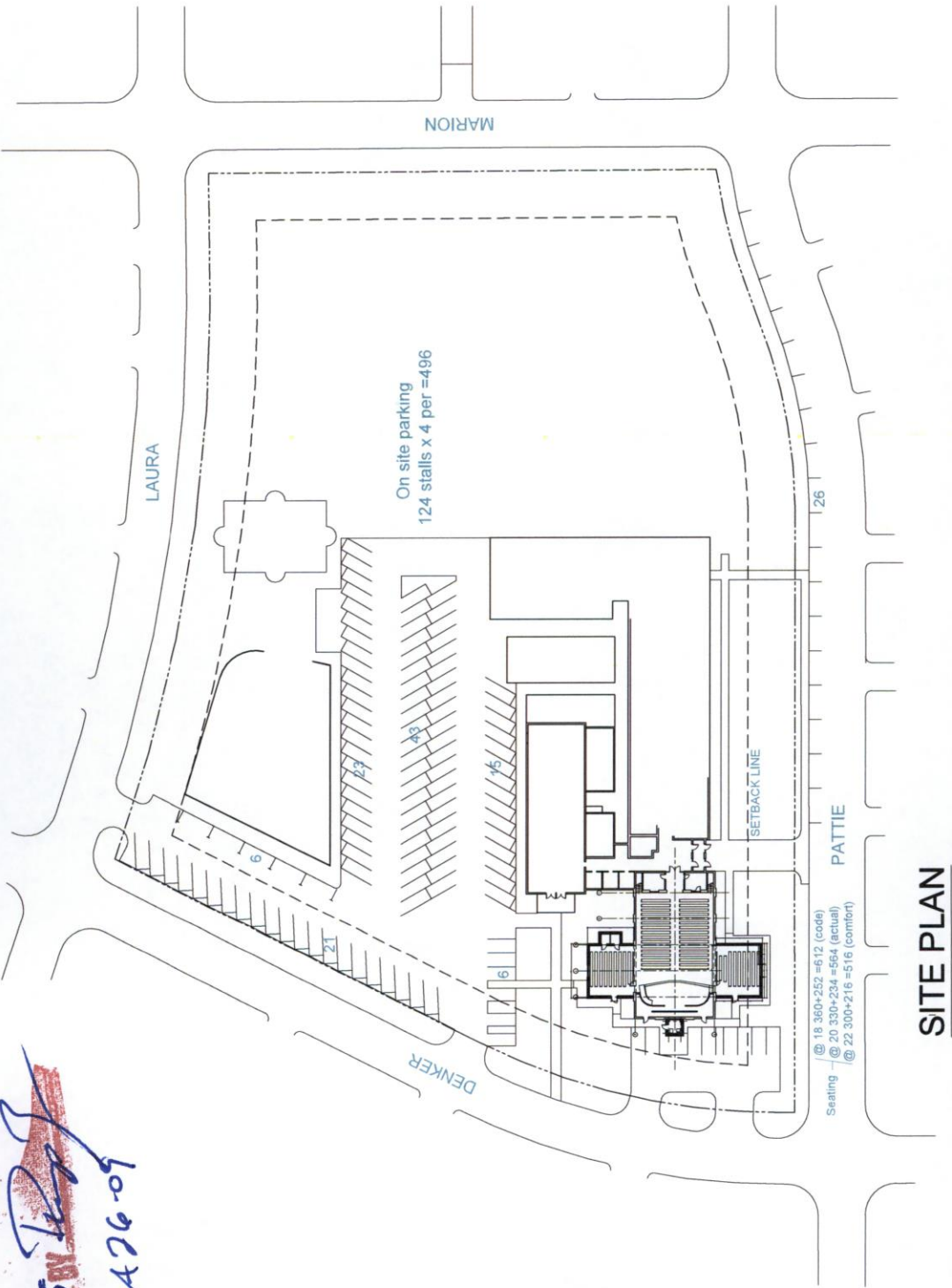
cc: MABCD
Mike Hoheisel, CM District III
Rebecca Johnson, CSR District III

SITE PLAN

APPROVED

2/23/26 BY *[Signature]*

BZA26-09



SITE PLAN

ST. MARGARET MARY CATHOLIC CHURCH
WICHITA - KANSAS

SCHEMATIC LAYOUT / 18 NOV. 2025

H SHILDEN
ARCHITECTURE