



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

February 2, 2026

True Grit, LLC
Attn: Mitch Pinkham
301 W. 53rd Street North
Park City, KS 67204

Ferris Consulting
Attn: Greg Ferris
PO Box 573
Wichita, KS 67201

Re: BZA2026-00006: Administrative Adjustment in the City to reduce the rear compatibility setback from 25 feet to 10 feet for commercial buildings on property zoned GO General Office District, generally located on the south side of West Central Avenue and within one-half mile west of North West Street (4715 West Central Ave.).

Legal Description: Lot 1, D.J. Fisher Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant,

We have reviewed your request for a Zoning Adjustment to reduce compatibility setback on the south interior side of the lot from 25 feet to 10 feet for commercial buildings. Section IV-C.4 requires compatibility setbacks along the side and rear lot lines adjacent to properties zoned TF-3 or more restrictive. Property to the south is zoned SF-5 Single-Family Residential and developed with a single-family dwelling. The required compatibility setback, based on the width of the subject Lot, is 25 feet.

The request to reduce the compatibility setback from 25 feet to 10 feet is greater than the standard interior side building setback in the GO District. The standard interior side setback in the GO District is zero feet or at least five feet. The site currently has one building, which was constructed 10 feet from the rear property line in 1984. It appears it was a house that was converted into office/commercial uses at some time and so compatibility setbacks did not apply. The site plan illustrates a proposed second building to be constructed west of the current one. In order to retain existing parking spaces, the proposed building would be built in line with the existing.

Section V-I.2.d of the Unified Zoning Code ("UZC") allows reducing or waiving the compatibility setback. This adjustment is permissible when the provisions of this section and the Zoning Adjustment Criteria of Section V-I.6 are met. We find that the reduction of the setback as proposed meets the provisions of Section V-I.2.d and the four criteria required by Section V-1.6 as set out below:

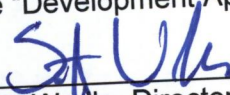
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction of the south compatibility setback from 25 feet to 10 will have no impact on the safety and convenience of vehicular and pedestrian circulation in the right-of-way.

- 2) Impact on existing uses in surrounding areas: There will be no impact on the existing uses. The affected property to the south is zoned SF-5 and developed with a single-family dwelling. The existing structure has operated commercially for some time. The proposed additional structure is not likely to have significant negative impacts on existing uses. All screening and landscaping along the south property line will be installed. The height of the structure does not exceed 35 feet (required by compatibility standards).
- 3) Compatibility with existing or permitted uses on abutting sites: The proposed development is compatible with the development along West Central Avenue, which is an established commercial corridor. The existing structure has operated commercially for some time. The proposed additional structure is not likely to have significant negative impacts on existing uses. The structures shall meet all compatibility height requirements, not to exceed 35 feet.
- 4) Effect on public health, safety, or welfare: There will be no negative impact on the public health, safety, or welfare, nor will properties or improvements in the vicinity be materially injured.

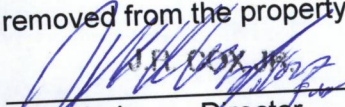
Our signatures below indicate that the Zoning Adjustment to reduce the south compatibility setback from 25 feet to 10 feet for office/warehouse buildings is hereby GRANTED, subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) The applicant shall obtain a building permit within one year of the Administrative Adjustment approval. The site shall conform to all codes including but not limited to zoning, building, health, and fire.
- 3) The setback reduction shall apply only to the 10-foot south building setback for the structures as illustrated on the approved site plan. All other structures or additions on the subject property shall conform to the setbacks permitted by the Unified Zoning Code unless a separate Zoning Adjustment or Variance is granted.
- 4) All structures shall adhere to the required 35-foot height compatibility standard set forth in Section IV-C.5.a of the Unified zoning Code.
- 5) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director
Metropolitan Area Planning Department



Chris Labrum, Director
Metropolitan Area Building and Construction
Department

cc: MABCD
Maggie Ballard, City Council District VI
Ana Lopez, CSR District VI



Kentech Code Systems, LLC
 4715 W CENTRAL AVE
 WICHITA, KS 67212
 T. 316.893.8100
 kansascode.com

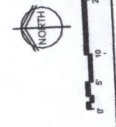
MULTI-CON CONSTRUCTION
 30' X 40' STORAGE BUILDING
 4715 W CENTRAL AVE
 WICHITA, KS 67212

PRINTED BY
 DATE
 SCALE

PROJECT NO.
 25028
 SHEET NO.

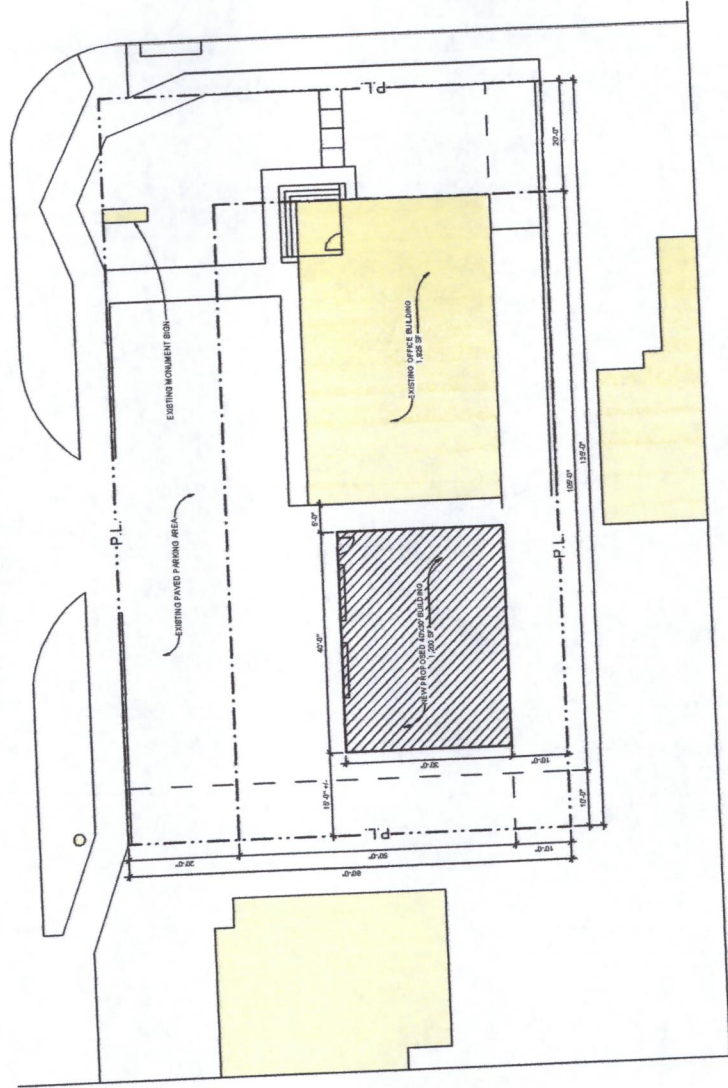
PROJECT NO.
 25028
 SHEET NO.

A2



W CENTRAL AVE

N BAHR ST



ADDRESS:
 4715 W CENTRAL AVE
 WICHITA, KS 67212

OWNER:
 MULTICON CONSTRUCTION
 4715 W CENTRAL AVE
 WICHITA, KS 67212

DESIGNER:
 600 GENERAL OFFICE
 4715 W CENTRAL AVE
 WICHITA, KS 67212

NOTES:
 THERE IS A 20' SETBACK ON THE NORTH AND EAST PROPERTY LINES
 THERE IS A 10' UTILITY EASEMENT ON THE WEST PROPERTY LINE
 FRONT SETBACK: 20' MINIMUM
 SIDE SETBACK: 10' MINIMUM
 REAR SETBACK: 10' MINIMUM
 INTERIOR SETBACK: 10' MINIMUM
 MAXIMUM HEIGHT: 10'

SITE PLAN

APPROVED
 2/2/26 BY *[Signature]*
 BZA26-06

1 SITE PLAN
 1" = 10'-0"