



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

April 10, 2026

Donald Lemons, Sr.
4308 W. Memory Lane
Wichita, KS 67212

Re: BZA2026-00029: Administrative Adjustment in the City to reduce the west side setback from 6 feet to 4.8 feet (20 percent) for an existing attached carport on property zoned SF-5 Single-Family Residential District; generally located within two-blocks west of West Zoo Boulevard and one-block south of West 11th Street North (4308 W. Memory Lane).

Legal Description: Lot 10, Block 1, Memory Acres Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant,

We have reviewed your request for a Zoning Adjustment to reduce the west side setback from 6 feet to 4.8 feet (20 percent) on the aforementioned property in order to bring an existing, attached carport into compliance while modifying existing support structure.

Section V-I.2.a of the UZC allows reducing the minimum side setback (required by the property development standards of the zoning district) by up to 20 percent. This adjustment is permissible when the provisions of this section and the Zoning Adjustment Criteria of Section V-I.6 are met. We find that the reduction of the setbacks as proposed meets the provisions of Section V-I.2.a and the four criteria required by Section V-1.6 as set out below:

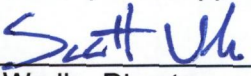
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction of the side setback as described will have no impact on the safety and convenience of vehicular and pedestrian circulation in the right-of-way.
- 2) Impact on existing uses in surrounding areas: There will be no impact on the existing uses. Properties to the north, east, south, and west are zoned SF-5 and are developed with single-family dwellings. The carport has been existing for sometime at a distance of 5.8 feet from the side property line. The new support structure will encroach an additional 12 inches, which will be 4.8 feet from the side property line.
- 3) Compatibility with existing or permitted uses on abutting sites: The carport has been existing for sometime at a distance of 5.8 feet from the side property line. The new support structure will encroach an additional 12 inches, which will be 4.8 feet from the side property line.
- 4) Effect on public health, safety, or welfare: There will be no negative impact on the public health, safety, or welfare, nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that the Zoning Adjustment to reduce the west side setback from 6

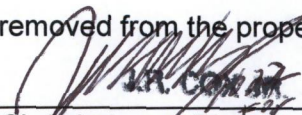
feet to 4.8 feet (20 percent) is hereby GRANTED, subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) The applicant shall obtain a building permit within one year of the Administrative Adjustment approval. The site shall conform to all codes including but not limited to zoning, building, health, and fire.
- 3) The setback reduction shall apply only to the 4.8-foot west side setback as illustrated on the approved site plan. All other structures or additions on the subject property shall conform to the setbacks permitted by the Unified Zoning Code unless a separate Zoning Adjustment or Variance is granted.
- 4) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.



Scott Wadle, Director
Metropolitan Area Planning Department



Chris Labrum, Director
Metropolitan Area Building and Construction
Department

cc: MABCD
Maggie Ballard, City Council District VI;
Ana Lopez, CSR District VI



APPROVED 4/10/20 BY *[Signature]*
BEA 26-29



This information is not an official record, and cannot be used as such. The user should rely only upon official records available from the custodian of records in the appropriate City and/or County department. Some data provided here and used for the preparation of these maps has been obtained from public records not created or maintained by the City of Wichita.

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