

COMMUNITY UNIT PLAN DP-234

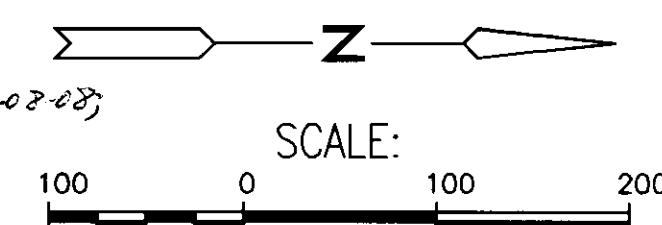
AMENDMENT #2

REGENCY LAKES COMMERCIAL

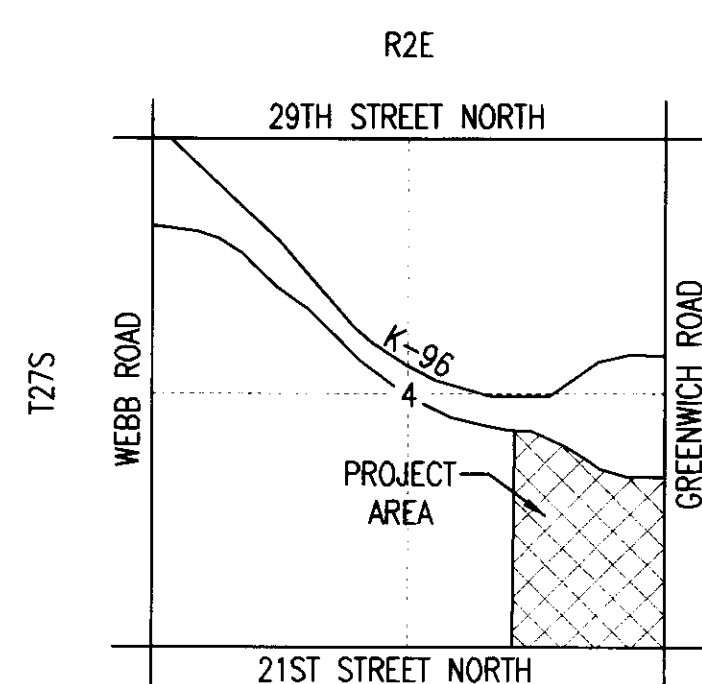
OWNER: REGENCY LAND COMPANY, L.L.C.

150 N. MARKET
WICHITA, KANSAS 67202

BENCHMARKS:

Datum BM from Proj. No. 36-02146-5328, Kitch Property
C.O.W. Disc in Conc. Base R.R. Signal W. Side Greenwich
± 1/2 Mile S. of 21st St. N.City Datum: 183.19
MSL: 1370.59DP-234 AMENDMENT #2
Per Admin. Adj. 11-26-07, 02-20-08, 12-02-08,
08-20-09, 05-05-10, 06-22-11
APPROVED CUP
DATE: 06-07-11 DM

VICINITY MAP



MPPD Copy 1 of 2

REGENCY LAKES ST.

ZONED: "SF-5"

REGENCY LAKES ADDITION

Reserve "C"

OAK CREEK PKY.

21st ST.

K-96 HWY.

K-96 HWY. RAMP

NOTES:

1. ZONING: LIMITED INDUSTRIAL - LI
LIMITED COMMERCIAL - LC
2. LOT MINIMUM PADS AS INDICATED ON DRAINAGE PLAN.

1. AREA - This development contains 63.54 net acres more or less.
2.

Parcel	Gross Area	Maximum Height	Maximum Coverage	Maximum Gross Floor Area
Parcel 1	1.73 acres	35 FEET	30%	30%
Parcel 2	1.11 acres	35 FEET	30%	30%
Parcel 3	0.69 acre	35 FEET	30%	30%
Parcel 3A	0.91 acre	35 FEET	30%	30%
Parcel 4	1.76 acres	35 FEET	30%	30%
Parcel 5 - Deleted				
Parcel 6	1.50 acres	35 FEET	30%	30%
Parcel 7	2.56 acres (111,514 s.f.)	55 FEET	30%	30%
Parcel 8 - Deleted				
Parcel 9	1.46 acres	35 FEET	30%	30%
Parcel 10 - Deleted				
Parcel 11A	3.65 acres	48 FEET	30%	30%
Parcel 11B	4.06 acres	48 FEET	30%	30%
Parcel 11C	9.40 acres	52 FEET	30%	30%
Parcel 12	18.11 acres	48 FEET	30%	30%
Reserves A and B	14.86 acres	35 FEET	30%	30%
3. PERMITTED USES: The following uses are permitted for all property located 540 feet north of 21st Street: All uses in the "LI" Limited Industrial Zoning District, EXCEPT for adult entertainment as defined by city code, recreation vehicle campground, height terminal, vehicle storage yard, gas and fuel storage and sales, storage of class-C fireworks, poultry or rabbit crossing, live re-breeding or rearing, grain storage, and concrete or asphalt plant. The following uses are permitted for all property located in the south 540 feet of the property: All uses in the "LC" Limited Commercial Zoning District, EXCEPT for adult entertainment as defined by city code. All uses that require conditional use permits in the "LC" and "LI" districts are only permitted by amending the CUP.
4. The transfer of the title on all or any portion of the land included in the development does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land for the development and be binding upon the present land owners, their successors and assigns, and their lessees unless amended. However, the planning director, with the concurrence of the Office of Central Inspection Superintendent, may approve minor adjustments to the conditions in this overlay, consistent with the approved development plan, without filing a formal ordinance amendment.
5. LANDSCAPE AND PARKING LOT SCREENING: Shall be in accordance with section 10.32.010 E1, Sec. of the City of Wichita Code. A landscape plan indicating the location, type, and specification of plant material shall be submitted to the planning department for their approval prior to the issuance of any building permit(s).
6. MINIMUM SETBACK REQUIREMENTS: There shall be a setback of 75 feet along the west line of Parcel 12 and a portion of the west line of Parcel 11A (as indicated on the plan). There shall be a building setback of 35 feet along 21st Street North, Greenwich Road, portions of the west lines of Parcels 11B and 11C, and the south lines of Parcels 7 and 9 (as indicated on the plan). There shall be a building setback of 15 feet along the north lines of Parcels 3A and 6, as well as the south line of Parcel 4. Side-yard setbacks between parcels are zero (0) feet.
- 7a. STREET SIGNS - All signs along Greenwich Rd. and 21st St. shall be either monument or pylon type signs. There are three sizes of signs proposed along these arterial streets:
Small Tenant Monuments, Medium Tenant Pylon, and Large Development Identification / Tenant Pylon.
Small Tenant Monuments are limited as follows:
Allowed Locations - Each Parcel is allowed 1 per street frontage. Additionally Parcel 9 is allowed 1 along its southern parcel boundary.
Maximum height - 20 feet
Maximum sign area - 96 square feet each
Minimum distance between signs - 150 feet except, when adjacent to Medium and Large Signs 50 feet
Medium Tenant Pylons are limited as follows:
Allowed Locations - one along 21st St. and one along Greenwich Rd.
Maximum height - 22 feet
Maximum sign area - 110 square feet each
Minimum distance between signs - 50 feet
Large Development Identification / Tenant Pylons are limited as follows:
Allowed Locations - one along 21st St. and one along Greenwich Rd.
Maximum height - 30 feet
Maximum sign area - 300 square feet each
Minimum distance between signs - 175 feet
All signs along K-96 shall be either monument or pylon type signs and are limited as follows:
Allowed Locations - 3 along right of way within Reserve A
Maximum height - 45 feet
Maximum sign area - 600 square feet each
Minimum distance between signs - 175 feet
80% Linear Street Frontage: This development has a total of 3,698 square feet available sign area based on 80% of street frontage. This CUP development intends to utilize no more than 3,320 square feet or 95.2% of the available sign area per the 80% rule.
- 7b. BUILDING SIGNS - Building signs for Parcels 1, 2, 3, 3A, 4, and 6 shall be per Sign Code for "LC" Limited Commercial Zoning District. Parcel 7 shall permit signs per Sign Code for the "LI" Limited Industrial Zoning District. Parcel 9 shall permit signs on the north, south, and east elevations per Sign Code. Parcels 11A, 11B, and 11C, shall be per the Sign Code, EXCEPT that they may permit signs on the north elevation of the northern most building due to the fact that it faces K-96 and is supported by a reserve. All buildings over 75,000 sq. ft. shall permit signs to the signs per elevation (up to 400 sq. ft. per sign) with a maximum of 1,200 sq. ft. per elevation. One sign per elevation is permitted at a maximum height of 48 feet with a sign area of 159 sq. ft. for a corporate logo. Parcel 12 - Shall be per the Sign Code, EXCEPT that all buildings over 75,000 sq. ft. shall permit up to five signs per elevation, up to 400 sq. ft. per sign with a maximum of 1,200 sq. ft. per elevation. One sign per elevation is permitted at a maximum height of 48 feet with a sign area of 159 sq. ft. for a corporate logo. There shall be no signs facing the residential area to the west except for small identification signs as described in Sec. 24.04.190.3.0 of the Sign Code.
8. PARKING - Shall be in accordance with Article IV.A. of the Wichita - Sedgewick County Unified Zoning Code, EXCEPT if Parcel 7 is developed as a hotel, it shall provide one space per unit plus 40 additional spaces for office common area connected to the hotel. An administrative adjustment has been granted to reduce the parking requirement for Parcel 7 to 102 parking spaces so long as it conforms to the preliminary plans as submitted and dated Sept. 26th, 2007. This adjustment shall not be deemed to alter any other provisions of the CUP except as stated herein and/or to alter unified zoning code site requirements other than parking requirements and landscape ordinance requirements applicable to the property (Amended Nov. 26th, 2007) signs as described in Sec. 24.04.190.3.0 of the Sign Code.
9. ARCHITECTURAL CONTROL - All buildings within Parcels 11A, 11B, (11C intentionally not included) and 12 shall have the same predominate exterior building materials with consistent architectural character, color, and texture, and consistent lighting design (fixtures, poles, lamps, etc.) as approved by the Director of Planning. Metal shall not be permitted as a predominate exterior building material on any Parcel. Parcels 1, 2, 3, 3A, 4, 6, 7, and 9 shall have consistent lighting fixtures, monument signs, and landscape pallet.
10. An Operation and Easement Agreement and/or Owners Association shall provide for the maintenance of reserves, open space, internal devices, parking areas, drainage improvements, etc., and shall be filed by the time the plat is filed of record.
11. Cross-Lot circulation is to be provided for all lots planned for retail, commercial, and/or office uses.
12. All drainage ways and easements shall be determined at the time of platting.
13. A lot grading plan will be prepared in conformance with the drainage concept plan for review prior to the issuance of a building permit.
14. There are no internal public street areas within the CUP.
15. Multiple ownership is anticipated, an owners association agreement providing for the maintenance of reserves, open space, internal devices, parking areas, drainage improvements, etc., shall be filed with the plat of the area. (SEE D.D. #10).
16. Loading areas and docks in the CUP shall be screened from ground level view with a masonry wall along K-96, 21st Street North, and Greenwich Road. Screening of all trash dumpsters, outside storage, and mechanical equipment will be constructed of material to match the buildings they support.
17. A six (6) to eight (8) foot solid wall shall be constructed of brick, stone, masonry, architectural tile or similar material (not including wood or woven wire) along the west property lines of Parcels 11A, 11B, 11C, and 12.
18. Prior to the issuing building permits, a plan for a pedestrian walk system shall be submitted and approved by the director of planning. This walk system shall link sidewalks along 21st Street North, Greenwich Road, and the K-96 Expressway Bicycle Trail with proposed buildings within the subject property as determined necessary by the Director of Planning.
19. The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the zoning administrator and the Director of Planning, shall constitute a violation of the building permit authorizing construction of the proposed development.
20. Any major changes in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.
21. All lights shall be shielded to reflect light downward or away from residential area.

CONVEYANCE CASE 87C-1432

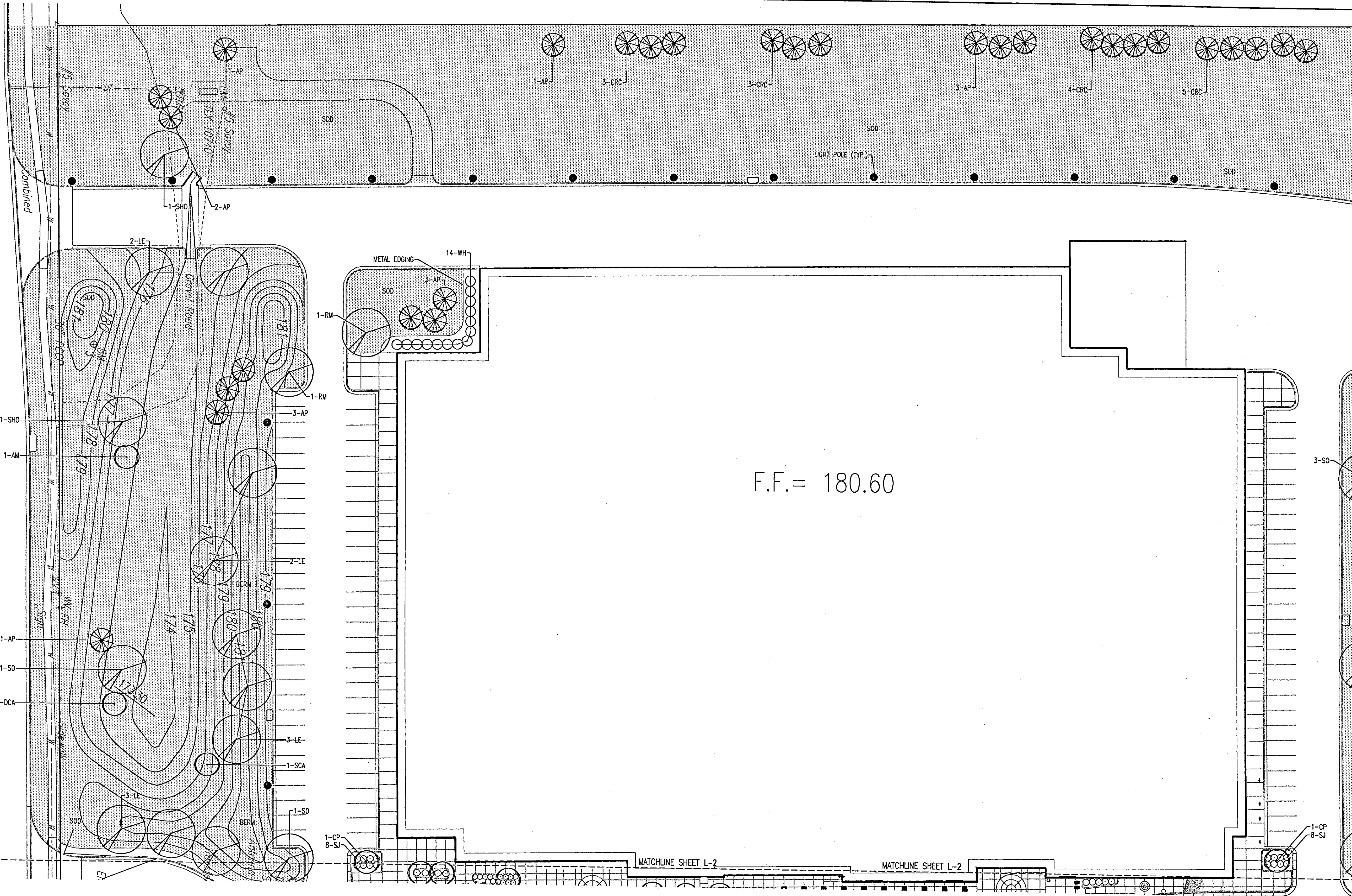
K-96 HIGHWAY
CONVEYANCE CASE 87C-1432
FILED 9/25/09 PAGE 15/15

DSNR: RMH OPER: IDK SCALE: 1=30.00
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21ST STREET NORTH

21ST STREET NORTH

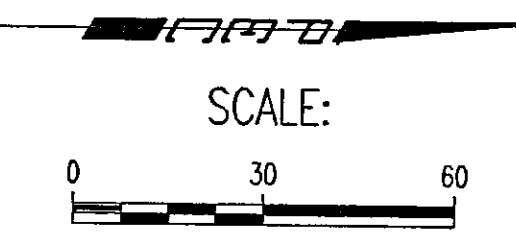
C & G



F.F. = 180.60

MATCHLINE SHEET L-2

MATCHLINE SHEET L-2



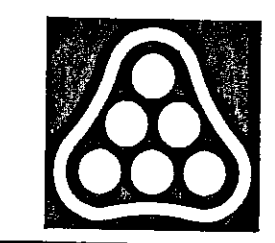
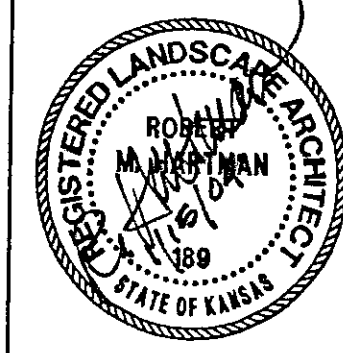
SCALE:



REVIEWED BY:

Site Development Manager	Revise and Resubmit	Not Reviewed	Approved
Project Architect	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (M)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (E)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (S)	Revise and Resubmit	Not Reviewed	Approved

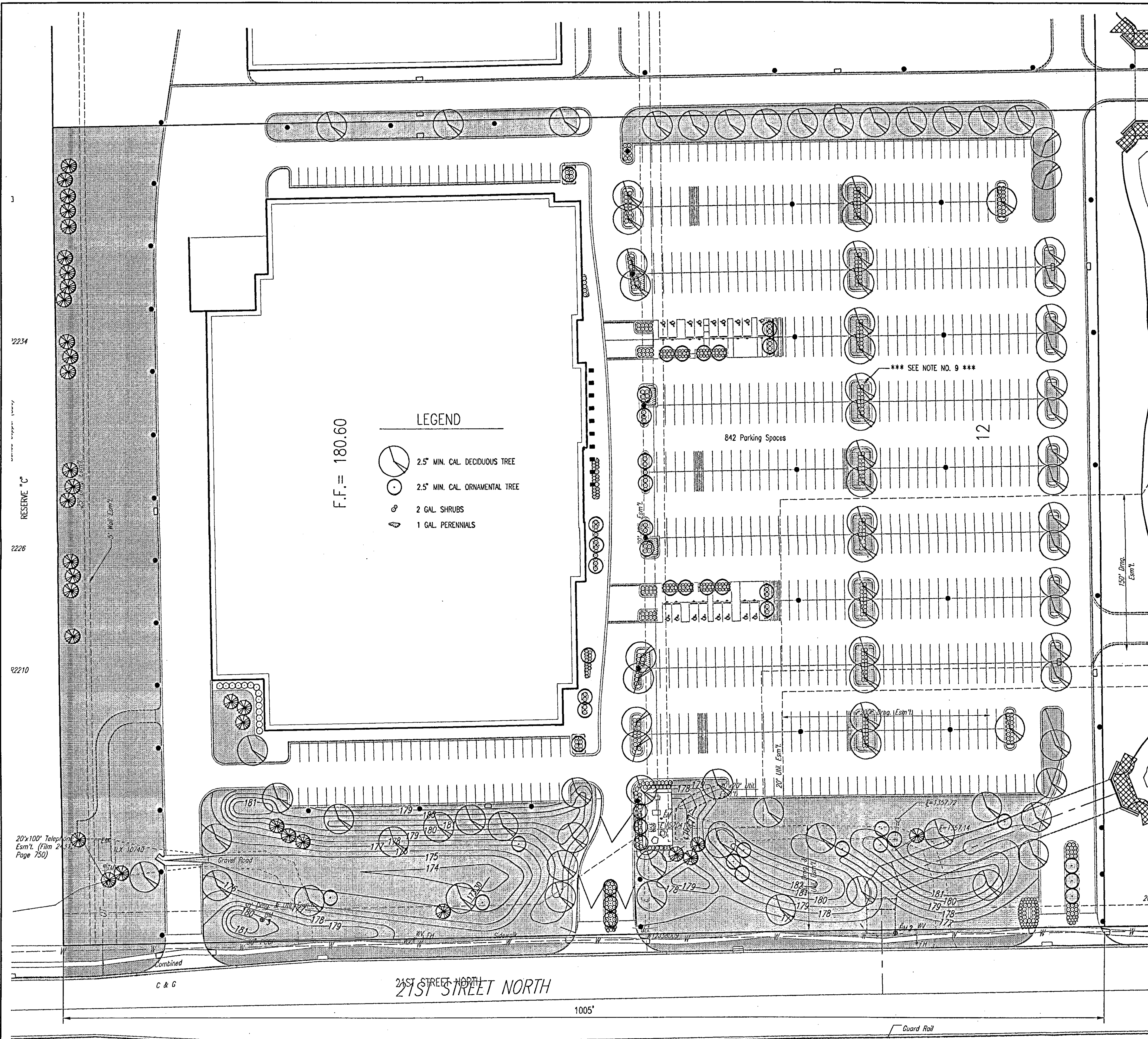
Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.3 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



No.	Revision	By	Date
REGENCY LAKES COMMERCIAL TARGET NE L-3 LANDSCAPE PLAN			
Professional Engineering Consultants, P.A. 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RMH	Job No.	03419-5567
Drawn by	IDK	Date	November, 2003
Sht. L-3 of 3			3

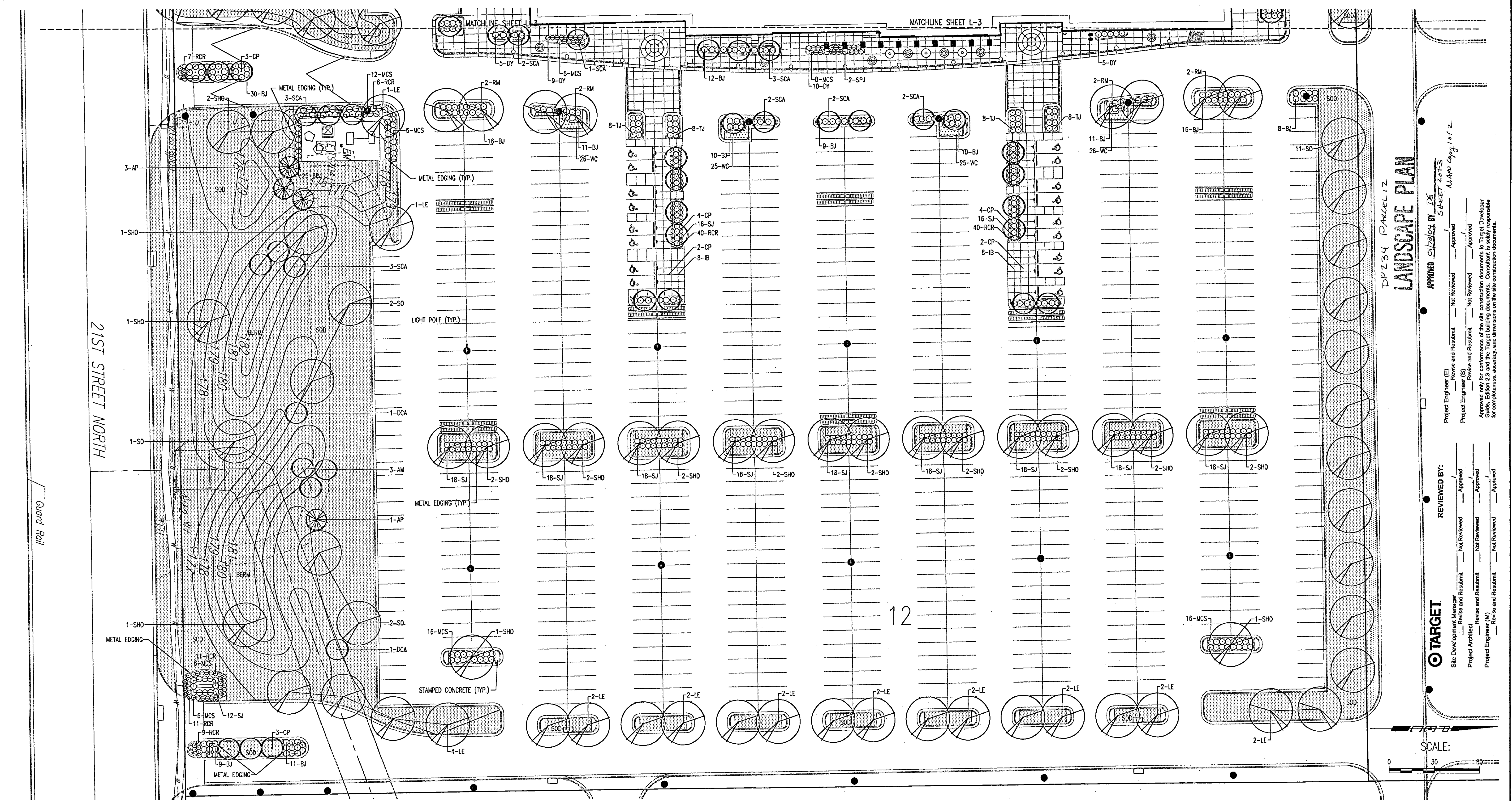
DP-234 PARCEL 12
LANDSCAPE PLAN

APPROVED 01/23/04 BY IDK
SHEET 3 of 3
MARD Corp. 1 of 2



		Revision		By	Date
REGENCY LAKES COMMERCIAL TARGET NE L-1 OVERALL SITE AND LANDSCAPE DETAILS					
Professional Engineering Consultants, P.A. 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003					
Designed by	RMH	Job No.	03419-5567	Sht. L-1 of	
Drawn by	JKD	Date	November, 2003		

DSNR: RUH OPER: IDK SCALE: 1"=30.00
01-15-2004 08:20:30 am
Q:\2003\03419 Landscape\1-2



PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
DECIDUOUS SHADE TREES					
LE	32	Lacebark Elm	Ulmus parvifolia 'Allee'	2 1/2" cal.	B&B
RM	10	Autumn Blaze Red Maple	Acer rubrum 'Autumn Blaze'	2 1/2" cal.	B&B
SHO	27	Shumard's Red Oak	Quercus shumardii	2 1/2" cal.	B&B
SO	21	Sawtooth Oak	Quercus acutissima	2 1/2" cal.	B&B
DECIDUOUS ORNAMENTAL TREES					
AM	4	Amur Maple	Acer ginnala 'Flame'	2 1/2" cal.	B&B: Multi-trunk
CP	20	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	2 1/2" cal.	B&B
DCA	3	Donald Wyman Crabapple	Malus 'Donald Wyman'	2 1/2" cal.	B&B
SCA	19	Crabapple, Sargent	Malus sargentii	2 1/2" cal.	B&B

PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
EVERGREEN TREES					
AP	18	Austrian Pine	Pinus nigra	6-7"	B&B
CRG	15	Concert Redcedar	Juniperus virginiana 'Concertii'	6-7"	B&B
DECIDUOUS SHRUBS					
MCS	76	Magic Carpet Spirea	Spiraea x bumalda 'Magic Carpet'	2 Gal.	Container
RCR	124	Red Carpet Rose	Rosa narae	2 Gal.	Container
WH	14	Winter Honeysuckle	Lonicera fragrantissima	2 Gal.	Container
EVERGREEN SHRUBS					
BJ	153	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	2 Gal.	Container
DY	29	Densiformis Yew	Taxus x media 'Densiformis'	2 Gal.	Container
IB	18	Inkberry	Ilex glabra	2 Gal.	Container
SJ	222	Sea Green Juniper	Juniperus chinensis 'Sea green'	2 Gal.	Container

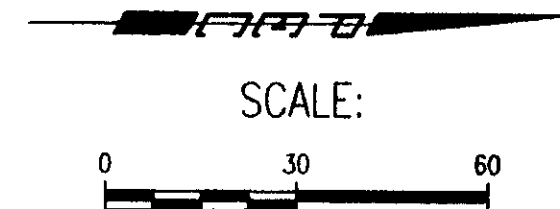
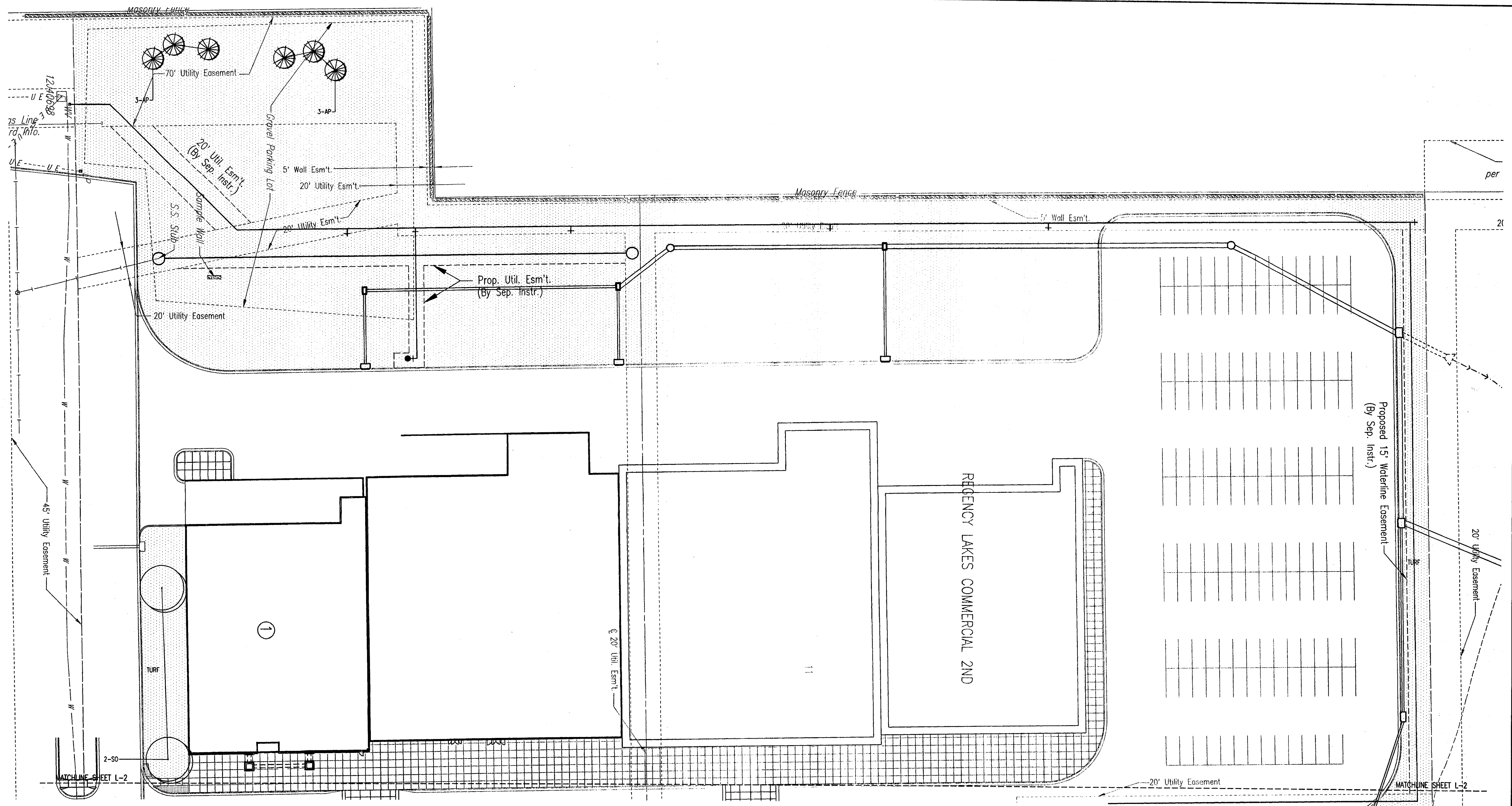
PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
SPJ	27	Spartan Juniper	Juniperus chinensis 'Spartan'	2 Gal.	Container
TJ	32	Tamarix Juniper	Juniperus sabinia 'Tamariscifolia'	2 Gal.	Container
PERENNIALS					
WC	102	Purple Leaf Winter Creeper	Euonymus fortunei 'Coloratus'	1 Gal.	Container
Sod Area = 24,316 SQ.YD. (Premium Blend Fescue)					
Metal Edging = 780 L.F.					

REGENCY LAKES COMMERCIAL
TARGET NE
L-2
LANDSCAPE PLAN

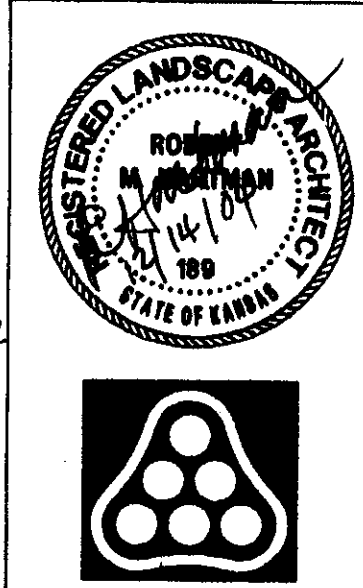
Professional Engineering Consultants, P.A.
303 S. TOPEKA • WICHITA, KANSAS 67202
316-262-2691 • FAX 316-262-3003

Designed by	RMH	Job No.	03419-5567	Sht. L-2 of 3
Drawn by	IDK	Date	November, 2003	

DSNR: RMH OPER: SNW SCALE: 1=30.00
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DP-234 PORTION OF PARCEL 11
(East parking lot's, S 236' of west property line)
LANDSCAPE PLAN
APPROVED 04/28/05 BY J.D.G.
SHEET 3 OF 3 MAP 6691092

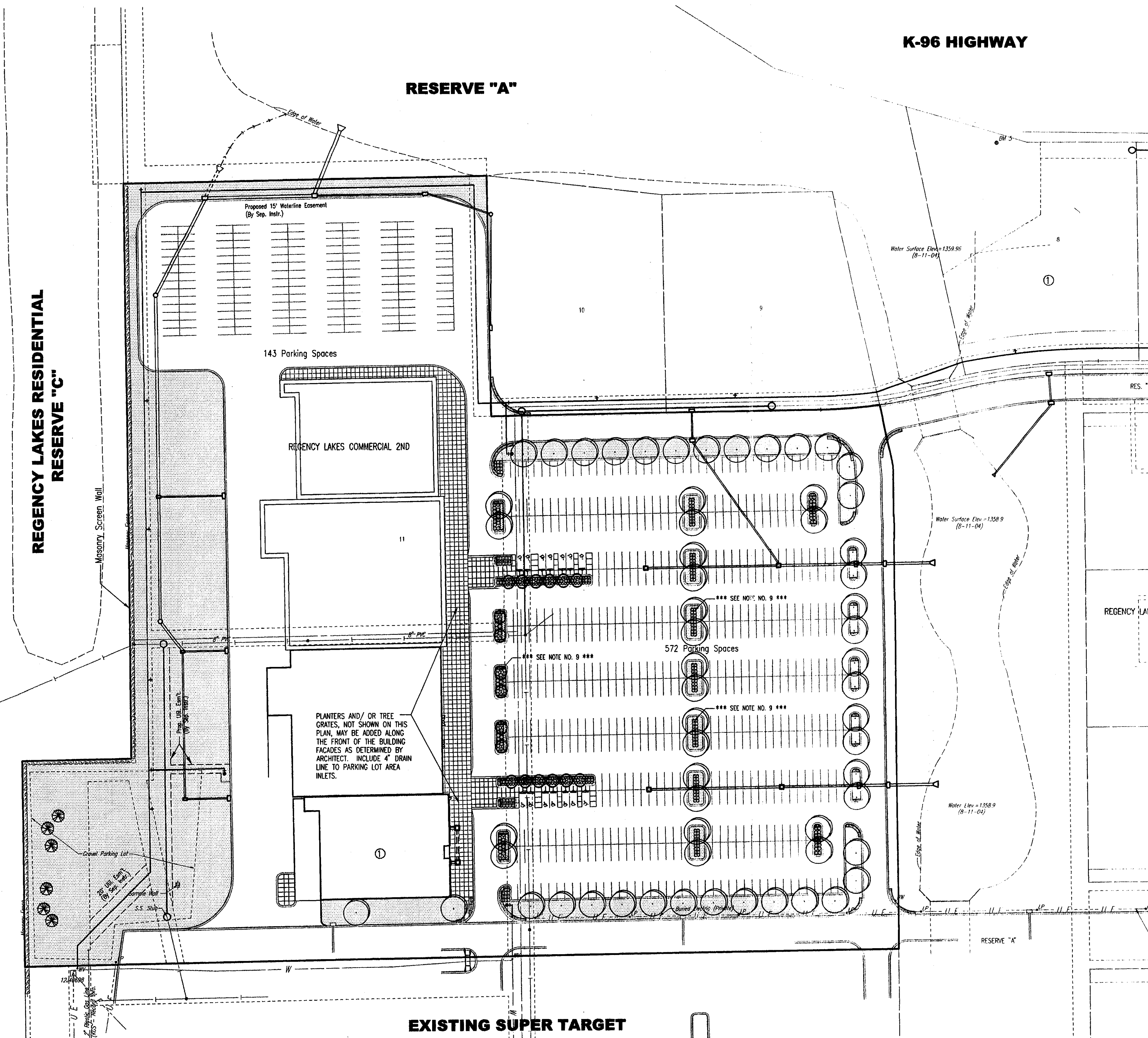


No.	Revision	By	Date
REGENCY LAKES COMMERCIAL 2ND PHASE 2 INFRASTRUCTURE L-3 LANDSCAPE PLAN			
Professional Engineering Consultants, P.A. 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RRY, DWH	Job No.	04554-3432
Drawn by	SAW	Date	November 2004
			SH. L-3 of 39

REGENCY LAKES RESIDENTIAL
RESERVE "C"

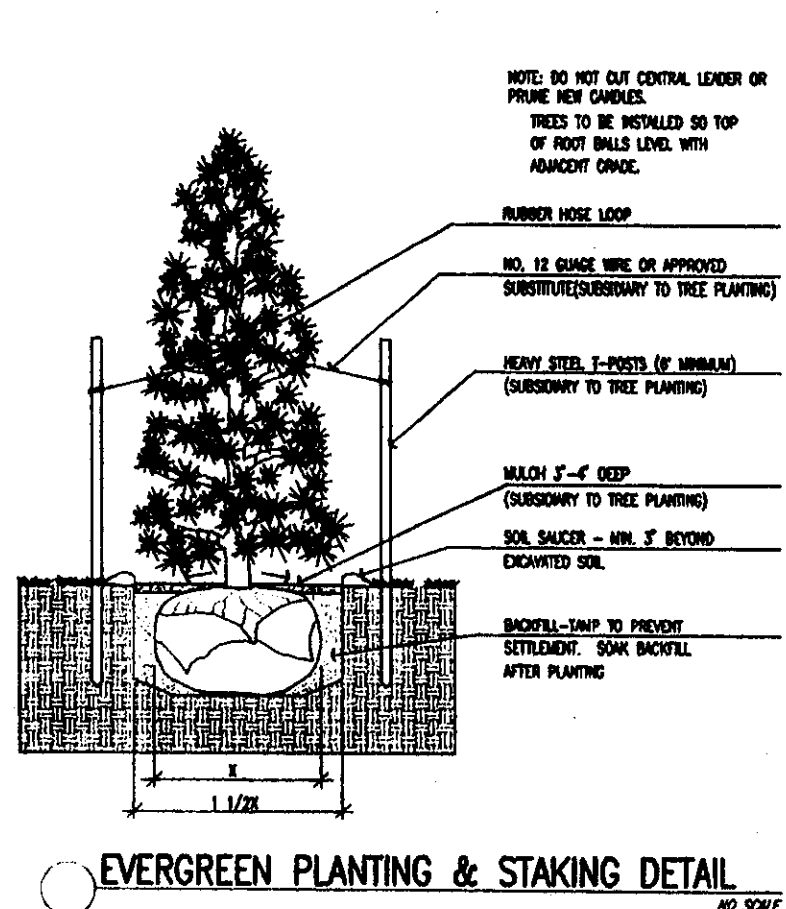
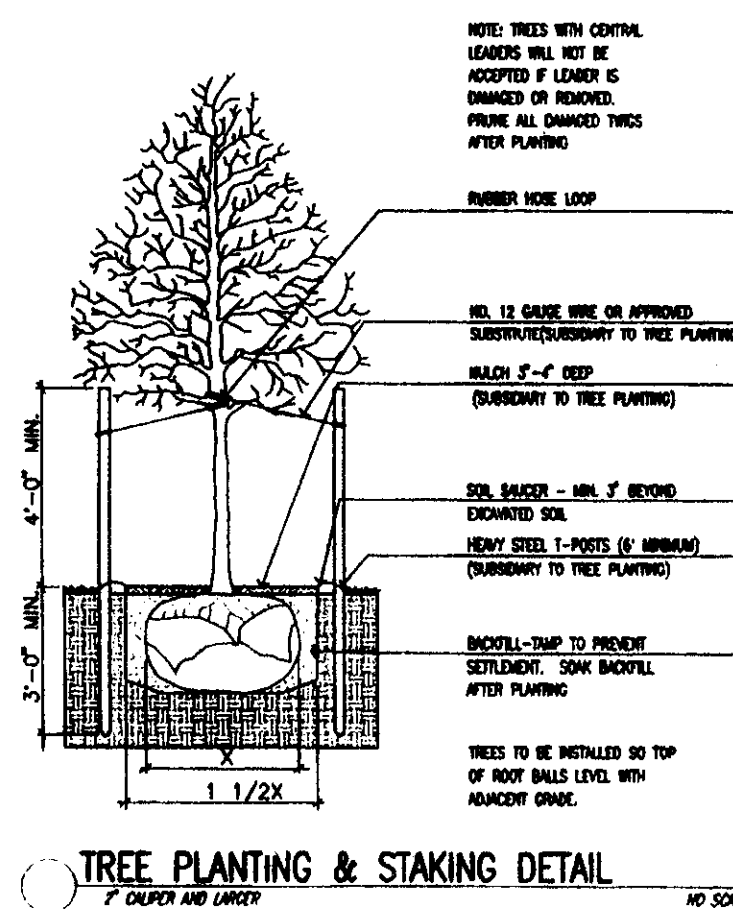
RESERVE "A"

K-96 HIGHWAY



NOTES:

1. CONTRACTOR SHALL PROVIDE A MINIMUM FORTY-EIGHT (48) HOURS ADVANCE NOTICE (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO BEGINNING ANY EXCAVATION, TO KANSAS ONE-CALL SYSTEM, A UTILITY LOCATION SERVICE, AT (316) 687-2470 TO REQUEST THE FOLLOWING UTILITY COMPANIES TO LOCATE ALL EXISTING LINES WITHIN THE PROJECT AREA: K.G.S. GAS, WESTAR ENERGY ELECTRIC, SOUTHWESTERN BELL TELEPHONE, COX COMMUNICATIONS, CITY OF WICHITA SEWER MAINTENANCE AND CITY OF WICHITA WATER DEPARTMENT.
2. CONTRACTORS SHALL SATISFY THEMSELVES OF SURFACE AND SUBSURFACE CONDITIONS PRIOR TO BIDDING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
4. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND IMPROVEMENTS CONSTRUCTED UNDER OTHER PROJECTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO IMPROVEMENTS IN PLACE. COSTS FOR COORDINATION AND REPAIRS TO IMPROVEMENTS IN PLACE, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR.
5. ALL PLANT MATERIAL SHALL BE HIGH-QUALITY NURSERY GROWN STOCK WHICH MEETS THE "AMERICAN ASSOCIATION OF NURSEYMEN" STANDARDS AS SPECIFIED BY THE "AMERICAN NATIONAL STANDARDS INSTITUTE" IN ANSI Z60.1-1986 OR AS MAY BE AMENDED IN THE FUTURE.
6. MULCH ALL SHRUB BEDS AND TREES WITH A MINIMUM OF 3" SHREDDED CEDAR MULCH.
7. ALL TURF AREAS ARE TO BE PREMIUM BLEND FESCUE. REFER TO OWNER TO DETERMINE AREAS TO BE SEED OR SODDED.
8. ALL PLANT MATERIALS SHALL BE WATERED BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM EQUIPPED WITH A MOISTURE-SENSING DEVICE OR A RAIN SHUT-OFF SWITCH.
9. REMOVE SUBGRADE, LIME AND COMPACTED MATERIAL WITHIN THE LIMITS OF THE CURB AND GUTTER OF ALL LANDSCAPED ISLANDS, PLANTERS, AND TREE GRATES PER REQUIREMENTS OF THE LANDSCAPING CONTRACTOR. REPLACE WITH TOPSOIL.



LEGAL DESCRIPTION

Lot 11 Block 1 Regency Lakes Commercial 2nd Addition.

LANDSCAPE ORDINANCE REQUIREMENTS

LANDSCAPED STREET YARD REQUIRED: N/A

LANDSCAPED STREET YARD PROVIDED: N/A

STREET YARD TREES REQUIRED: 00 SHADE TREES

STREET YARD TREES PROVIDED:

00 (00 SHADE TREES : 00 ORNAMENTAL TREES)

PARKING SPACES: 715

PARKING LOT TREES REQUIRED: 36 SHADE TREES (18 IN ISLANDS)

PARKING LOT TREES PROVIDED: 69 (63 IN ISLANDS)

PARKING LOT SCREENING: N/A

BUFFER WITH SCREENING (ADJACENT TO RESIDENTIAL):

6" MASONRY SCREENING WALL

BUFFER TREES REQUIRED: 6

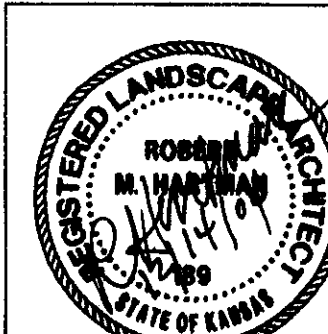
BUFFER TREES PROVIDED: 6

DP-234 PORTION OF PARCEL 11
(East parking lot & S 236' of west property line)
LANDSCAPE PLAN
APPROVED BY *DR*
SHEET 1 OF 3 MAP COPY 102

LEGEND

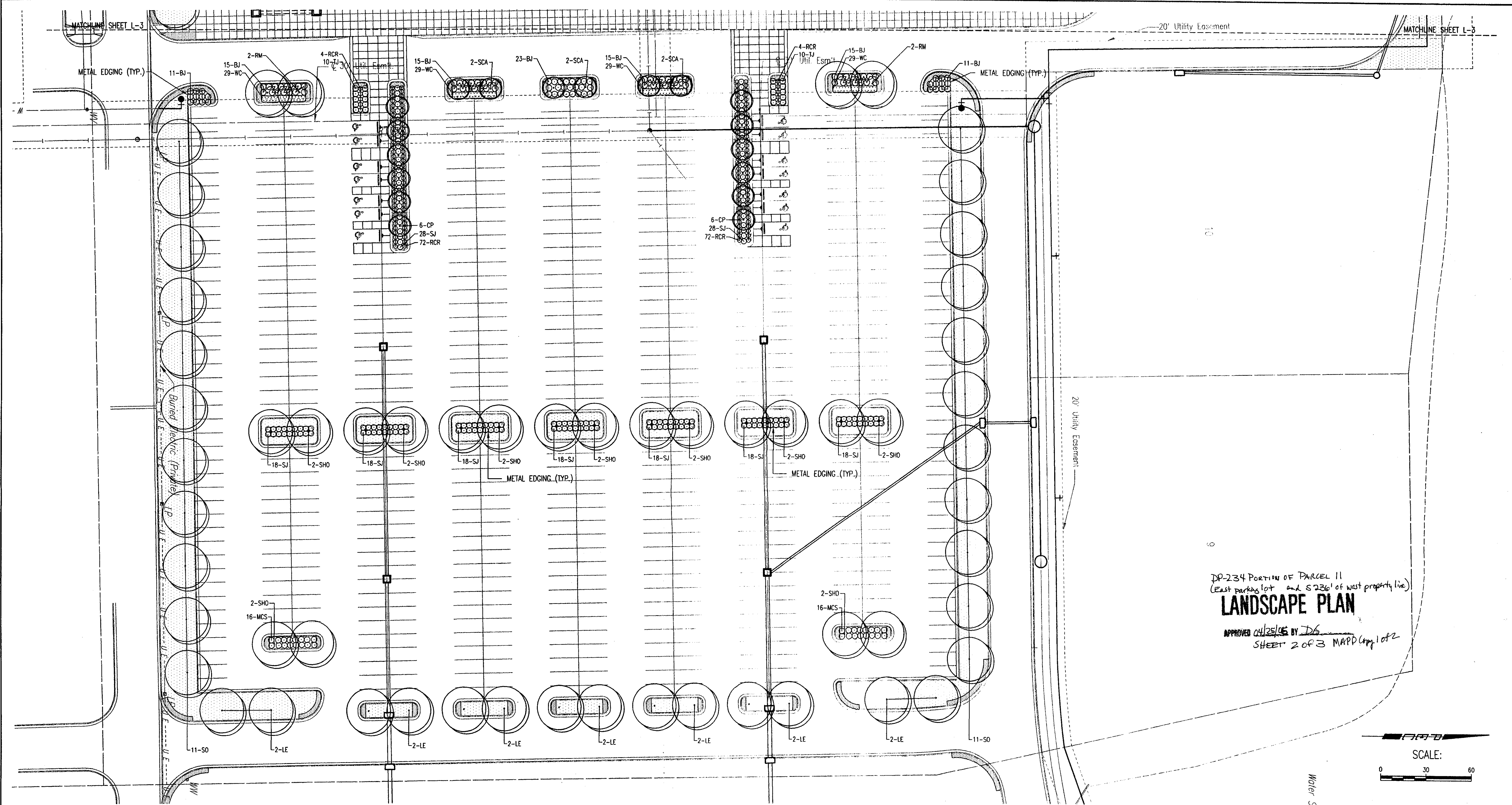
- 2.5" MIN. CAL. DECIDUOUS TREE
- 2.5" MIN. CAL. ORNAMENTAL TREE
- 2 GAL. SHRUBS
- 1 GAL. PERENNIALS

SCALE:



No.	Revision	By	Date
REGENCY LAKES COMMERCIAL 2ND PHASE 2 INFRASTRUCTURE L-1 OVERALL SITE AND LANDSCAPE DETAILS			
Professional Engineering Consultants, P.A. 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RRY, DWH	Job No.	04554-3432
Drawn by	SAW	Date	November 2004
			SM. L-1 of 39

DSNR: RMH OPER: SAW SCALE: 1"=30.00
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DP-234 PORTION OF PARCEL 11
(East parking lot and S 236' of west property line)
LANDSCAPE PLAN
APPROVED 04/25/05 BY JG
SHEET 2 OF 3 MAPD 6/1/02

SCALE:
0 30 60
Water S

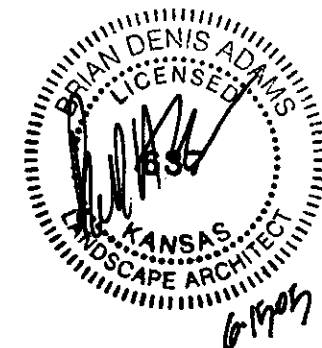
PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
DECIDUOUS SHADE TREES					
LE	14	Lacebark Elm	Ulmus parvifolia 'Allee'	2 1/2" cal.	B&B
RM	4	Autumn Blaze Red Maple	Acer rubrum 'Autumn Blaze'	2 1/2" cal.	B&B
SHO	18	Shumard's Red Oak	Quercus shumardii	2 1/2" cal.	B&B
SO	24	Sawtooth Oak	Quercus occultissima	2 1/2" cal.	B&B
DECIDUOUS ORNAMENTAL TREES					
CP	12	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	2 1/2" cal.	B&B
SCA	6	Crobbapple	Malus 'Spring Snow'	2 1/2" cal.	B&B

PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
EVERGREEN TREES					
AP	6	Austrian Pine	Pinus nigra	6-7'	B&B
DECIDUOUS SHRUBS					
MCS	32	Magie Carpet Spiraea	Spiraea x bumalda 'Magie Carpet'	2 Gal.	Container
RCR	152	Red Carpet Rose	Rosa narosa	2 Gal.	Container
EVERGREEN SHRUBS					
BJ	105	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	2 Gal.	Container
SJ	182	Sea Green Juniper	Juniperus chinensis 'Sea Green'	2 Gal.	Container
TJ	20	Tamarix Juniper	Juniperus sabina 'Tamariscifolia'	2 Gal.	Container

PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
PERENNIALS/ VINES					
WC	116	Purple Leaf Winter Creeper	Euonymus fortunei 'Coloratus'	1 Gal.	Container
TURF / LANDSCAPE MATERIALS					
Turf Area = 14,850 SQ.YD. (Premium Blend Fescue)					
Metal Edging = 520 L.F.					

No.	Revision	By	Date
REGENCY LAKES COMMERCIAL 2ND PHASE 2 INFRASTRUCTURE L-2 LANDSCAPE PLAN			
Professional Engineering Consultants, P.A. 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RRY, DWH	Job No.	04554-3432
Drawn by	SAW	Date	November 2004
			Sht. L-2 of 39

chili's

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTIONsmr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
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NO REVISION

PROJECT NUMBER
050281

SHEET NUMBER

L101

ORIGINAL ISSUE DATE - 06.15.05

BRINKER INTERNATIONAL SPECIFICATIONS

All work shall be laid out by Landscape Contractor for the Owner's approval prior to start. All material shall be subject to Owner approval.

Written approval is required by the Owner for any changes.

Landscape Contractor to provide daily cleanup and maintenance through completion.

The Landscape Contractor shall take all necessary precautions to protect any existing buildings or structures on the site and shall be held responsible for any damage caused by his work.

Guarantee: All material and labor for (12) twelve months after acceptance of project for material either dead or not in healthy condition. Contractor shall water all material during period of project.

It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over and to straighten or replant all plants which are damaged due to lack of guying or staking if unstaked. Plants blown over by wind shall not cause additional expense to the Owner but be the financial responsibility of the Landscape Contractor.

Landscape Contractor shall not be responsible at any time to replace or honor any warranty for the loss of any tree, plants, groundcover, or sod due to fires, floods, freezing temperatures, lightning, winds in excess of 50 mph, or any natural disaster.

Unless otherwise specified on these plans, the Landscape Contractor shall be responsible for the fine grading of the planting or any sodded areas. Fine grading shall consist of the final .10 foot of the grade to be achieved.

Topsoil material, when called for on the plans, shall be free of hard clods, stiff clay, hard pan, stones larger than 3/4" diameter, noxious weeds and plants, sod, partially disintegrated debris, insects or any other undesirable material, plants or seeds that would be toxic or harmful to proper growth.

The Landscape Contractor shall be advised of the existence of underground utilities on the site. Their exact location shall be verified in the field with the Owner or the General Contractor prior to the commencement of any digging operations. In the event they are uncovered, the Landscape Contractor shall promptly notify the Owner. The Landscape Contractor shall be responsible for any and all damages to utilities and such damage shall not cause any additional expense to the Owner. Any damage to unreported lines shall not be the responsibility of the Landscape Contractor.

Landscape Contractor shall provide planted and guaranteed unit prices for all work.

Plant list quantities are provided as an aid to bidders only. The Landscape Contractor is responsible for verifications of plant material quantities on plan. Improper plant counts made by the Landscape Contractor shall be no cause for additional expense to the Owner.

Plants should conform to the American Association of Nurseryman Standards.

The Landscape Contractor shall verify the compliance of landscape plans with the city minimum requirements.

The Landscape Contractor is responsible for the protection (with physical barriers) and maintenance of existing and transplanted trees during construction (where applicable).

The Landscape Contractor is to adjust planting as needed to allow for the screening of proposed electrical transformers.

The Landscape Contractor to coordinate placement of plant material with the site and building lighting locations as per architectural plans.

Lawns: Areas to be sodded shall be raked of stones and debris. Debris and stones over 3/4" in diameter shall be removed from the site. All damaged sod will be rejected. All sod must be placed with staggered joints, tightly butted, with no inequalities in grade. Place all sod in rows at right angles to slopes (where applicable).

GENERAL NOTES

- Planting layout, based on prototype landscape plan, is to be provided by Brinker International Design Department.
- Final location of all planting shall be determined in the field by the Owner's Construction Manager.
- Any modifications to planting layout, plant materials, etc. shall be approved by the Owner's Construction Manager prior to execution.
- All areas to be irrigated by an automatic irrigation system with time clock and rain and freeze sensors. Landscape Contractor to verify and adjust for any site visibility angles.
- Landscape Contractor to provide river rock where noted on drawings. River rock to be "Colorado" River Rock or approved equal, 2"-4" diameter.

DP-234 PARCEL 4
LANDSCAPE PLANAPPROVED 06/22/05 BY D.G.
SHEET 1 of 3
MAP COPY 1 of 2

PLANT LEGEND

QUANTITY

PLANT TYPE

SYMBOL

PLANT TYPE

AN

ANDORRA JUNIPER

AWS

ANTHONY WATERER SPIREE

BOX

WINTER GREEN BOXWOOD

BPJ

BLUE POINT JUNIPER

CA

FLOWERING CRABAPPLE

CB

COMPACT BURNING BUSH

ERC

EASTERN REDOGBUD

HY

HICKORY YEW

LE

LACINIA ELM

LIR

LIRIOPE 'MAJESTIC'

LL

LITTLELEAF LINDEN

MIS

MISCANTHUS

PJ

PITZLER JUNIPER

PS

PACHYSANDRA

RB

EASTERN REDOGBUD

RM

RED MAPLE

SC

SEASONAL COLOR

SO

SAWTOOTH OAK

WC

WINTERCREPER

WH

WASHINGTON HAWTHORNE

LANDSCAPE PLAN

1"=20'-0"

0 10 20 40

PLANT LIST

TREES

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

REMARKS

Acer rubrum 'October Glory'

Red Maple 'October Glory'

Juniperus virginiana

Eastern Redcedar

Ulmus parvifolia

Lacinate Elm

Cercis canadensis

Eastern Redbud

Crataegus phaenopynum

Flowering Crabapple

Malus spp.

Sawtooth Oak

Quercus laevis

Littleleaf Linden

Tilia cordata

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES

SHRUBS/GROUNDCOVER

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

REMARKS

Juniperus tobinia 'Andorra'

Andorra Juniper

Juniperus chinensis 'Pfitzer'

Pfitzer Juniper

Buxus microphylla 'Winter Green'

Winter Green Boxwood

Euonymus alatus 'Compacta'

Compact Burning Bush

Euonymus fortunei 'Colonatus'

Wintercreeper

Liriope muscarum 'Majestic'

Liriope 'Majestic'

Miscanthus sinensis 'Gracillimus'

Blue Point Juniper

Juniperus chinensis 'Blue Point'

Blue Point Juniper

Pachysandra terminalis

Pachysandra

Spiraea spp. 'Anthony Waterer'

Anthony Waterer Spiraea

Taxus x media 'Hicksii'

Hickory Yew

Seasonal Color

Tall Fescue Grass

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated.

LANDSCAPE TABULATIONS

STREET YARD

Required: 10 s.f. per linear foot of street frontage for average lot depth 125' - 275' and 15 s.f. per linear foot of street frontage for average lot depth 275' - 375'.
(1) shade tree or (2) ornamental trees for every 500 s.f. of required street yard.

GREENWICH ROAD R/W (288.42' L)

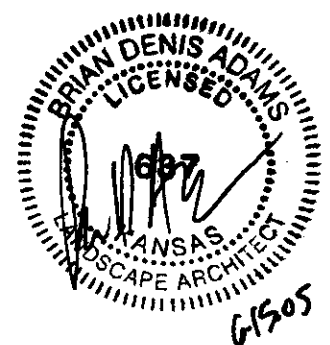
Required: (8) shade trees
2,884 s.f.
Provided: (13) shade trees
6,532 s.f.

PARKING LOT SCREEN (120 parking spaces)
Required: Minimum 5' width with shrubs, 36" ht. after 3 years of growth plus (1) shade tree or (2) ornamental trees per 20 parking spaces. 25 s.f. of landscape required for each required tree.

Required: (8) shade trees
150 s.f.
parking lot screen
Provided: (12) shade trees
2,938 s.f.
parking lot screen



DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION



smr
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NO REVISION

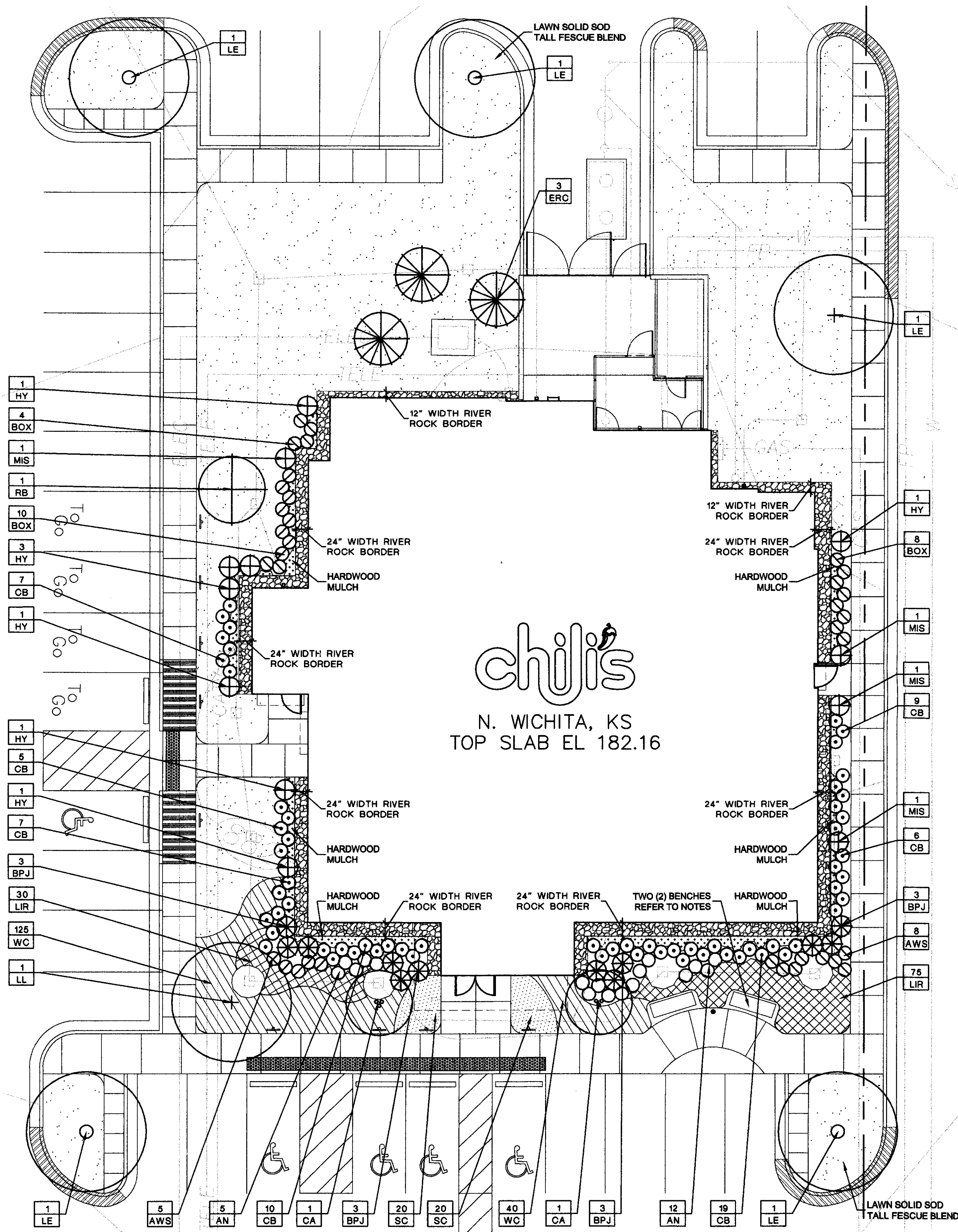
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L102

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MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

BENCH NOTES

- Benches to be provided by Owner and shipped with 'Furniture Delivery Truck.'
- General Contractor to assemble and install benches.
- Secure benches to concrete pad with (4) concrete tapping bolts for each bench.
- Concrete pad for benches to meet specifications of sidewalks.
- Size of concrete pad shall be 3'-0" deep and 8'-0" wide.
- Maintain at least 3'-0" between concrete pad.

HYDROMULCH NOTES

- All lawn areas to be Hydromulch Bermudagrass, unless noted otherwise on drawings.
- Contractor shall scarify, rip, loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
- Bermudagrass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
- Fiber: Shall be one hundred (100%) percent Wood Cellulose Fiber, delivered to the site in its original unopened container. 'Conweb' or equal.
- Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be 'Terro-Tack one', as manufactured by Growers, Inc., or equal.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1000) square foot.
- Use a 4'x8' batter board against all beds areas.
- All lawn areas to be hydromulched, shall have one hundred (100%) percent coverage prior to final acceptance.
- Contractor shall maintain all lawn areas until final acceptance. This shall include but not be limited to: mowing, watering, weeding, cultivating, cleaning, and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Tall Fescue Blend, unless otherwise noted on the drawings.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn.
- Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.

PLANT LEGEND

QUANTITY	PLANT TYPE
SYMBOL	PLANT TYPE
AN	Andorra Juniper
AWS	Anthony Waterer Spirea
BOX	Winter Green Boxwood
BPJ	Blue Point Juniper
CA	Flowering Crabapple
CB	Compact Burning Bush
ERG	Eastern Redcedar
HY	Hickory
LE	Lacebark Elm
LIR	Liriodendron
LL	Littleleaf Linden
MIS	Miscanthus
PJ	Pittier Juniper
PS	Pachysandra
RB	Eastern Redbud
RM	Red Maple
SC	Seasonal Color
SO	Sawtooth Oak
WC	Wintercreeper
WH	Washington Hawthorne

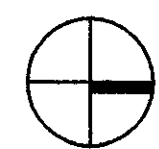
DP-234 PARCEL 4

LANDSCAPE PLAN

APPROVED 06/23/05 BY DG

SHEET 2 OF 3

MAPD COPY 1 OF 2



ENLARGED LANDSCAPING PLAN

1"=10'-0" 0 5 10 20

WATERING REQUIREMENTS
SOD AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLERS SYSTEM

LANDSCAPE STREET YARD

251 = GREENWICH LINEAR STREET FRONTAGE
x 10 = SQUARE FOOTAGE FACTOR
2510 = SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
472 = GREENWICH LINEAR STREET FRONTAGE
x 15 = SQUARE FOOTAGE FACTOR
7080 = SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
9590 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
21442 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD PROVIDED
9590 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
500 = SF PER LANDSCAPE YARD TREE
20 = TOTAL LANDSCAPE YARD TREES REQUIRED
17 = TOTAL LANDSCAPE YARD SHADE TREES PROVIDED
6 = TOTAL LANDSCAPE YARD ORNAMENTAL TREES PROVIDED

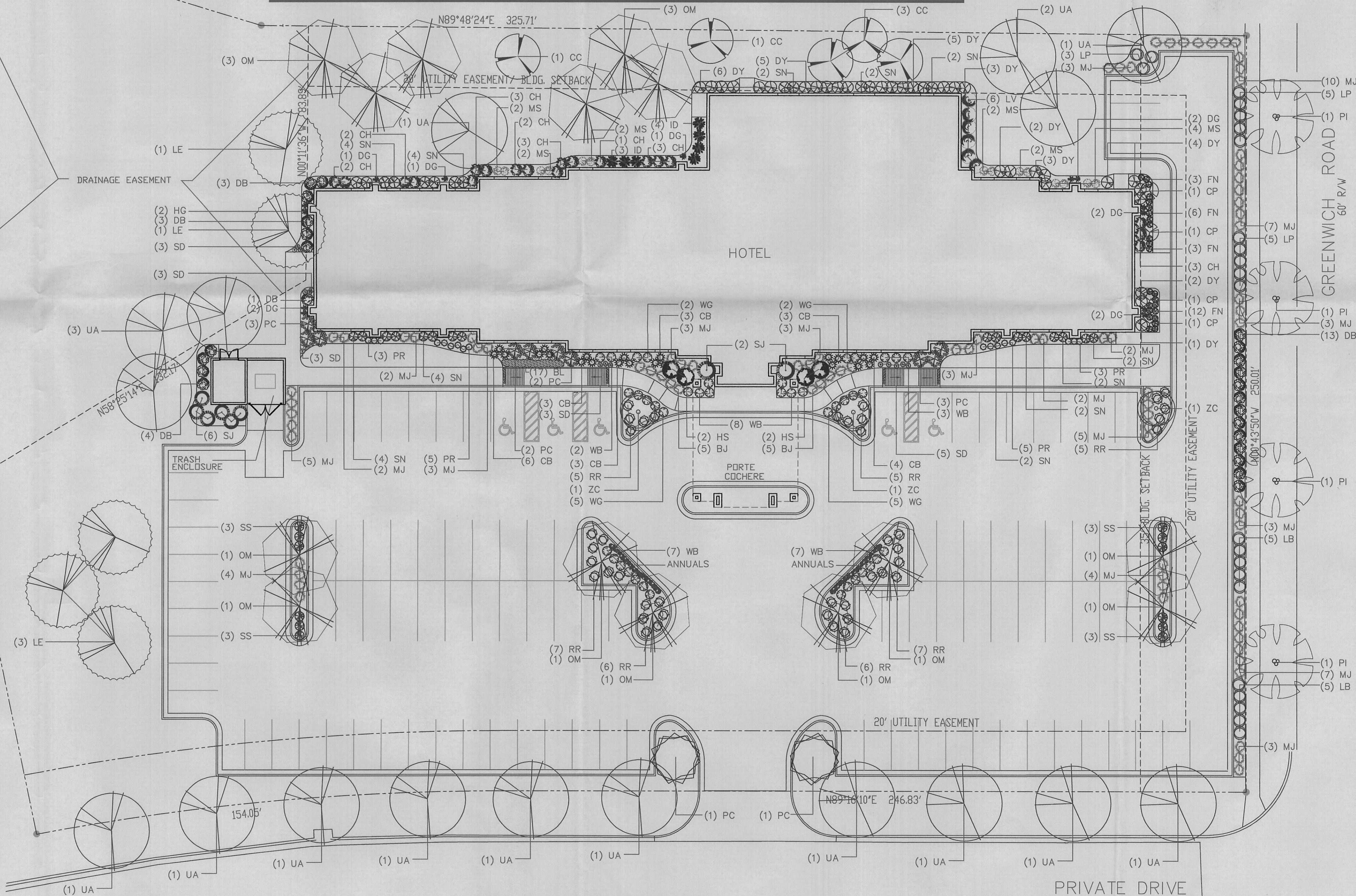
PARKING LOT SCREENING AND LANDSCAPING

102 = TOTAL NUMBER OF PARKING SPACES
20 = NUMBER OF PARKING SPACES PER TREE
6 = TOTAL PARKING LOT TREES REQUIRED
12 = TOTAL PARKING LOT SHADE TREES PROVIDED
3 = TOTAL PARKING LOT ORNAMENTAL TREES PROVIDED
CONTINUOUS PARKING LOT SCREEN REQUIRED
CONTINUOUS PARKING LOT SCREEN PROVIDED WITH SHRUBS
(1/2 OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

PERIMETER BUFFERS:
NOT REQUIRED

AVERAGE LOT DEPTH	SQ. FT. FACTOR
175' OR LESS	8 SF/LIN FT
175'-275'	10 SF/LIN FT
275'-375'	15 SF/LIN FT
375'+	20 SF/LIN FT

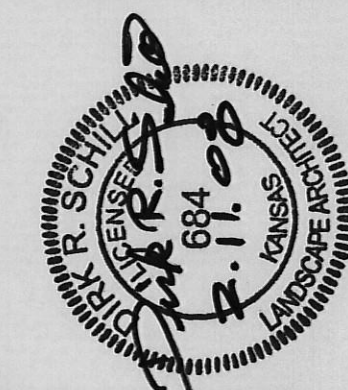
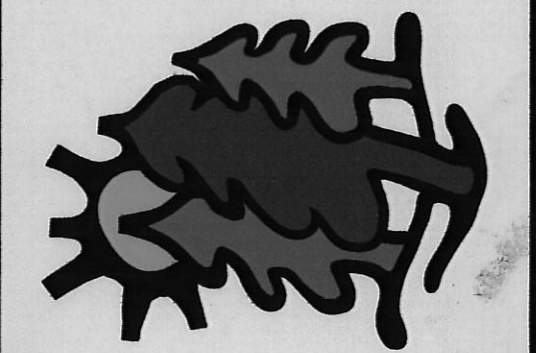
PLANT LIST					
QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
5	CC	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'	2" CAL	B&B
4	CP	CAPITAL PEAR	PRUS CALLERYANA 'CAPITAL'	2" CAL	B&B
5	LE	LACEBARK ELM	ULMUS PARVIFOLIA	2-1 1/2" CAL	B&B
14	OM	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2-1 1/2" CAL	B&B
2	PC	PRAIRIFIRE CRABAPPLE	MALUS X PRAIRIFIRE	2" CAL	B&B
4	PI	CHINESE PISTACHE	PISTACIA CHINENSIS	2-1 1/2" CAL	B&B
8	SJ	SPARTAN JUNIPER	JUNIPERUS X CHINENSIS 'SPARTAN'	6-7'	B&B
17	UA	URBANITE ASH	FRAXINUS PENNSYLVANICA 'URBANITE'	2-1 1/2" CAL	B&B
3	ZC	ZUMI CRABAPPLE	MALUS X ZUMI	2" CAL	B&B
10	BJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL	CONT.
22	CB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	3 GAL	CONT.
19	CH	CHINA GIRL HOLLY	ILEX X 'CHINA GIRL'	5 GAL	CONT.
24	DB	DWARF BURNING BUSH	EUONYMUS ALATUS	5 GAL	CONT.
13	DG	DWARF HAMELIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELIN'	3 GAL	CONT.
31	DY	DENSIFORMIS YEW	TAXUS MEDIA 'DENSIFORMIS'	5 GAL	CONT.
24	FN	FIRE POWER NANDINA	NANDINA DOMESTICA 'FIRE POWER'	3 GAL	CONT.
4	HS	HELENE ROSE OF SHARON	HIBISCUS SYRIACUS 'HELENE'	5 GAL	CONT.
7	ID	IVORY HALO DOGWOOD	CORNUS ALBA 'BALHALO'	5 GAL	CONT.
23	LP	LOWBOY PYRACANTHA	PYRACANTHA COCCINEA 'LOWBOY'	5 GAL	CONT.
6	LV	ALLEGHANY LEATHERLEAF VIBURNUM	VIBURNUM RHYTIDOPHLOIDES 'ALLEGHANY'	5 GAL	CONT.
74	MJ	MINT JULEP JUNIPER	JUNIPERUS CHINENSIS 'MINT JULEP'	5 GAL	CONT.
14	MS	MAGIC CARPET SPIREA	SPIRAEA JAPONICA 'MAGIC CARPET'	5 GAL	CONT.
16	PC	PINK RUFFLES CRAPEMYRTLE	LAGERSTROEMIA INDICA 'PINK RUFFLES'	5 GAL	CONT.
36	PR	PINK FLOWER CARPET ROSE	ROSA X NOARE 'PINK FLOWER'	2 GAL	CONT.
30	RR	RED FLOWER CARPET ROSE	ROSA 'NOARE' RED FLOWER CARPET	2 GAL	CONT.
12	SS	SIENNA SUNRISE NANDINA	NANDINA DOMESTICA 'MONFAR'	5 GAL	CONT.
41	WB	LITTLE HENRY SWEETSPICE	ITEA VIRGINICA 'SPRICH'	5 GAL	CONT.
		WINTER GEM BOXWOOD	BUXUS MYCROPHYLLO 'WINTER GEM'	5 GAL	CONT.
17	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	CONT.
17	SD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	1 GAL	CONT.



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

TREE TOP
NURSERY & LANDSCAPING, INC.

5910 E. 37th NORTH
WICHITA, KS 67220
TEL 316.686.7491
FAX 316.686.9625



HAMPTON INN & SUITES
DP-234 Parcel 7
LANDSCAPE PLAN

2433 NORTH GREENWICH ROAD
WICHITA, KANSAS

LANDSCAPE PLAN
02-22-08 BY 25
Marp Copy 1 of 2

DRAWN BY: DRS		
DATE: 2.08.08		
NO.	REVISION	DATE
SHEET: L1		

RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN

1. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
2. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF THE PLANT MATERIAL, IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE, I.E. ADDITION OF LIME, GYPSUM, ETC.
3. REESTABLISH TURF IN ALL THE AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
4. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMAN'S "AMERICAN STANDARD OF NURSERY STOCK". OWNER RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH IN THEIR OWN OPINION FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
5. PLANTS DESIGNATED CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE ROOT-PRUNED THROUGH THE USE OF A VERTICAL SUCING METHOD PRIOR TO PLANTING.
6. WRAP ALL TREE TRUNKS SPIRALLY WITH APPROVED WRAPPING MATERIAL FROM GROUND TO THE FIRST BRANCH. SECURELY WRAP THE WRAPPING AT THE TOP AND BOTTOM WITH MASKING TAPE. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING IN THE MANNER SHOWN ON TREE PLANTING DETAIL.
7. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS.
8. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
9. GUARANTEE ALL SEED AREAS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
10. GUARANTEE TREES AND SHRUBS FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNDESIRABLE IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR. PLANTS USED FOR THE REPLACEMENT SHALL BE OF THE SAME VARIETY AND SIZE AS ORIGINALLY SPECIFIED IN THE PLANT SCHEDULE. REPLACEMENTS SHALL BE MADE WITHIN TWO DAYS OF REQUEST PENDING FAVORABLE SEASONAL PLANTING TIMES.
11. GUARANTEE EACH TREE SHALL BE ENFORCED SHOULD THE PLANT MATERIAL DIE DUE TO VANDALISM, OVER OR UNDER WATERING BY THE OWNER, IMPROPER MAINTENANCE PROCEDURES CARRIED OUT BY THE OWNER INVOLVING LAWN MOWER DAMAGE, OVER FERTILIZATION, OR UTILIZATION OF FACTS NOT RELATED TO CONTRACTUAL RESPONSIBILITIES OF CONTRACTOR OF SIMILAR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.
12. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATED DURING OR AS A RESULT OF PLANTING OPERATIONS EACH DAY.
13. AT THE COMPLETION OF PLANTING OPERATIONS, ALL PLANTS SHALL BE INSPECTED BY THE OWNER. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.
14. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND REMOVE ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER FINAL ACCEPTANCE.
15. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT APPROVAL.
16. ANY PLANTING BED ADJACENT TO WALKS OR CURBING SHALL HAVE THE GRADE TO A SUFFICIENT DEPTH TO ALLOW TOP OF THE MULCH TO MATCH THE TOP OF WALK OR CURBING.
17. FERTILIZER WITH MILORGANITE, DISTRIBUTED UNIFORMLY AT THE RATE OF 1000 POUNDS PER ACRE.
18. PRIOR TO SEEDING, MOW, GRUB RAKE ALL VEGETATION WHICH MIGHT INTERFERE AND REMOVE ALL DEBRIS FROM THE SITE. THOROUGHLY TILL AREA AFTER PREPARATION, TO A DEPTH OF AT LEAST 6 INCHES.
19. SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK.
20. LABEL AT LEAST 1 TREE, 1 SHRUB, AND 1 GROUND COVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.
21. PLANT TREES, SHRUBS AND GROUND COVERS DURING NORMAL SEASON FOR SUCH WORK. DO NOT PLANT IN FROZEN GROUND.
22. MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE BY OWNER. MAINTENANCE CONSISTS OF SPRAYING PRUNING, WATERING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. REMOVE AND REPLACE PLANT MATERIAL FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION.

THE IRRIGATION SYSTEM TO BE PROVIDED BY THE GENERAL CONTRACTOR. THE SYSTEM IS TO COVER THE ENTIRE PLANTED AREA AS SHOWN ON PLAN.

PLANS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

UNBIDDABLES SHALL INCLUDE IRRIGATION DESIGN DRAWINGS AND MANUFACTURER'S TECHNICAL DATA SUFFICIENT TO EXHIBIT THE CONTRACTOR'S TENDED SYSTEM DESIGN. PLANS SHALL BE TO SCALE AND WELL DRAWN. QUANTITIES AND TYPES OF HEADS, VALVES AND CONTROLLER SHALL BE LISTED. SUBMIT PROJECT RECORD (AS BUILT) DRAWINGS PROVIDING A PERMANENT RECORD OF THIS WORK AT COMPLETION OF THE PROJECT.

THE IRRIGATION CONTRACTOR SHALL COORDINATE WORK WITH THE ELECTRICAL CONTRACTOR.

VERIFY EXISTING STATIC PRESSURE PRIOR TO DESIGNING THE SYSTEM. THE CITY WATER SUPPLY WILL BE THE SOURCE OF WATER FOR THE SYSTEM.

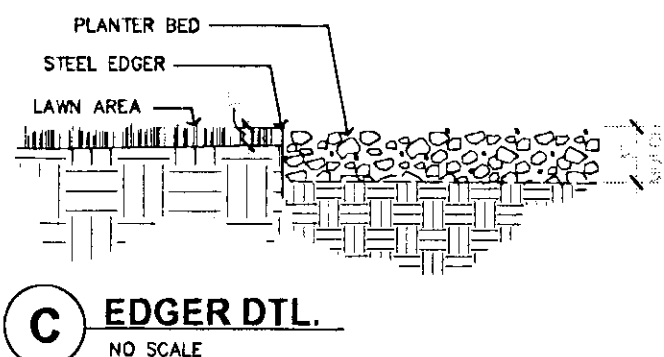
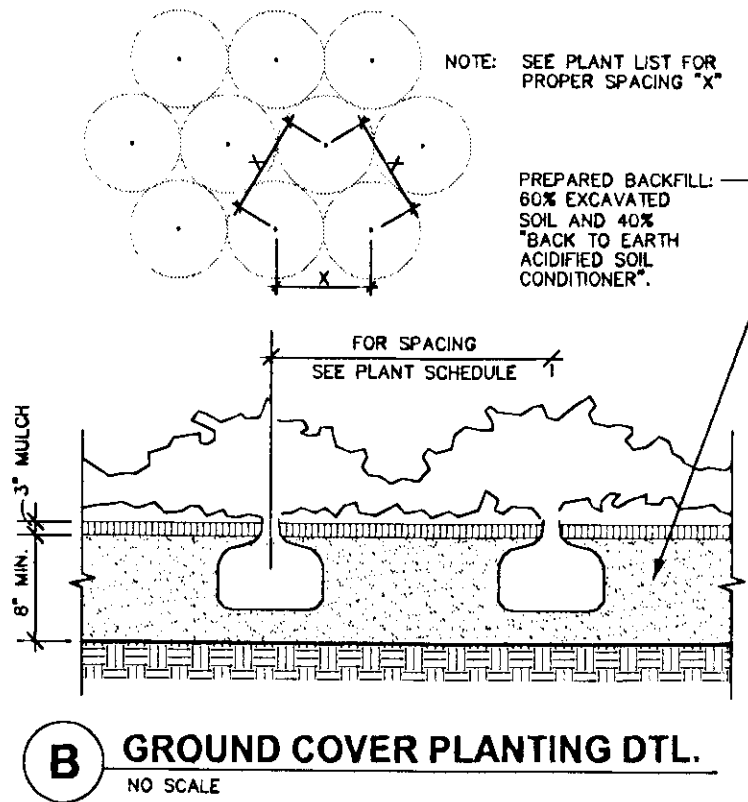
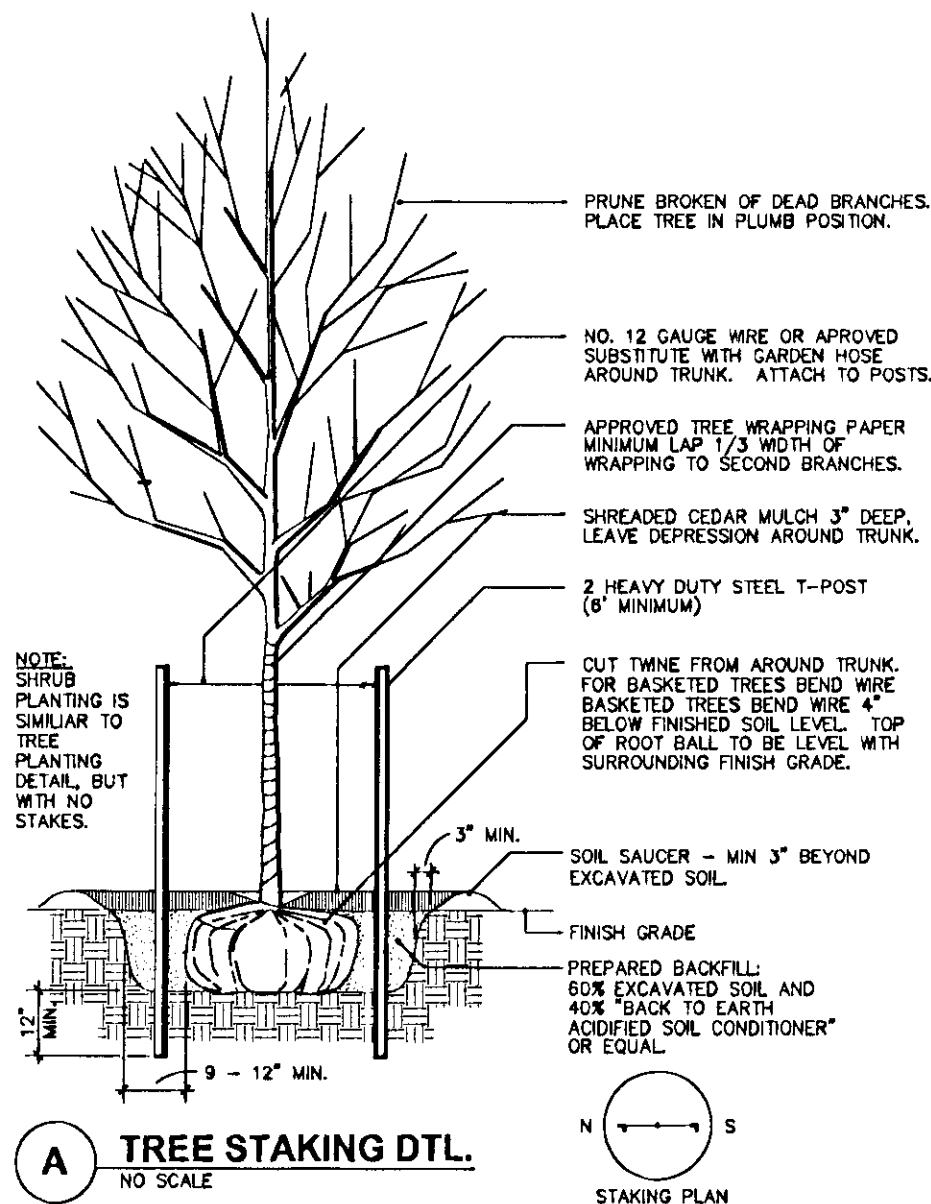
COORDINATE IRRIGATION SYSTEM INSTALLATION WITH LANDSCAPE WORK.

THE IRRIGATION SYSTEM IS TO BE DESIGNED WITH RAIN BIRD SPRINKLER MANUFACTURING CO. OR EQUAL PRODUCTS AND MATERIALS. OTHER MANUFACTURERS AS APPROVED BY ARCHITECT

COORDINATE LOCATION OF THE CONTROLLER WITH THE OWNER.

INSTALL BACKFLOW PREVENTER, SHUT OFF VALVE AND MANUAL DRAIN VALVE PER LOCAL PLUMBING CODES. PROVIDE PLASTIC TRUNCATED ENCLOSURE FOR THE BACKFLOW PREVENTER AS PROVIDED BY THE MANUFACTURER.

PROVISIONS SHALL BE MADE TO WINTERIZE THE PIPING SYSTEM.



1. LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING KANSAS ONE-CALL CENTER. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
6. SEED TYPE SHALL BE LOCALLY AVAILABLE HARDY BLEND OF TALL FESCUE. SOW AT RATE SPECIFIED BY SEED PRODUCER.
7. SOD TYPE SHALL BE A KANSAS GROWN TALL FESCUE BLEND.
8. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
9. REESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
10. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
11. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
12. CULTIVATE GROUND COVER PLANTING BEDS TO DEPTH OF 8". TILL COMPOST AND WELL-ROTTED MANURE INTO THE PLANTING BEDS AT THE APPROXIMATE RATIO OF ONE (1) PART COMPOST/MANURE TO THREE (3) PARTS SOIL.
13. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP, FASTENER, AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
14. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
15. PLANT GROUND COVER/ANNUALS WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENT SHALL BE TRIANGULAR, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
16. STEEL EDGER BY "PROSTEEL, INC.". EDGER TO BE 10 GAUGE (1/8" x 4" HIGH) AND PAINTED GREEN. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. TOP OF EDGER TO ALIGN WITH SIDEWALK/CURB WHERE OCCURS. GRADE TO BE 1: BELOW TOP OF EDGER ON LAWN SIDE. REFER TO EDGER DETAIL.
17. USE SHREDDED CEDAR WOOD MULCH IN ALL PLANTING BEDS. LANDSCAPE CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL.
18. PLACE 4" OF MULCH IN ALL TREE SAUCERS. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.
19. TREAT PLANTING BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
20. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
21. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
22. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.

A TRACT OF LAND IN REGENCY LAKES COMMERCIAL 2ND ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS; MORE PARTICULARLY DESCRIBED AS THE NORTH 26.63 FEET OF LOT 2, BLOCK 1, REGENCY LAKES COMMERCIAL 2ND ADDITION; TOGETHER WITH THE SOUTH 86.37 FEET OF LOT 3, BLOCK 1, REGENCY LAKES COMMERCIAL 2ND ADDITION.

REQUIRED - 'SUBWAY' RESTAURANT:
PARKING (1) SPACE / 3 SEATS
 $72 \div 3 = 24$ SPACES

PARKING - 23 SPACES
PROVIDED $\underline{+ 1}$ HANDICAPPED SPACES
24 TOTAL SPACES

LANDSCAPED STREET YARD REQUIRED:

Landscaped Street Yard Required:
113 Total feet of frontage
 $\times 1.30$ Req'd square foot factor
1,130 Total sq. ft. req'd

Landscaped Street Yard Provided:
1,600 Total sq. ft.

Shade Trees Required:
 $1,130 \div 500 = 2.3$ or say 3 trees req'd

Shade Trees Provided:
2 shade tree + 10 shrubs

BUFFERS REQUIRED
No Buffers Required

PARKING LOT SCREENING AND LANDSCAPING
Parking lot is screened w/shrubs

Parking Lot Trees Required
24 Total stalls
 $\div 20$ (one tree per 20 spaces)
1.2 or say 2 tree req'd.

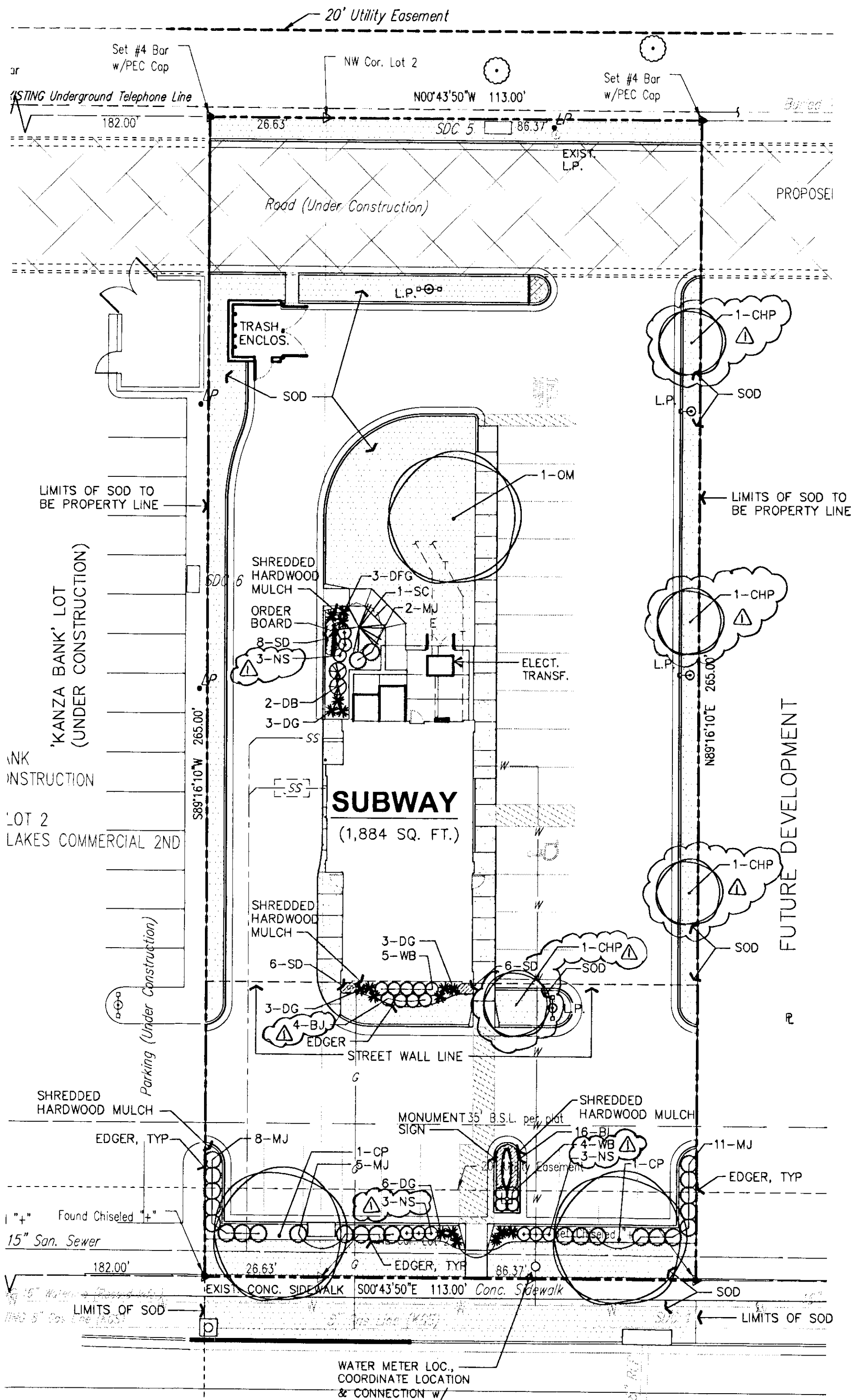
(One-half of the req'd. street yard trees may be used to fulfill parking lot tree requirement)

Parking Lot Trees Provided:
1 Shade Tree + 1 Street Yard Tree = 2

SOD

PERENNIALS

QTY.	ABBR.	COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
		<u>SHADE TREE</u>				
4	CHP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	3" CAL.	B & B	
2	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CAL.	B & B	
1	OM	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	3" CAL.	B & B	
		<u>ORNAMENTAL TREE</u>				
1	SC	SARGENT CRABAPPLE	MALUS SARGENTII	2" CAL.	B & B	
		<u>DECIDUOUS SHRUB</u>				
2	DB	DWARF BURNING BUSH	EUONYMUS ALATUS	5 GAL.	CONT	
9	NS	NORMAN SPIREA	SPIREA BUMALDA 'NORMAN'	5 GAL.	CONT	
		<u>EVERGREEN SHRUB</u>				
4	BJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	CONT	
25	WJ	MINT JULEP JUNIPER	JUNIPERUS HORIZONTALIS 'WILTON'	5 GAL.	CONT	
9	WB	WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	5 GAL.	CONT	
		<u>ORNAMENTAL GRASSES</u>				
15	DG	DWARF HAMELN GRASS	PENNISETUM ALOPECUROIDES	3 GAL.	CONT	
16	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL.	CONT	SPACE 18" O.C.
		<u>PERENNIAL FLOWERS</u>				
20	SD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO	1 GAL.	CONT	SPACE 18" O.C.


$$1'' = 20'-0''$$


DAN WINTER
ARCHITECT

1024 EAST
FIRST STREET
WICHITA, KS. 67214
PH 316-267-7112

PLANTING PLAN

DATE:
DEC. 19, 2008

SHEET NO.
LS-1

APPROVED 06-02-11 BY DS
SHEET 1 of 2
MADP Copy 1 of 2

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WICHITA KANSAS

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411 N. WOOD AVE.
WILMINGTON, DE. 19804
302.638.1100

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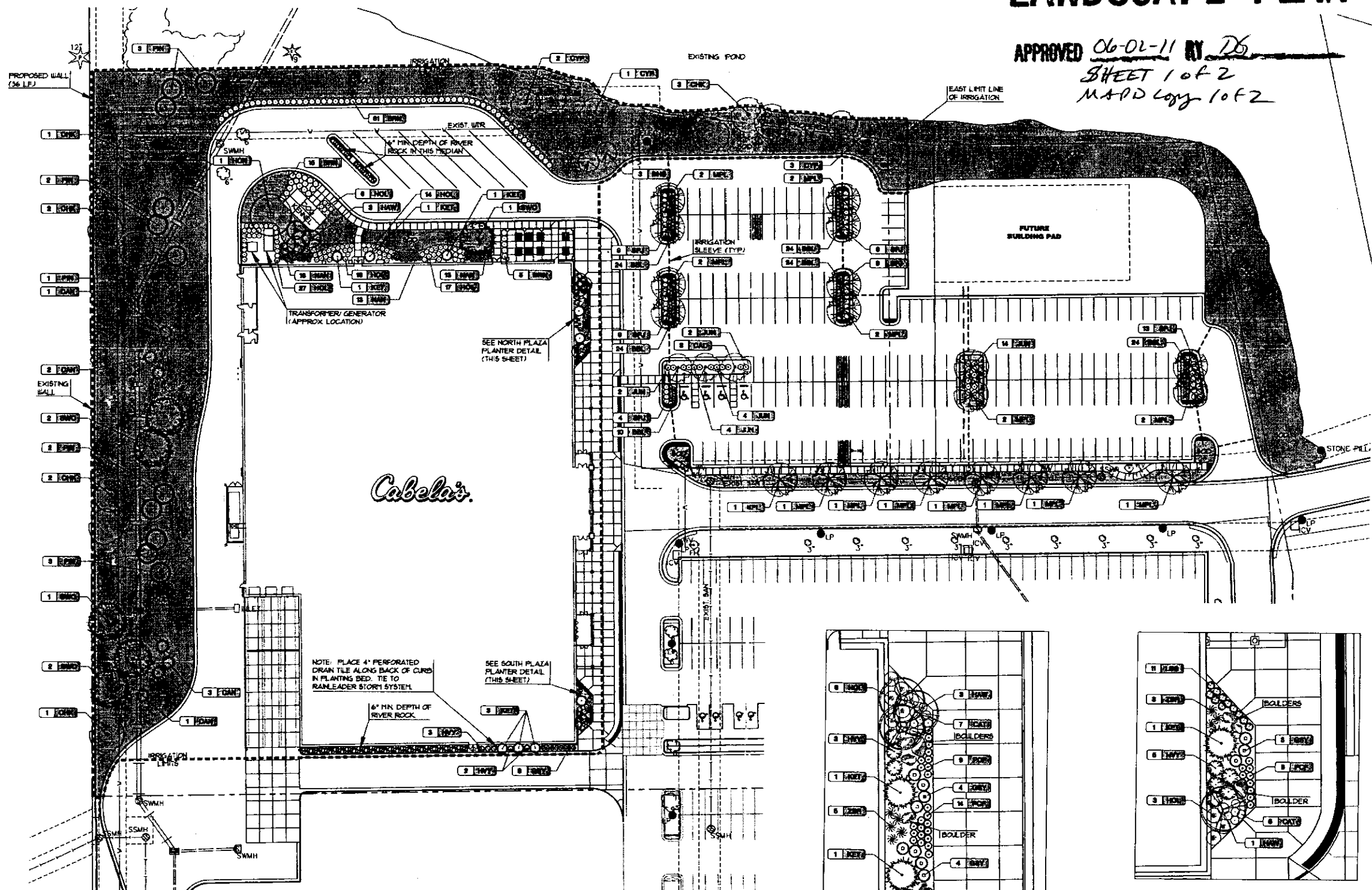
Revisions:

Drawing Set
LANDSCAPE PLAN

Drawing Type:
Drawn By: MKEC
Date: May 18, 2011
Sheet Number:

LA1.0

Print Date: Thu 12 May 2011



SCALE: 1" = 30'-0"

SCALE: 1" = 30'-0"

TURF GRASS

IRRIGATION LIMITS

NOTE: SEE IRRIGATION PLANS FOR PROPOSED SLEEVE LOCATIONS WITHIN THE IRRIGATION LIMITS.

SCALE: 1" = 10'-0"

NOTE: PLACE 4" PERFORATED DRAIN TILE ALONG PERIMETER
OF PLANTER. TIE TO RAINLEADER STORM SYSTEM.

NOTE: THIS PLANTING BED TO RECEIVE 6" MIN. DEPTH OF RIVER ROCK (NOT HARDWOOD MULCH). SUBMIT RIVER ROCK SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

SCALE: 1" = 10'-0"

NOTE: PLACE 4" PERFORATED DRAIN TILE ALONG PERIMETER OF PLANTER. TIE TO RAINLEADER STORM SYSTEM.

NOTE: THIS PLANTING BED TO RECEIVE 6" MIN. DEPTH OF RIVER ROCK (NOT HARDWOOD MULCH). SUBMIT RIVER ROCK SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

Print Date: Thu 12 May 2011

DP-234 PARCEL 11 C
LANDSCAPE PLAN

APPROVED 06-02-11 BY DS
SHEET 2 of 2
MARD COPY 1 of 2

GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.
2. LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL. UTILITIES CAN BE FLAGGED BY CALLING 811 OR 1-800-344-7233, OR ONLINE AT www.kshome.com. DAMAGE TO UTILITIES SHALL BE AVOIDED DURING THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
3. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATED ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.
4. ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.
5. PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
6. MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).
7. MULCH ADJACENT TO BUILDINGS SHALL BE SIX (6) INCHES LOWER THAN BUILDING FRESH FLOOR ELEVATION.
8. PLANTING SOIL AMENDMENTS FOR ALL BED AREAS SHALL BE THOROUGHLY MIXED INTO PLANTING BACKFILL TOPSOIL.
9. ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TRIFLURAL OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NO DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
10. INSTALL 3" MIN. DEPTH FINE-SHREDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 3' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. SUBMIT 1 CUP SAMPLE FOR APPROVAL. PULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.
11. IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRI-GATOR® BLOW-DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM, THEN BY SOODING AND SEEDING (IF APPLICABLE).
12. RESCUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 1ST AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.
13. AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE: SOD: RESCUE/BLUE TURF MIXTURE, OBTAINABLE FROM CRANFORD GRASS FARM, INC., 601 N. 18TH PLAZA, KANSAS 67101 PH: (316) 722-1230.
14. ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SOODBED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1000 SF. AT TIME OF PLANTING.

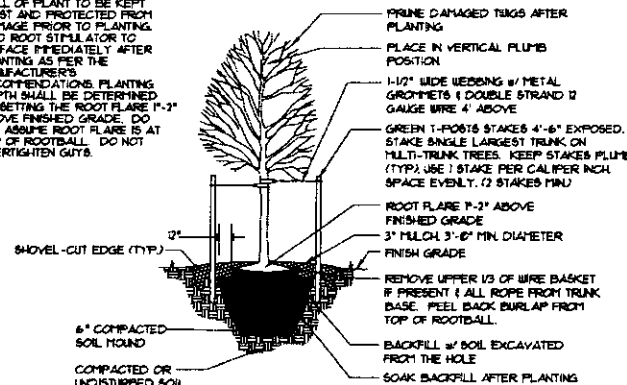
15. COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.
16. ALL PLANTS SHALL CONFORM TO ANSI Z601 FOR SIZE AND QUALITY STANDARDS.
17. LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.
18. SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.
19. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.
20. STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
21. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.
22. ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.
23. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING (INCLUDING WATERING AND MOWING) SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS IS GIVEN. READY, THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SOODBED AREAS BY THE OWNER'S REPRESENTATIVE.
24. TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF TWENTY-FOUR INCHES (24") DEPTH.

PLANT SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & METHOD OF HANDLING	NOTES
HON	1	SHADEMASTER HONEYLOCUST	GLADSTON THACANTHOS 'SHADEMASTER'	25' CAL / B&B	
CAL	3	GALLERY PEAR	PIRUS CALLERYANA	25' CAL / B&B	
CYP	6	SHAWNEE BRAVE BALDCTYPRESS	TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	25' CAL / B&B	
B&O	6	SWAMP WHITE OAK	QUERCUS BICOLOR	33' CAL / B&B	
OK	5	CHICKADEE OAK	QUERCUS MUEHLBERGII	25' CAL / B&B	
MAP	20	LEGACY SUGAR MAPLE	ACER SACCHARINUM 'LEGACY'	25' CAL / B&B	
H&B	8	RUSSIAN HAWTHORN	CRATAEGUS ARFEXIA	8'-10' HT. / B&B	CLIFF
B&S	3	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6'-8' HT. / B&B	
KET	5	KETELEER JUNIPER	JUNIPERUS CHINENSIS 'KETELEER'	6'-8' HT. / B&B	
PN	3	PRINCE OF WALES JUNIPER	JUNIPERUS COMMUNIS 'PRINCE OF WALES'	6'-8' HT. / B&B	
CAN	1	CANAERT JUNIPER	JUNIPERUS VIRGINIANA 'CANAERT'	6'-8' HT. / B&B	
BRN	8	BURNING BUSH	LYONTHUS ALATUS 'COMPACTUS'	3 GAL	
GSY	15	GOLDEN SWORD YUCCA	YUCCA FLAMENTOSA 'GOLDEN SWORD'	2 GAL	
HOL	5	HOLLYHOCK SHARPROCK HOLLY	ILEX GLABRA 'SHARPROCK'	3 GAL	
NAN	45	NANDINA	NANDINA DOMESTICA 'GULF STREAM'	2 GAL	
SPJ	55	SPREADING JUNCUS	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	2 GAL	
JUN	26	SEA GREEN JUNCUS	JUNIPERUS CHINENSIS 'SEA GREEN'	3 GAL	
HYT	3	HEAVY METAL BUTCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	3 GAL	
ZBR	15	ZEBRA GRASS	POGONCHLOA TENAXIS 'ZEBRA'	3 GAL	
LDB	75	LITTLE BLUESTEM	SCORPACANTHUS SCOPARIUM	1 GAL	
CAT	15	WALKER'S LOW CATPANT	HEPETA x PAASONI 'WALKER'S LOW'	1 GAL	
BL	150	BLUE BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	
PCF	30	PURPLE CONFLOWER	ECHINACEA PURPUREA	1 GAL	
SOD	840 ST	RESCUE KANSAS PREMIUM BLEND RESCUE			

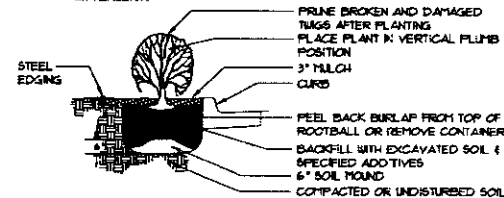
NOTES:

BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH SHALL BE DETERMINED BY BETTING THE ROOT FLARE 1"-2" ABOVE FINISHED GRADE. DO NOT ASSUME ROOT FLARE IS AT TOP OF ROOTBALL. DO NOT OVERTIGHTEN GUY.

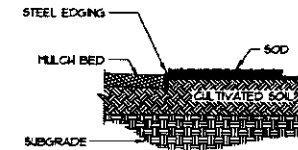


NOTES:

BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY.

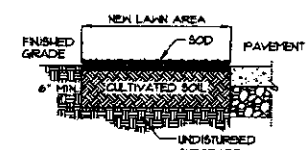


SHRUB PLANTING DETAIL
NOT TO SCALE



EDGING DETAIL
NOT TO SCALE

- SOD INSTALLATION NOTES:**
1. FINISHED GRADES SHALL BE ACCURATE.
 2. CULTIVATE ENTIRE AREA TO A MINIMUM 4" DEPTH. EXCEPTIONS TO AREAS MAY BE MADE IF TREE ROOTS ARE ENCOUNTERED WITHIN THE DRIP LINE OF EXISTING TREES. HAND RAKE SMOOTH.
 3. ADD ADDITIVES AND TILL INTO SOIL.
 4. LAY AND ROLL SOD. WATER THOROUGHLY.
 5. STAGGER JOINTS AND BUTT JOINTS TOGETHER TIGHTLY.
 6. STAKE SOD ON SLOPES 4:1 OR STEEPER.



SOD INSTALLATION
NOT TO SCALE

Cabello's
CABELLO'S RETAIL, INCORPORATED
WICHITA

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Revisions:

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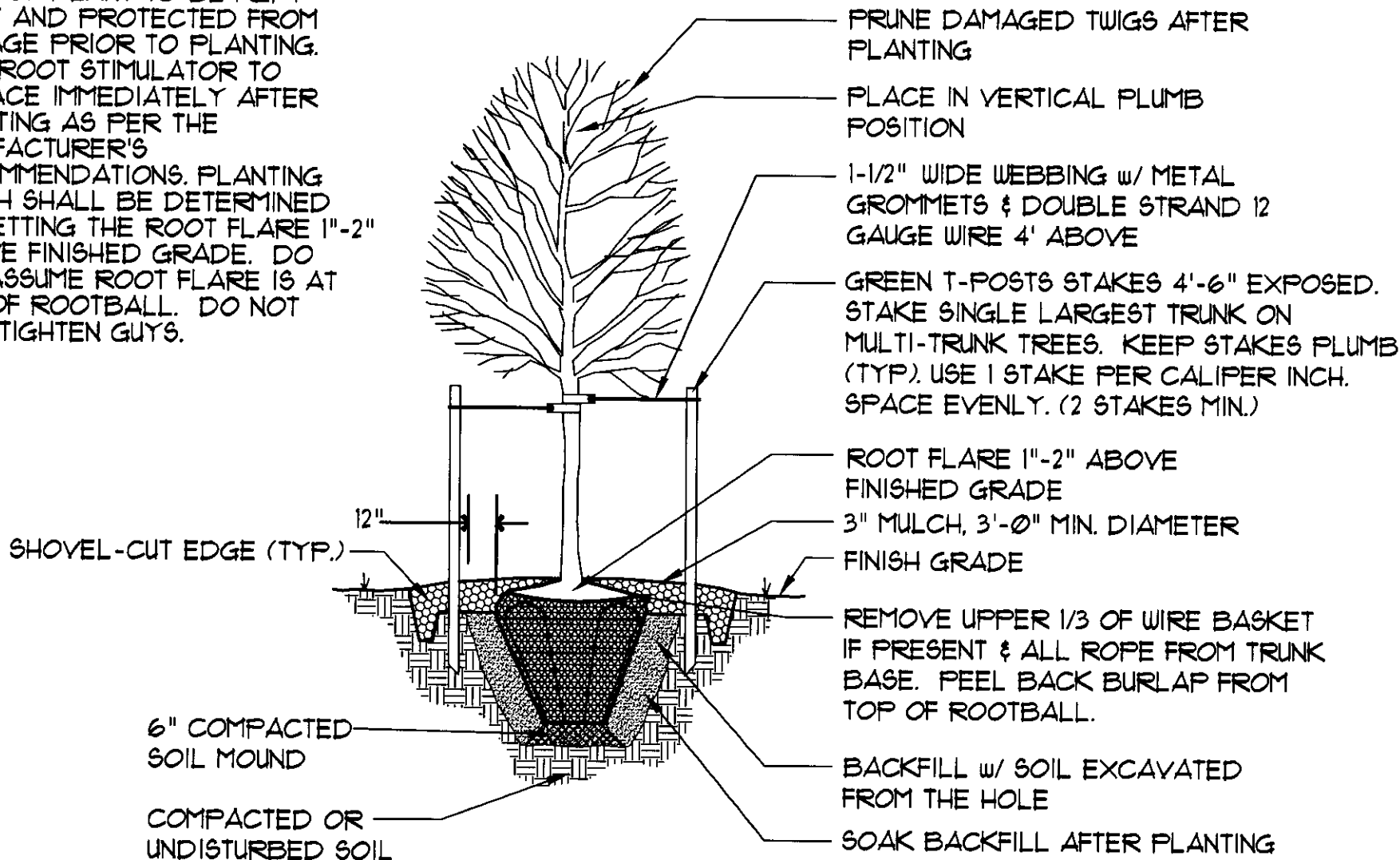
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SHEET 1 of 2
MAPD copy 1 of 2

GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.
2. LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL. UTILITIES CAN BE FLAGGED BY CALLING 811, OR 1-800-344-1233, OR ONLINE AT www.kansasonecall.com. DAMAGE TO UTILITIES SHALL BE AVOIDED DURING THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
3. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATED ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.
4. ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.
5. PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
6. MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).
7. MULCH ADJACENT TO BUILDINGS SHALL BE SIX (6) INCHES LOWER THAN BUILDING FINISH FLOOR ELEVATION.
8. PLANTING SOIL AMENDMENTS FOR ALL BED AREAS SHALL BE THOROUGHLY MIXED INTO PLANTING BACKFILL TOPSOIL.
9. ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NO DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
10. INSTALL 3" MIN. DEPTH FINE-SHREDDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 3' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. SUBMIT 1 CU/FT SAMPLE FOR APPROVAL. FULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.
11. IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRIGATOR SLOW DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM, THEN BY SODDING AND SEEDING (IF APPLICABLE).
12. FESCUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 1ST AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.
13. AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE:
SOD:
FESCUE/BLUE TURF MIXTURE, OBTAINABLE FROM CRANMER GRASS FARM, INC., 6121 N. 119TH, MAIZE, KANSAS 67110, PH# (316) 722-1230.
14. ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SODDED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1000 SF. AT TIME OF PLANTING.

NOTES:

BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH SHALL BE DETERMINED BY SETTING THE ROOT FLARE 1"-2" ABOVE FINISHED GRADE. DO NOT ASSUME ROOT FLARE IS AT TOP OF ROOTBALL. DO NOT OVERTIGHTEN GUYS.



TREE PLANTING DETAIL

NOT TO SCALE

15. COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.

16. ALL PLANTS SHALL CONFORM TO ANSI Z60.1 FOR SIZE AND QUALITY STANDARDS.

17. LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.

18. SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.

19. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL; FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.

20. STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.

21. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.

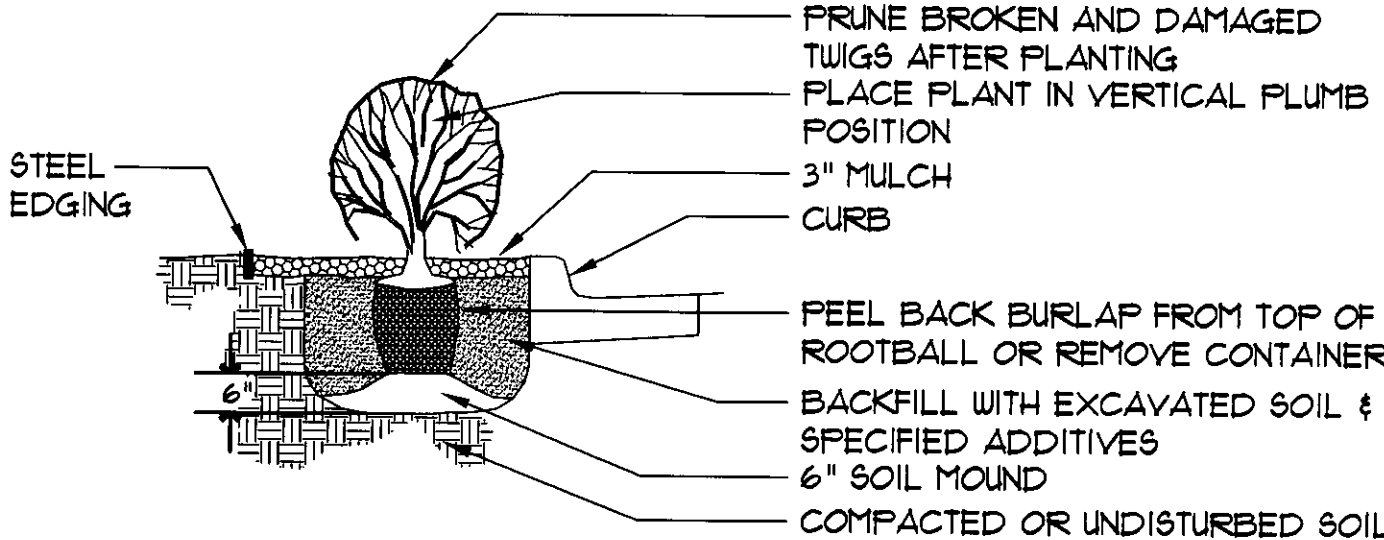
22. ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.

23. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, (INCLUDING WATERING AND MOWING), SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS. WHEN READY, THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SODDED AREAS BY THE OWNER'S REPRESENTATIVE.

24. TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF TWENTY-FOUR INCHES (24") DEPTH.

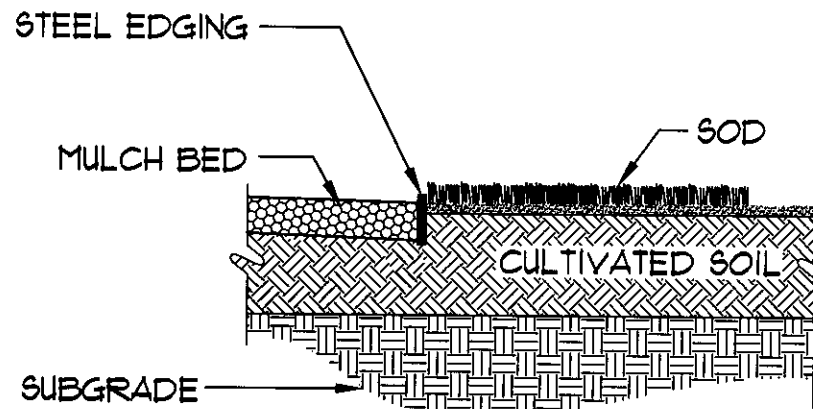
NOTES:

BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY.



SHRUB PLANTING DETAIL

NOT TO SCALE

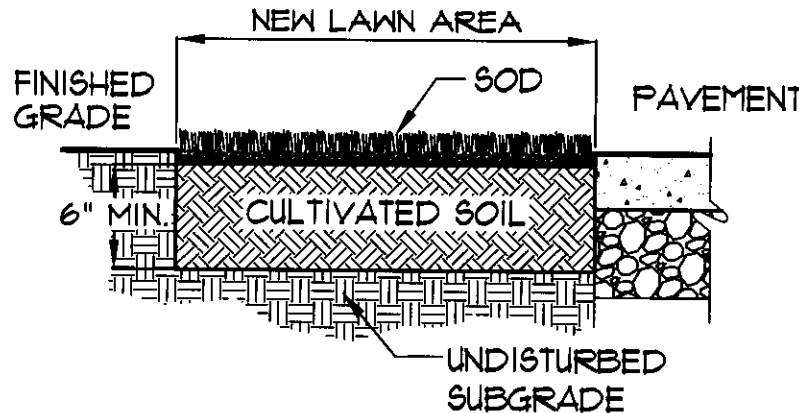


EDGING DETAIL

NOT TO SCALE

SOD INSTALLATION NOTES:

1. FINISHED GRADES SHALL BE ACCURATE.
2. CULTIVATE ENTIRE AREA TO A MINIMUM 4" DEPTH. EXCEPTIONS TO AREAS MAY BE MADE IF TREE ROOTS ARE ENCOUNTERED WITHIN THE DRIPLINE OF EXISTING TREES. HAND RAKE SMOOTH.
3. ADD ADDITIVES AND TILL INTO SOIL.
4. LAY AND ROLL SOD. WATER THOROUGHLY.
5. STAGGER JOINTS AND BUTT JOINTS TOGETHER TIGHTLY.
6. STAKE SOD ON SLOPES 4:1 OR STEEPER.



SOD INSTALLATION

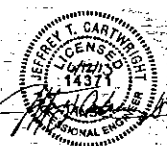
NOT TO SCALE

DP-234 PARCEL 11C
LANDSCAPE PLAN

APPROVED 06-13-11 BY 
SHEET 2 OF 2
MAPD Copy 1 of 2

PLANT SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & METHOD OF HANDLING	NOTES
DECIDUOUS SHADE TREES					
HON	1	'SHADEMASTER' HONEYLOCUST	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	25" CAL. / B#B	
CYP	6	'SHAWNEE BRAVE' BALDCYPRESS	TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	25" CAL. / B#B	
SWO	6	SWAMP WHITE OAK	QUERCUS BICOLOR	35" CAL. / B#B	
MFL	20	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	25" CAL. / B#B	
ORNAMENTAL TREES					
HAW	8	RUSSIAN HAWTHORN	CRATAEGUS AMBIGUA	8'-10' HT. / B#B	CLUMP
CAL	3	CALLERY PEAR	PYRUS CALLERYANA	25" CAL. / B#B	
CHK	9	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	25" CAL. /B#B	
EVERGREEN TREES					
BHS	3	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6'-8' HT. / B#B	
KET	9	'KETELEERI' JUNIFER	JUNIPERUS CHINENSIS 'KETELEERI'	6'-8' HT. / B#B	
PIN	11	PINYON PINE	PINUS EDULIS	6'-8' HT. / B#B	
CAN	1	CANAERTI JUNIFER	JUNIPERUS VIRGINIANA 'CANAERTI'	6'-8' HT. / B#B	
DECIDUOUS SHRUBS					
BRN	81	BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	3 GAL.	
EVERGREEN SHRUBS					
GSY	19	GOLDEN SWORD YUCCA	YUCCA FILAMENTOSA 'GOLDEN SWORD'	2 GAL.	
HOL	91	'INKBERRY' SHAMROCK HOLLY	IILEX GLABRA 'SHAMROCK'	3 GAL.	
NAN	45	NANDINA	NANDINA DOMESTICA 'GULF STREAM'	2 GAL.	
SPJ	53	SPREADING JUNIFER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	2 GAL.	
JUN	26	SEA GREEN JUNIFER	JUNIPERUS CHINENSIS 'SEA GREEN'	3 GAL.	
ORNAMENTAL GRASSES					
HVY	13	'HEAVY METAL' SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	3 GAL.	
ZBR	13	'GOLD BAR' ZEBRA GRASS	MISCANTHUS SINENSIS 'GOLD BAR'	3 GAL.	
LBS	25	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	1 GAL.	
PERENNIALS					
CAT	16	'WALKER'S LOW' CATMINT	NEPETA x FAASSENII 'WALKER'S LOW'	1 GAL.	
BBL	130	'BIG BLUE' LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL.	
PCF	32	PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 GAL.	
TURF GRASS					
SOD	9,045 SY	FESCUE: 'KANSAS PREMIUM BLEND FESCUE'			



00013
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PAVING PLAN

PROJECT NO. 1301010261

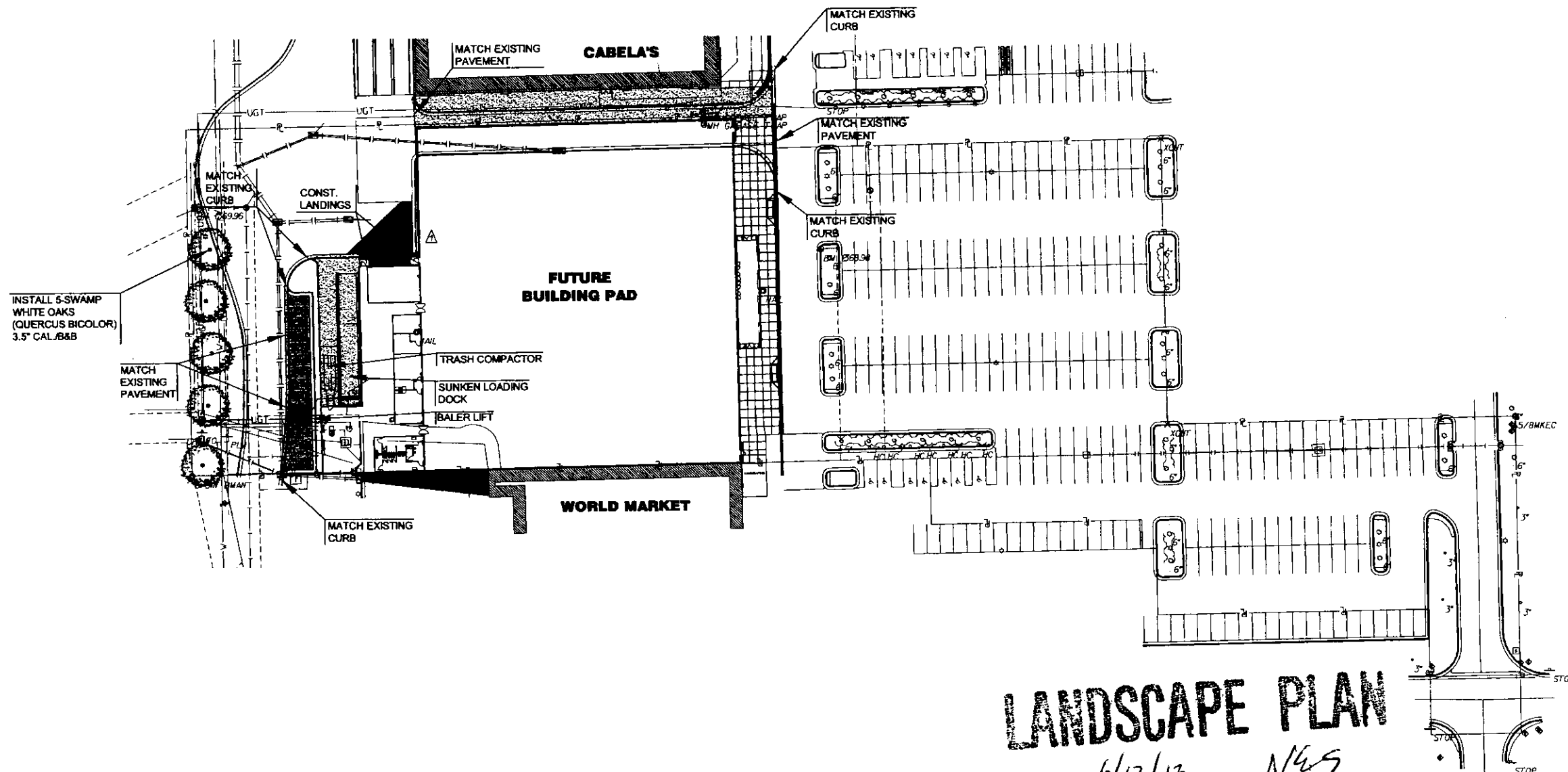
DATE MARCH 2013

SCALE 1" = 20'

DESIGNED JTC DRAWN JTC CHECKED JAG

1 OGI REVIEW 06/12/13
NO. REVISION DATE

SHEET NO.



LANDSCAPE PLAN

APPROVED 6/12/13 BY NCS
PP-234

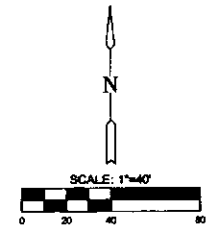
MAD copy 1 of 2

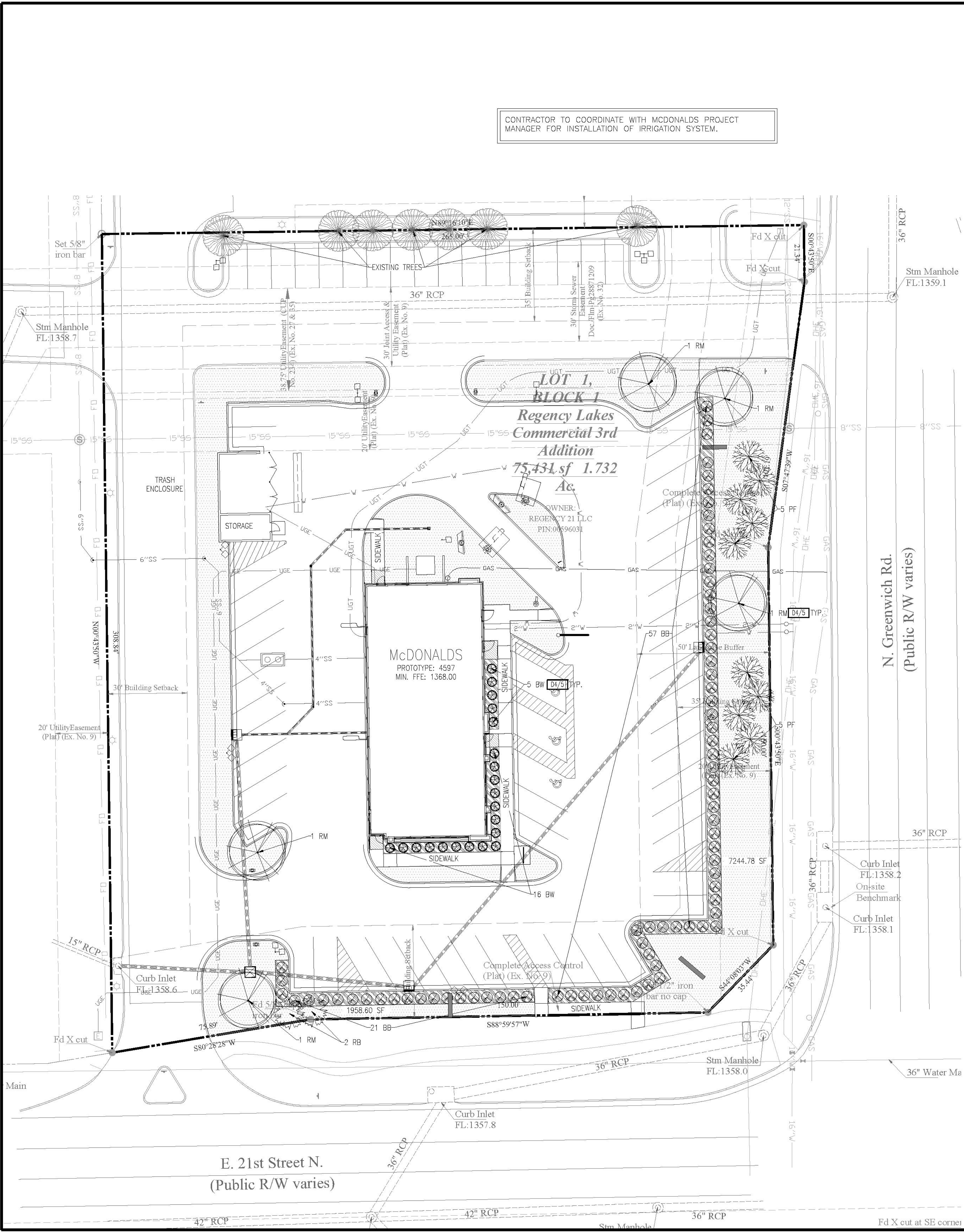
DISTANCE FROM BUILDING TO PROPERTY LINE
FRONT 26.22'
REAR 86.55'
LEFT 1.70'
RIGHT 0'

LEGEND

- 7" ASPHALT ON MODIFIED SUBGRADE
- 5.5" ASPHALT ON MODIFIED SUBGRADE
- 7" CONCRETE PAVEMENT
- ASPHALT OVERLAY (SURFACE COURSE)
- MILL & OVERLAY
- W WATERLINE
- SANITARY SEWER
- STORMWATER SEWER
- UGT UNDERGROUND TELEPHONE
- UCE UNDERGROUND ELECTRICAL
- C GAS LINE
- P PROPERTY LINE

NOTE: SEE GEOTECHNICAL REPORT PREPARED BY TERRACON FOR SUBGRADE ALTERNATIVES.
TERRACON PROJECT NO. 01135027



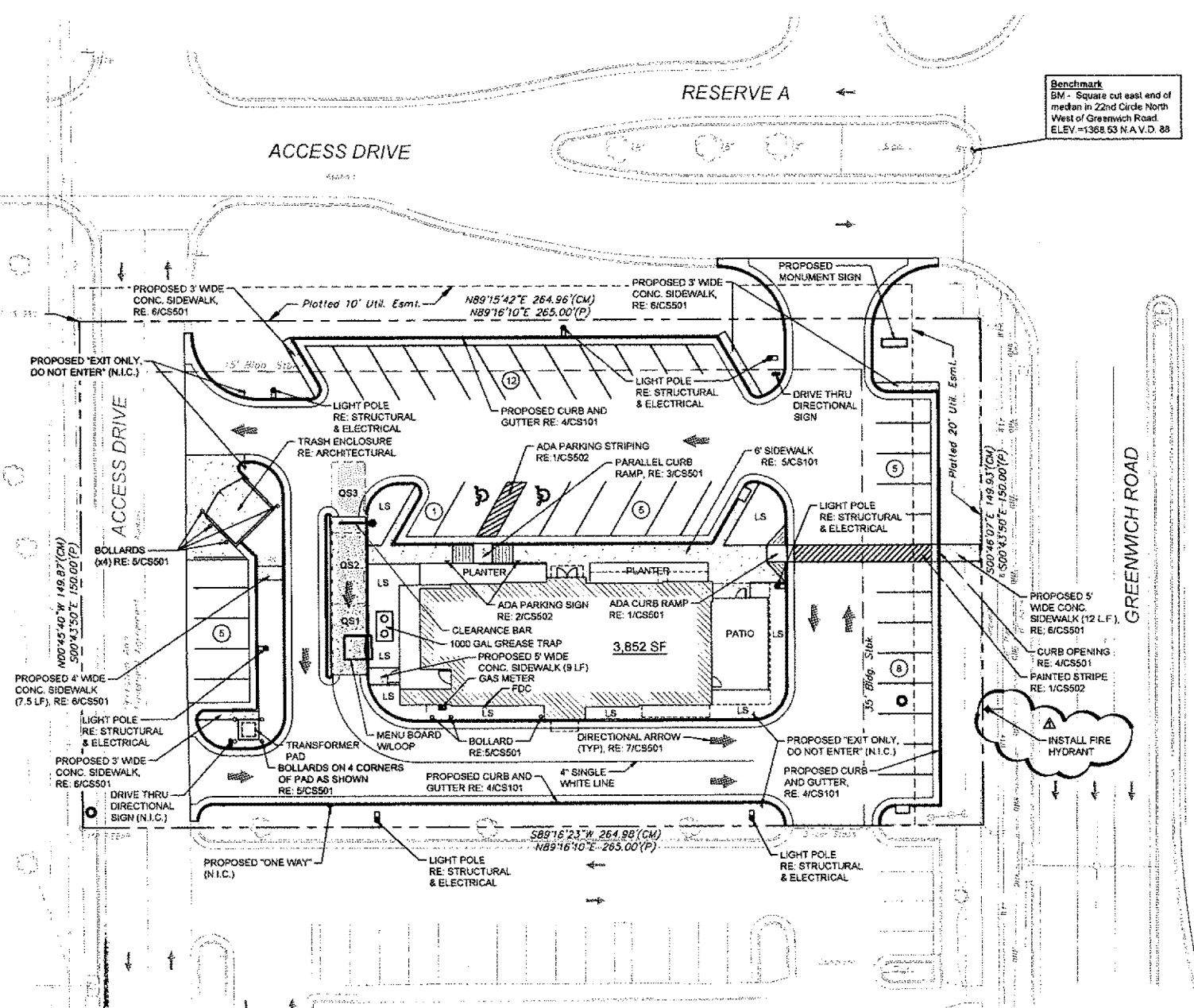


APPROVED

DP-234 Ped Cir Plan

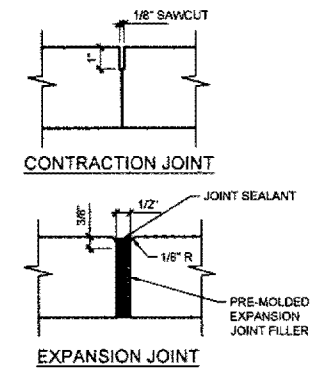
Date: 11-3-16

SK



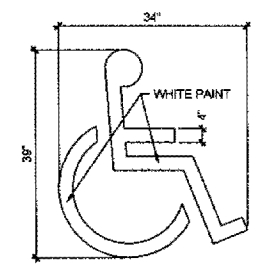
SITE CRITERIA

TOTAL FLOOR AREA	3,852 S.F.
LAND AREA	39,735 S.F. (0.912 ACRES)
FLOOR TO AREA RATIO (FAR)	.097
EXISTING IMPERVIOUS AREA	4,438 S.F. 11.16%
PROPOSED IMPERVIOUS AREA	28,096 S.F. 73.23%
PARKING (1/250 S.F.)	15
REGULAR SPACES REQUIRED	1
ACCESSIBLE SPACES REQUIRED	16
TOTAL SPACES REQUIRED	17
REGULAR SPACES PROVIDED	38
ACCESSIBLE SPACES PROVIDED	2
TOTAL SPACES PROVIDED	38



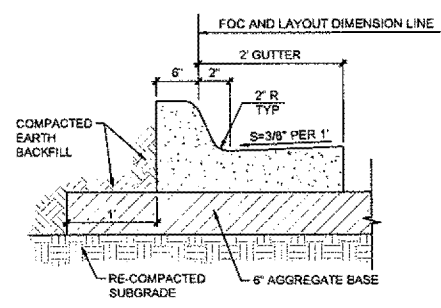
- NOTES:**
- CONTRACTION JOINTS SHALL BE PLACED EVERY 6' UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS SHALL BE PLACED EVERY 54' UNLESS OTHERWISE NOTED.

2 SIDEWALK JOINT DETAILS
SCALE: NOT TO SCALE

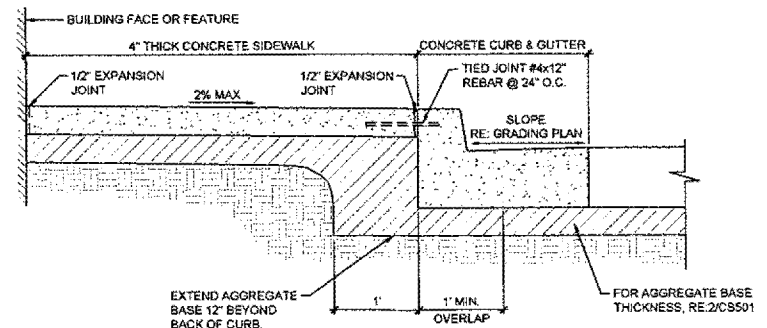


3 ADA PARKING DETAIL
SCALE: NOT TO SCALE

- LEGEND**
- LS LANDSCAPE AREA
 - QS QUEUING SPACE



4 CURB AND GUTTER DETAIL
SCALE: NOT TO SCALE



5 SIDEWALK DETAIL @ BUILDING
SCALE: NOT TO SCALE

SITE NOTES

- THE CONTRACTOR SHALL CONTACT "KANSAS ONE CALL" AT 316-687-2470 IN WICHITA OR 800-344-7233 IN KANSAS, THREE (3) WORKING DAYS BEFORE BEGINNING EXCAVATIONS, SO EXISTING UNDERGROUND UTILITIES MAY BE LOCATED.
- EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- THIS PROPERTY APPEARS TO BE LOCATED IN ZONE "X", "FLOOD HAZARD AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", PER FEMA F.I.R.M. COMMUNITY PANEL NO. 200328 0377 E, EFFECTIVE DATE: FEBRUARY 2, 2007.
- EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH STRUCTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT FOR THIS PROJECT, REPORT PREPARED BY: GFAC ENGINEERING, PROJECT NO. G2016068, DATED AUGUST 10, 2016.
- ALL CONSTRUCTION AND METHODS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF WICHITA STANDARD DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. MAINTAIN ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
- THIS SET OF CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED AS A WHOLE IN THAT THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INFORMATION PRESENTED ON ALL SHEETS OF THE SET OF DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS.
- CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ANY REQUIRED STATE OR LOCAL PERMITS. CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY, TO RETURN IT TO EXISTING CONDITIONS OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES PER THE EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- ALL PAVEMENT MARKING OF STRIPES TO BE 4" WIDE, WHITE AND APPLIED IN TWO COATS, UNLESS OTHERWISE NOTED.
- PARKING LOT STRIPING AND REQUIRED ADA ACCESSIBLE AISLES SHOWN ON PLAN SHALL BE MARKED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
- ALL NEW SIDEWALKS, NOT ADJACENT TO THE BUILDING, SHALL BE A MINIMUM OF FOUR (4) FEET WIDE. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH WITH A MAXIMUM CROSS SLOPE OF TWO PERCENT. TRANSVERSE CONTRACTION JOINTS SHALL MAINTAIN AN EQUAL SPACING WITH THE SIDEWALK WIDTH. SIDEWALK EXPANSION JOINTS SHALL NOT EXCEED 40 FOOT SPACING UNLESS OTHERWISE NOTED.

ADA NOTES

- ANY REQUEST BY A GOVERNING AUTHORITY OR INSPECTOR TO ALTER THE ADA COMPLIANCE DETAILS OR REQUIREMENTS DEPICTED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS MUST BE DIRECTED TO THE OR CRAWFORD CONSTRUCTION MANAGER FOR AUTHORIZATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT AUTHORIZATION FROM THE OR CRAWFORD CONSTRUCTION MANAGER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THE CONSTRUCTION PLANS AND SPECIFICATIONS WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE PRIMARY AND/OR SUB-CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ACQUIRING THE APPROVAL OF CHANGES TO ADA RELATED ITEMS DEFINED IN THESE PLANS AND SPECIFICATIONS.
- SEE GRADING PLAN SHEET CG101 FOR FINAL GRADES.
- ALL NEW SIDEWALKS (INCLUDING SIDEWALKS TO BE REMOVED & REPLACED) SHALL NOT EXCEED 2% CROSS SLOPE & 5% RUNNING SLOPE. FOR SIDEWALKS CONTAINED WITHIN THE PUBLIC ROW AND WHEN ADJACENT STREET GRADES EXCEED 5%, THEN SIDEWALK RUNNING SLOPES MAY MATCH STREET GRADES.
- 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.
- PRIVATE PROPERTY RAMPS SHALL HAVE THE FACE OF THE CURB TRANSITIONS PAINTED YELLOW (RE: DETAIL).

PAVING NOTES

- ALL CONCRETE SHALL BE 3000 PSI, AND ALL REINFORCING STEEL SHALL BE GRADE 60, UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MUTCD LATEST VERSION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT.
- CONTRACTOR SHALL PROVIDE AND INSTALL 4 INCH PVC SLEEVES FOR FUTURE UTILITY CROSSINGS UNDER NEW PAVEMENT. THE LOCATION AND NUMBER OF CONDUITS SHALL APPEAR ON THE SITE UTILITY PLAN. VERIFY CONDUIT LOCATIONS WITH ALL UTILITY COMPANIES, AGENCIES OR ENGINEERS SUPPLYING FUTURE SERVICES.
- ALL TRENCH BACKFILL FOR OPEN CUT PAVEMENT AREAS SHALL BE BACKFILLED FULL DEPTH WITH AGGREGATE BASE MATERIAL AND COMPACTED IN 9 INCH LIFTS TO 95% STANDARD PROCTOR DENSITY TO THE BOTTOM OF SURFACE PAVEMENT.
- REFER TO DETAIL 2, SHEET CS501 FOR CONCRETE PAVEMENT SECTIONS FOR THE TRASH ENCLOSURE AREA AND THE DRIVE THRU AREA.



CYNTERGY
810 SOUTH CHICANNA
WICHITA, KS 67202
918.677.6000
www.cyntergy.com

STATE OF KANSAS
Professional Engineer
10/20/2016
CYNTERGY ENGINEERING, PLLC
CA # E-1382
EXPIRES 12/31/2016
BRYAN D. CLINE, PE
ENGINEER OF RECORD

Life Changing Chickens
SLIM CHICKENS
WICHITA, KANSAS

ISSUES / REVISIONS

No.	DATE	REVISION
1	10/20/16	REVISION #1

ISSUE DATE: 9/21/2016
PROJECT NO:
CHECKED BY: BDC
DRAWN BY: CDC

SHEET NAME
SITE PLAN
SHEET NUMBER
CS101

May 14, 2013

Regency Land Company, LLC
c/o Amy Liebau
150 N. Market Street
Wichita, KS, 67211

RE: CUP2013-00010 - City request for an Administrative Adjustment to the Regency Lakes Commercial Community Unit Plan ("CUP") DP-234, to reconfigure Parcels 11B & 11C and adjust the size of the parcels; generally located south of K-96 and west of Greenwich Road.

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to the above-referenced Community Unit Plan, DP-234 the Regency Lakes Commercial Community Unit Plan ("CUP"). We understand you wish to reduce the size of Parcel 11C from 9.40-acres to 9.21-acres, allowing Parcel 11B to become larger, from 4.06-acres to 4.25-acres. The proposed decrease and increase in the size of the parcels is less than 10%. Building coverage and floor area will be distributed proportionately to the newly reconfigured parcels as indicated on the revised CUP. Uses permitted on the newly created parcels do not change.

The changes to the sizes of Parcels 11B & 11C has configured the parcels. Parcel 11B's west parcel line has increased from 208.08 feet to 229.50 feet. Conversely Parcel 11C's west parcel line has decreased from 531.85 feet to 510.45 feet. Also the common west-east parcel line (beginning at the parcels' common west parcel line) between Parcels 11B & 11C is no longer a straight west-east line of 647.88 feet before it breaks in a straight line to the south. It is now breaks south at a point 390 feet east of the parcels' common west parcel line, where it then goes 21.42 feet south in a straight line, then continues in a straight line east for 257.78 feet, before it again breaks to the south.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP

adjustment shall not be deemed to alter any other provisions of the CUP except expressly stated herein.

The “Development Application” signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

John L. Schlegel
Director of the Wichita-Sedgwick County
Metropolitan Area Planning Department

Tom Stolz
Director of the Metropolitan Area Building and
Construction Department

cc: Paul Hays, Sr. Plans Examiner – MABCD
JR Cox - MABCD

March 31, 2011
Issued: May 5, 2011

Regency Land Company, LLC
Attn: Mrs. Amy Liebau AND, Parkway Signs
150 N. Market
Wichita, KS 67202

Regency Development Company, LLC
Attn: Mike Boyd
1707 N. Waterfront Parkway
Wichita, KS 67206

RE: DP-234 - Administrative Adjustment to DP-234 Regency Lakes Commercial Community Unit Plan to create Parcel 11C from Parcels 10 and 11B, create Reserve B from Reserve A, adjust height, architectural compatibility, and alter provisions for owners association agreement, generally located south of K-96 and west of Greenwich Road. (CUP20011-00009)

Dear Ms. Liebau and Mr. Boyd:

We have received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP 234 Regency Lakes Commercial Community Unit Plan ("CUP"), located south of K-96 and west of Greenwich Road. We understand that you wish to create Parcel 11C from Parcels 10 and 11B. Parcel 10 will be deleted entirely and a portion of Parcel 11B will be added to the land from Parcel 10 to form Parcel 11C. Additionally, you have created a separate reserve (Reserve B) for the eastern 265 feet of the northern entrance from Greenwich Road into the site.

Another requested change is for Parcel 11C to be allowed a building height of 52 feet. This adjustment is less than a five-foot or 10 percent increase for the portion of Parcel 11C formerly within Parcel 11B with an existing height limit of 48 feet. For the portion of 11C formerly within Parcel 10, the increase would be limited to 10 percent of 35 feet, or 38.5 feet.

Requested changes on architectural compatibility and owners association agreement are limited to adjustments endorsed by other owners within the CUP. Any approval of those changes would

be contingent on receiving confirmation of other owner's consent. +

On the basis of our review, we feel that adjusting the CUP in the manner specified herein would be consistent with the CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan.

Our signatures below indicate that an administrative adjustment has been granted as follows. This adjustment shall not be deemed to alter any other provisions except as stated herein.

DEVELOPMENT GUIDELINES:

2. PARCEL 11B

Gross Area – ~~11.944~~10.06 AC.

Maximum Height – 48 feet

Maximum Coverage – 30%

Maximum Gross Floor Area – 30%

PARCEL 11C

Gross Area – 9.40 AC.

Maximum Height – 52 feet for western 416.79 feet, 48 for remainder of parcel

Maximum Coverage – 30%

Maximum Gross Floor Area – 30%

Reserves A and B

Gross Area – ~~16.80~~14.86 AC.

Maximum Height – 35 feet

Maximum Coverage – 30%

Maximum Gross Floor Area – 30%

6. Clarify west property line setbacks as 75 feet on Parcels 12 and 11A and 35 feet on Parcels 11B and 11C.

9. Revised to read: Architectural Control – All buildings within Parcels 11A, 11B, (11C intentionally not included and generally per submitted design) and 12 shall have the same predominate exterior building materials with consistent architectural character, color and texture, and consistent lighting design (fixtures, plies, lamps, etc.) as approved by Director or Planning. Metal shall not be permitted as a predominant exterior building material on any parcel. Parcels 1, 2, 3, 3A, 4, 6, 7, 9 and 10 shall have consistent lighting fixtures, monument sign, and landscape palette.

10 & 15. Substitute “Owners Association” with “Owners Association or Operation and Easement Agreement”.

17. Substitute Parcels 11A and 11B for Parcel 11.

Please submit four (4) copies of the revised C.U.P. within 30 days. The zoning notification signs may now be removed from the property.

John L Schlegel
Director of Planning

Kurt A Schroeder
Superintendent of Central Inspection

cc: Dale Miller, MAPD
Neil Strahl, MAPD
Paul Hays, Office of Central Inspection
J.R. Cox, Office of Central Inspection
MKEC Engineering Consultants, Inc., Attn: Brian Lindebak, 411 N Webb, Wichita, KS 67206
Target Corporation, P.O. Box 9456, Minneapolis, MN 55440-9456

June 22, 2011

Cabela's Wholesale, Inc.
Attn: Steven Krajewski
One Cabela Drive
Sidney, NE 69160

Target Corporation
P.O. Box 9456
Minneapolis, MN 55440-09456

Regency Land Company, LLC
Attn: Mrs. Amy Liebau AND, Parkway Signs
150 N. Market
Wichita, KS 67202

Regency Development Company, LLC
Attn: Mike Boyd
1707 N. Waterfront Parkway
Wichita, KS 67206

RE: DP-234 - Administrative Adjustment to DP-234 Regency Lakes Commercial Community Unit Plan to transfer sign allocation among street frontages and for clarity of all planned signage within the development, generally located south of K-96, west of Greenwich Road and north of 21st Street North. (CUP2011-00019)

Dear Sir or Madam:

We have received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP 234 Regency Lakes Commercial Community Unit Plan ("CUP"), located south of K-96, west of Greenwich Road and north of 21st Street North. We understand that you wish to transfer sign allocation among street frontages and for clarity of all planned signage within the development. Specifically, you have requested to adjust Development Guideline Number 7.

According to the attached information, the amount of signage would increase along the K-96 frontage and 21st Street North frontage but remain less than the combined sign face area allowed

per the Wichita Sign Code along the street frontages when treated as a combined unit. The treatment of the sign face areas together along 21st Street North, Greenwich Road and K-96 follows the pattern established by a previous amendment to the CUP. The requested change results in less than a 10 percent increase.

On the basis of our review, we feel that adjusting the CUP in the manner specified herein would be consistent with the CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan.

Our signatures below indicate that an administrative adjustment has been granted as elicited on the attached document, labeled Attachment #1 and as described in General Provision #7 of the the attached CUP document, labeled Attachment #2. This adjustment shall not be deemed to alter any other provisions except as stated herein.

Please submit four (4) copies of the revised CUP within 30 days. The zoning notification signs may now be removed from the property.

John L. Schlegel
Director of Planning

Kurt A. Schroeder
Superintendent of Central Inspection

cc: Dale Miller, MAPD
Paul Hays, Office of Central Inspection
J.R. Cox, Office of Central Inspection
Leonard Fox, Office of Central Inspection
MKEC Engineering Consultants, Inc., Attn: Brian Lindebak, 411 N Webb, Wichita, KS 67206

[illegible]

TARGET

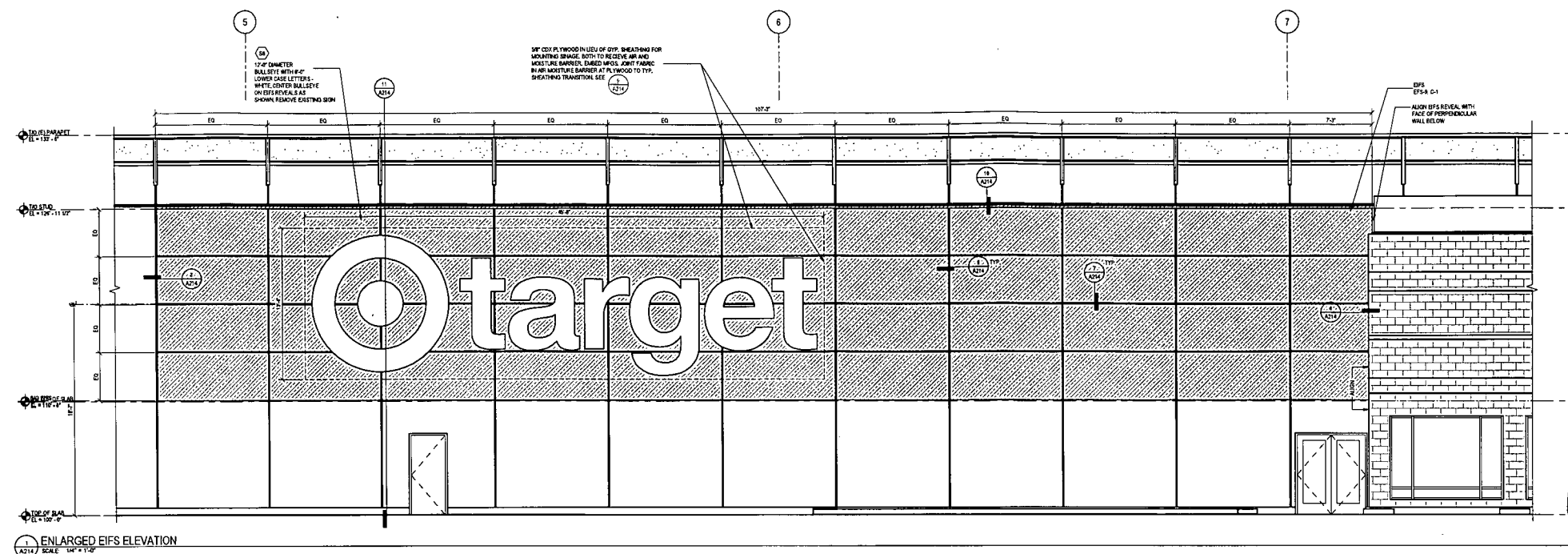
WICHITA NE, KS
10800 E. 21st ST. N.
WICHITA KS 67206

Project Number	T-1944
Config:	RR
Drawn By	NS
Checked By	RM

EIFS SECTIONS & DETAILS

A214

10/24/2019 7:54:49 AM

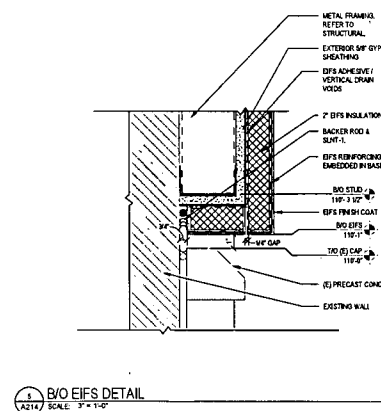
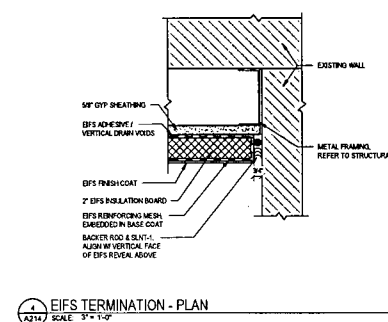
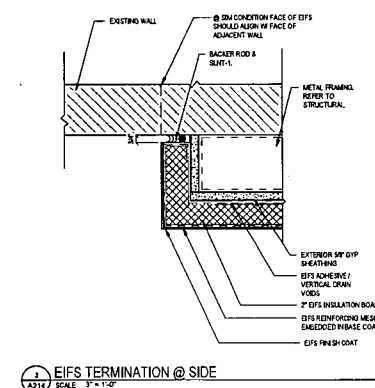


Parad 12
APPROVED

DP-234 Arch Rev per GP #2

✓ 10-24-19

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3 NOT USED

