



Wichita-Sedgwick County Metropolitan Area Planning Department

October 7, 2022

Slawson Commercial Properties, LLC
Attn: Mr. Nuss
727 N. Waco, Ste 400
Wichita, KS 67203

Professional Engineering Consultants.
Attn: Rebecca Mellies
303 S. Topeka
Wichita, KS 67202

RE: CUP2022-00046 – Administrative Adjustment in the City to the Oak Creek Community Unit Plan DP-274 to alter parcel boundaries and area calculations to reflect a lot split on Parcel 15; generally located on the southwest corner of East 21st Street North and North Greenwich Road.

LEGAL DESCRIPTION: Lot 2, Block 3, Oak Creek Addition, Wichita, Sedgwick County, Kansas.

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to DP-274 to alter the parcel boundary and area calculations of Parcel 15 associated with Lot Split LSP2022-00013, which split Lot 2, Block 3 of the Oak Creek Addition into Lots 2A and 2B. The following reflects the proposed modifications identified in red letters:

PARCEL 15-A

Proposed Uses: See G.P. #3
Gross Area: 4.88 acres (212,667 sq. ft.)
Max Building Coverage: 54,655 Sq. ft. (25.7%)
Max Building Height: 35 feet, Limited to 1-story
Max Gross Floor Area: 68,266 sq. ft. (32.1%)

PARCEL 15-B

Proposed Uses: See G.P. #3
Gross Area: 8.49 acres (369,901 sq. ft.)
Max Building Coverage: 95,065 (25.7%)
Max Building Height: 35 feet, Limited to 1-story
Max Gross Floor Area: 118,738 (32.1%)

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan. Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein. The "Development Application" sign should now be removed from the property. Please submit one (1) electronic copy and four (4) full-sized paper copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

[Signature of Scott Wadle]

Scott Wadle, Director
Metropolitan Area Planning Department

[Signature of John R. Cox, Jr.]
J.R. COX JR.
John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD, Becky Tuttle, CM District II, Cory Buchta, CSR District II

COMMUNITY UNIT PLAN DP-274

OAK CREEK

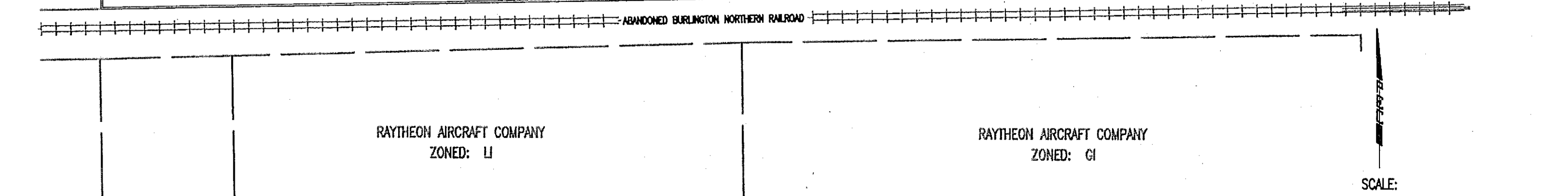
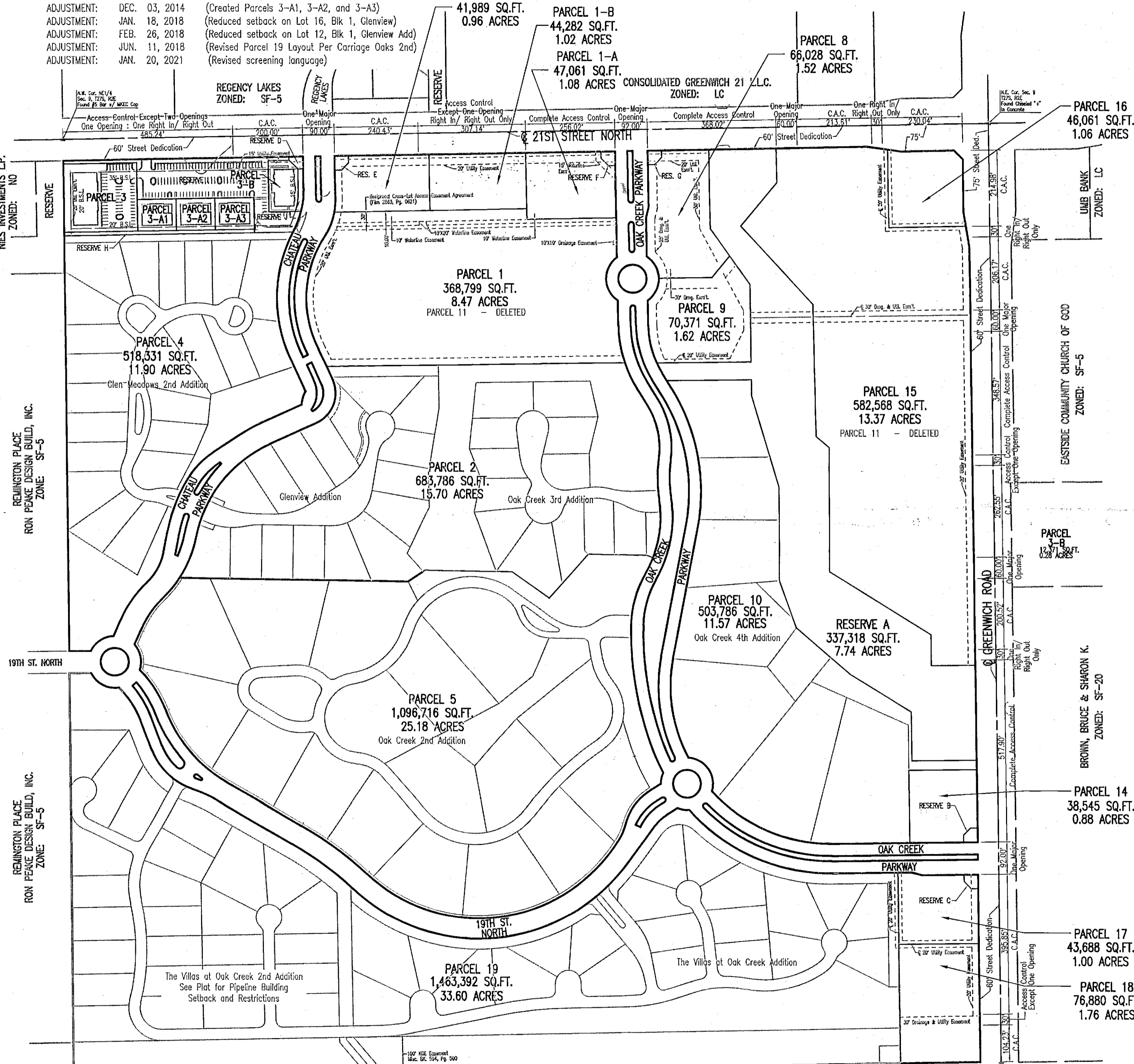
OWNER: SLAWSON COMMERCIAL PROPERTIES, L.L.C.
727 NORTH WACO SUITE 400
WICHITA, KANSAS 67203

DATE: APR. 22, 2004
ADJUSTMENT: NOV. 22, 2004 (Combined DP-266 & DP-274)
ADJUSTMENT: MAY. 10, 2006
ADJUSTMENT: OCT. 05, 2006
ADJUSTMENT: JUL. 10, 2007
ADJUSTMENT: JUL. 23, 2009
ADJUSTMENT: DEC. 03, 2014 (Created Parcels 3-A1, 3-A2, and 3-A3)
ADJUSTMENT: JAN. 18, 2018 (Reduced setback on Lot 16, Blk 1, Glenview)
ADJUSTMENT: FEB. 26, 2018 (Reduced setback on Lot 12, Blk 1, Glenview Add)
ADJUSTMENT: JUN. 11, 2018 (Revised Parcel 19 Layout Per Carriage Oaks 2nd)
ADJUSTMENT: JAN. 20, 2021 (Revised screening language)

APPROVED CUP
As per AA CUP 2020-01
MAP 04-05-01
RECC: 05-19-04
MARD copy 1/9/17

GENERAL PROVISIONS
1. THIS PROJECT IS PROPOSED TO CONTAIN 161,862 GROSS ACRES OR 154,474 NET ACRES. NET ACRES ARE DETERMINED BY SUBTRACTING ARTERIAL STREET RIGHT-OF-WAY FROM THE GROSS ACRES.
PARCEL DESCRIPTIONS:
NOTE: UNLESS OTHERWISE SPECIFIED, MAXIMUM GROSS FLOOR AREA AND MAXIMUM BUILDING COVERAGE ARE THE SAME.
RESERVE "A"
PERMITTED USES: DRAINAGE DETENTION, SIDEWALKS, UTILITIES, LANDSCAPING AND RECREATION
GROSS AREA= 7.74 ACRES (337,318 SQ.FT.)
RESERVES "B", "C", "D", "E", "F", AND "G"
PERMITTED USES: SIGNAGE, LANDSCAPING, ENTRY MONUMENTS AND UTILITIES CONFINED TO EASEMENTS.
GROSS AREA= 0.19 ACRES (8,088 SQ.FT.)
RESERVE "H"
PERMITTED USES: LANDSCAPING, DRAINAGE, SCREENING, AND UTILITIES CONFINED TO EASEMENTS. SHALL INCLUDE REQUIRED SCREENING PER GENERAL PROVISION 17.
GROSS AREA= 0.12 ACRES (5,435 SQ.FT.)
RESERVE "I"
PERMITTED USES: PARKING, ACCESS DRIVES, LIGHTING, SIGNAGE, LANDSCAPING, DRAINAGE, AND UTILITIES CONFINED TO EASEMENTS. SHALL INCLUDE REQUIRED SCREENING PER GENERAL PROVISION 17.
NOTE: PARKING AREAS FOR PARCELS 3, 3-A AND 3-B ARE LOCATED WITHIN RESERVE I.
GROSS AREA= 1.26 ACRES (54,759 SQ.FT.)
RESERVE "J"
PERMITTED USES: LANDSCAPING, DRAINAGE, SCREENING, TRASH ENCLOSURE, SIGNS, AND UTILITIES CONFINED TO EASEMENTS.
GROSS AREA= 0.04 ACRES (1,752 SQ.FT.)

PARCEL 1
PROPOSED USES: SEE G.P. #3
GROSS AREA= 8.47 ACRES (368,799 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 90,000 SQ.FT. (24.4%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 1-A
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.08 ACRES (47,061 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 10,000 SQ.FT. (21.9%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 1-B
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.02 ACRES (44,282 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 9,000 SQ.FT. (20.3%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 1-C
PROPOSED USES: SEE G.P. #3
GROSS AREA= 0.96 ACRES (41,989 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 9,000 SQ.FT. (21.4%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 2
PROPOSED USES: SINGLE FAMILY, PATIO HOMES
GROSS AREA= 15.70 ACRES (683,786 SQ.FT.)
MAX. DWELLING UNITS= 90
MAXIMUM BUILDING HEIGHT= 35 FEET
SETBACKS - PER CODE, EXCEPT FRONT YARD SETBACK FOR LOT 16, BLOCK 1, GLENVIEW ADD. SHALL BE 20 FEET.
PARCEL 3
PROPOSED USES: ALL USES PERMITTED IN THE NEIGHBORHOOD OFFICE ZONING DISTRICT, EXCEPT RECYCLING STATIONS, AND ASPHALT OR CONCRETE PLANTS. INDIVIDUAL TENANTS SHALL BE PERMITTED UP TO 18,000 SQ.FT. GROSS FLOOR AREA.
GROSS AREA= 0.93 ACRES (40,625 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 12,800 SQ.FT. (31.5%)
MAXIMUM BUILDING HEIGHT= 35 FEET
SETBACKS - SEE PLAN
PARCEL 3-A1
PROPOSED USES: SAME USES AS PARCEL 3.
GROSS AREA= 0.23 ACRES (9,948 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 5,800 SQ.FT.
SEE NOTE ON RESERVE I FOR OFFSITE PARKING.
MAXIMUM BUILDING HEIGHT= 30 FEET, LIMIT TO 1-STORY SETBACKS - SEE PLAN
PARCEL 3-A2
PROPOSED USES: SAME USES AS PARCEL 3.
GROSS AREA= 0.22 ACRES (9,386 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 5,400 SQ.FT.
SEE NOTE ON RESERVE I FOR OFFSITE PARKING.
MAXIMUM BUILDING HEIGHT= 30 FEET, LIMIT TO 1-STORY SETBACKS - SEE PLAN
PARCEL 3-A3
PROPOSED USES: SAME USES AS PARCEL 3.
GROSS AREA= 0.24 ACRES (10,514 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 6,200 SQ.FT.
SEE NOTE ON RESERVE I FOR OFFSITE PARKING.
MAXIMUM BUILDING HEIGHT= 30 FEET, LIMIT TO 1-STORY SETBACKS - SEE PLAN
PARCEL 3-B
PROPOSED USES: SAME USES AS PARCEL 3.
GROSS AREA= 0.27 ACRES (11,696 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 6,000 SQ.FT.
SEE NOTE ON RESERVE I FOR OFFSITE PARKING.
MAXIMUM BUILDING HEIGHT= 30 FEET, LIMIT TO 1-STORY SETBACKS - SEE PLAN
PARCEL 4
PROPOSED USES: SINGLE FAMILY, PATIO HOMES, ZERO LOT LINE, TOWN HOMES
GROSS AREA= 11.90 ACRES (518,331 SQ.FT.)
MAX. DWELLING UNITS= 104 (RESIDENTIAL USES)
MAXIMUM BUILDING HEIGHT= 35 FEET
SETBACKS - PER CODE
PARCEL 5
PROPOSED USES: SINGLE FAMILY
GROSS AREA= 25.18 ACRES (1,096,716 SQ.FT.)
MAX. DWELLING UNITS= 25
MAXIMUM BUILDING HEIGHT= 35 FEET
SETBACKS - PER CODE
PARCEL 6 - DELETED
PARCEL 7 - DELETED
PARCEL 8
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.52 ACRES (66,028 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 12,000 SQ.FT. (18.2%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 9
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.62 ACRES (70,371 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 14,500 SQ.FT. (20.6%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 10
PROPOSED USES: SINGLE FAMILY
GROSS AREA= 11.57 ACRES (503,786 SQ.FT.)
MAXIMUM DWELLING UNITS= 1
MAXIMUM BUILDING HEIGHT= 35 FEET
SETBACKS - PER CODE
PARCEL 11 - DELETED
PARCEL 12 - DELETED
PARCEL 13 - DELETED
PARCEL 14
PROPOSED USES: SEE G.P. #3
GROSS AREA= 0.88 ACRES (38,545 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 9,634 SQ.FT. (25.0%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 15
PROPOSED USES: SEE G.P. #3
GROSS AREA= 13.37 ACRES (582,568 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 150,000 SQ.FT. (25.7%)
MAXIMUM BUILDING HEIGHT= 45 FEET
MAXIMUM GROSS FLOOR AREA= 187,000 SQ.FT. (32.1%)
PARCEL 16
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.06 ACRES (46,061 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 23,000 SQ.FT. (29.9%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 17
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.00 ACRES (43,688 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 10,000 SQ.FT. (22.9%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 18
PROPOSED USES: SEE G.P. #3
GROSS AREA= 1.76 ACRES (76,880 SQ.FT.)
MAXIMUM BUILDING COVERAGE= 23,000 SQ.FT. (29.9%)
MAXIMUM BUILDING HEIGHT= 35 FEET
PARCEL 18-A - DELETED
PARCEL 18-B - DELETED
PARCEL 19
PROPOSED USES: SINGLE FAMILY, PATIO HOMES, ZERO LOT LINE AND DUPLEX
GROSS AREA= 33.60 ACRES (1,463,392 SQ.FT.)
MAXIMUM DWELLING UNITS= 94
MAXIMUM BUILDING HEIGHT= 35 FEET
SETBACKS - PER CODE
CARRIAGE OAKS 2ND ADDITION - SEE PLAT FOR PIPELINE BUILDING SETBACK AND RESTRICTIONS
PARCEL 19-A - DELETED
PARCEL 20 - DELETED
COLLECTOR STREET R.O.W. = 12.05 ACRES (524,751 SQ.FT.)
G. EACH PARCEL OR RESERVE IS LIMITED TO 2 SIGNS PER INTERNAL STREET FRONTAGE. SIGNS SHALL BE SPACED A MINIMUM OF 150' APART. ALL OTHER SIGNS ALONG THE COLLECTOR STREETS SHALL BE SPACED A MINIMUM OF 150' APART AND SHALL BE LIMITED TO 8' IN HEIGHT AND A SIGN FACE AREA OF 50 SQ.FT.
H. IN ADDITION TO THE MONUMENT TYPE SIGNS PERMITTED ALONG 21ST STREET NORTH AND GREENWICH ROAD THERE SHALL BE NEIGHBORHOOD I.D. MONUMENTS PERMITTED IN RESERVES B THRU G. THESE MONUMENTS ARE FOR THE IDENTIFICATION OF THE DEVELOPMENT. THE TOTAL NUMBER OF SIGNS AND MAXIMUM SPACING BETWEEN SIGNS SHALL NOT APPLY TO THESE I.D. MONUMENTS. THE I.D. MONUMENTS SHALL NOT EXCEED 10' IN HEIGHT, AND SHALL NOT RESULT IN TOTAL SIGNAGE ALONG ARTERIAL STREETS EXCEEDING 0.8 TIMES THE LINEAL STREET FRONTAGE.
9. PARKING:
SHALL BE IN ACCORDANCE WITH THE WICHITA-SEDOGWICK COUNTY UNIFIED ZONING CODE.
10. ARCHITECTURAL CONTROL:
BUILDINGS ON PARCEL 1 SHALL HAVE SIMILAR PREDOMINANT EXTERIOR BUILDING MATERIALS, AS APPROVED BY THE DIRECTOR OF PLANNING. BUILDINGS ON PARCEL 3, 3-A, AND 3-B SHALL EACH HAVE SIMILAR PREDOMINANT EXTERIOR BUILDING MATERIALS, AS APPROVED BY THE DIRECTOR OF PLANNING. BUILDINGS ON PARCEL 15 SHALL HAVE SIMILAR PREDOMINANT EXTERIOR BUILDING MATERIALS, UNIFYING ARCHITECTURAL CHARACTERISTICS, AND A SIMILAR COLOR PALETTE. NO FACADES THAT ARE PREDOMINANTLY METAL PANELS SHALL BE ALLOWED ON ANY PARCEL. FACADE AREA CALCULATION SHALL NOT INCLUDE WINDOW AREA.
11. AN AGREEMENT PROVIDING FOR THE MAINTENANCE OF RESERVES, OPEN SPACE, INTERNAL DRIVES, PARKING AREAS, DRAINAGE IMPROVEMENTS, ETC., SHALL BE FILED BY THE TIME THE PLAT IS FILED OF RECORD.
12. NO OCCUPANCY PERMITS SHALL BE ISSUED FOR ANY DEVELOPMENT WITHOUT SERVICES BY THE MUNICIPAL WATER AND SEWER SERVICES.
13. CROSS-LOT CIRCULATION IS TO BE PROVIDED BETWEEN ADJACENT PARCELS WITH RETAIL/COMMERCIAL USES. CROSS-LOT CIRCULATION IS TO BE PROVIDED BETWEEN ADJACENT PARCELS WITH OFFICE USES FRONTING ON ARTERIAL STREETS.
14. ALL DRAINAGE WAYS AND EASEMENTS SHALL BE DETERMINED AT THE TIME OF PLATING.
15. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARCEL, A LOT GRADING PLAN IN CONFORMANCE WITH THE DRAINAGE CONCEPT PLAN, SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
16. LOADING AREAS, TRASH RECEPTACLES, OUTSIDE STORAGE, AND TRUCK DOCKS IN THE C.U.P. SHALL BE SCREENED FROM GROUND LEVEL VIEW ALONG 21ST STREET NORTH, GREENWICH ROAD, ALL COLLECTOR STREETS AND FROM ALL RESIDENTIAL AREAS. SCREENING OF ALL TRASH DUMPS/STERS, OUTSIDE STORAGE AND MECHANICAL EQUIPMENT WILL BE CONSTRUCTED OF MATERIALS TO MATCH THE BUILDINGS THEY SUPPORT.
17. SCREENING
A. SCREENING OF NONRESIDENTIAL USES SHALL BE PROVIDED ALONG SIDE OR REAR LOT LINES OF THE NONRESIDENTIAL PROPERTY OR MAY BE PROVIDED ON ADJACENT RESIDENTIALLY ZONED RESERVES, AS FOLLOWS:
1. PARCEL 1 MAY BE SCREENED ON PARCEL 2 (RESERVE E, GLENVIEW ADDITION AND RESERVE C, OAK CREEK 3RD/ ADDITION).
2. PARCELS 3, 3-A1, 3-A2, 3-A3 AND 3B MAY BE SCREENED ON PARCEL 4 (RESERVE D, GLEN MEADOWS 2ND ADDITION).
3. PARCEL 9 MAY BE SCREENED ON RESERVE F, OAK CREEK 3RD/ ADDITION (A PORTION OF RESERVE A AS SHOWN).
4. PARCEL 14 MAY BE SCREENED ON PARCEL 10 (RESERVE D, OAK CREEK 4TH/ ADDITION) AND/OR LOT 4, BLOCK 1, OAK CREEK 4TH/ ADDITION.
5. PARCELS 17 AND 18 MAY BE SCREENED ON PARCEL 19 (RESERVES C&D, THE VILLAS AT OAK CREEK ADDITION); EXCEPT THAT AREA NOT REQUIRED ON PARCEL 18 ADJACENT TO RESERVE D.
SCREENING COMPLIANCE FOR THOSE PARCELS SET FORTH IN 17A.1-5 SHALL BE THE RESPONSIBILITY OF THE NON-RESIDENTIAL USE.
B. SCREENING MAY CONSIST OF ONE OR A COMBINATION OF THE FOLLOWING; A 6-FOOT HIGH SOLID MASONRY OR CONCRETE WALL, A 10-FOOT WIDE LANDSCAPE BUFFER CONSISTING OF CONTINUOUS EVERGREEN VEGETATION WITH A MAXIMUM HEIGHT OF 6 FEET, A 15-FOOT WIDE LANDSCAPED BUFFER CONSISTING OF STAGGERED EVERGREEN VEGETATION WITH A MINIMUM HEIGHT OF 6 FEET. SCREENING HEIGHT MAY BE ACHIEVED THROUGH A COMBINATION OF EVERGREEN PLANTING / SCREEN WALL AND EARTH BERMS. SCREENING COMPLIANCE SHALL BE THE RESPONSIBILITY OF THE NON-RESIDENTIAL USE. THE SCREENING REQUIREMENT SHALL BE WAIVED FOR PARCEL 15, WHEN EVERGREEN VEGETATION OR LANDSCAPED EARTH BERMS ARE PROPOSED FOR SCREENING, A LANDSCAPE PLAN SHALL BE SUBMITTED TO THE PLANNING DIRECTOR AND THE ZONING ADMINISTRATOR FOR REVIEW AND APPROVAL. SCREENING REQUIREMENTS SHALL BE WAIVED IF A PARCEL IS DEVELOPED AS A RESIDENTIAL USE.
18. THE DEVELOPMENT OF THIS PROPERTY SHALL PROCEED IN ACCORDANCE WITH THE DEVELOPMENT PLAN AS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION AND APPROVED BY THE GOVERNING BODY, AND ANY SUBSTANTIAL DEVIATION OF THE PLAN, AS DETERMINED BY THE ZONING ADMINISTRATOR AND THE DIRECTOR OF PLANNING, SHALL CONSTITUTE A VIOLATION OF THE BUILDING PERMIT AUTHORIZING CONSTRUCTION OF THE PROPOSED DEVELOPMENT.
19. PRIOR TO ISSUING BUILDING PERMITS ON ANY PARCEL, A PLAN FOR A PEDESTRIAN WALK SYSTEM ON THAT PARCEL SHALL BE SUBMITTED AND APPROVED BY THE DIRECTOR OF PLANNING.
20. ALL EXTERIOR LIGHTING ON PARCELS ADJACENT TO RESIDENTIAL USES SHALL BE SHIELDED TO DIRECT LIGHT DISBURSEMENT DOWNWARD AND AWAY FROM RESIDENTIAL ZONING.
21. ALL PARCELS WITH RETAIL USES SHALL SHARE SIMILAR OR CONSISTENT PARKING LOT LIGHTING ELEMENTS (I.E. FIXTURES, POLES, LAMPS, ETC.). ALL PARCELS WITH OFFICE USES SHALL SHARE SIMILAR OR CONSISTENT PARKING LOT LIGHTING ELEMENTS (I.E. FIXTURES, POLES, LAMPS, ETC.).
22. TRAFFIC IMPROVEMENTS TO 21ST STREET NORTH AND GREENWICH ROAD SHALL BE DETERMINED AT THE TIME OF PLATING.
23. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT, A SITE CIRCULATION PLAN THAT PROVIDES FOR SMOOTH FLOW OF TRAFFIC BETWEEN THE PARCEL BEING DEVELOPED AND ALL ADJACENT PARCELS FRONTING ARTERIAL STREETS, SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
24. ANY USE FOR WHICH A CONDITIONAL USE PERMIT WOULD BE REQUIRED SHALL REQUIRE A C.U.P. AMENDMENT.

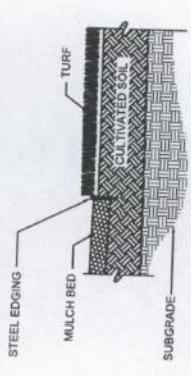


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RAYTHEON AIRCRAFT COMPANY ZONED: GI
SCALE: 1" = 200'

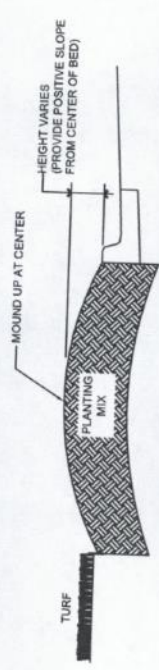
PARCEL 16 46,061 SQ.FT. 1.06 ACRES
PARCEL 17 43,688 SQ.FT. 1.00 ACRES
PARCEL 18 76,880 SQ.FT. 1.76 ACRES
PARCEL 19 1,463,392 SQ.FT. 33.60 ACRES
PARCEL 20 - DELETED
PARCEL 15 582,568 SQ.FT. 13.37 ACRES
PARCEL 14 38,545 SQ.FT. 0.88 ACRES
PARCEL 10 503,786 SQ.FT. 11.57 ACRES
PARCEL 9 70,371 SQ.FT. 1.62 ACRES
PARCEL 8 66,028 SQ.FT. 1.52 ACRES
PARCEL 7 - DELETED
PARCEL 6 - DELETED
PARCEL 5 1,096,716 SQ.FT. 25.18 ACRES
PARCEL 4 518,331 SQ.FT. 11.90 ACRES
PARCEL 3 40,625 SQ.FT. 0.93 ACRES
PARCEL 3-A1 9,948 SQ.FT. 0.23 ACRES
PARCEL 3-A2 9,386 SQ.FT. 0.22 ACRES
PARCEL 3-A3 10,514 SQ.FT. 0.24 ACRES
PARCEL 3-B 11,696 SQ.FT. 0.27 ACRES
PARCEL 2 683,786 SQ.FT. 15.70 ACRES
PARCEL 1 368,799 SQ.FT. 8.47 ACRES
PARCEL 1-C 41,989 SQ.FT. 0.96 ACRES
PARCEL 1-B 44,282 SQ.FT. 1.02 ACRES
PARCEL 1-A 47,061 SQ.FT. 1.08 ACRES
PARCEL 19-A - DELETED
PARCEL 19-B - DELETED
PARCEL 18-A - DELETED
PARCEL 18-B - DELETED
PARCEL 17-A - DELETED
PARCEL 17-B - DELETED
PARCEL 16-A - DELETED
PARCEL 16-B - DELETED
PARCEL 15-A - DELETED
PARCEL 15-B - DELETED
PARCEL 14-A - DELETED
PARCEL 14-B - DELETED
PARCEL 13 - DELETED
PARCEL 12 - DELETED
PARCEL 11 - DELETED
PARCEL 10-A - DELETED
PARCEL 10-B - DELETED
PARCEL 9-A - DELETED
PARCEL 9-B - DELETED
PARCEL 8-A - DELETED
PARCEL 8-B - DELETED
PARCEL 7 - DELETED
PARCEL 6 - DELETED
PARCEL 5 - DELETED
PARCEL 4 - DELETED
PARCEL 3 - DELETED
PARCEL 2 - DELETED
PARCEL 1 - DELETED

GENERAL LANDSCAPE NOTES:

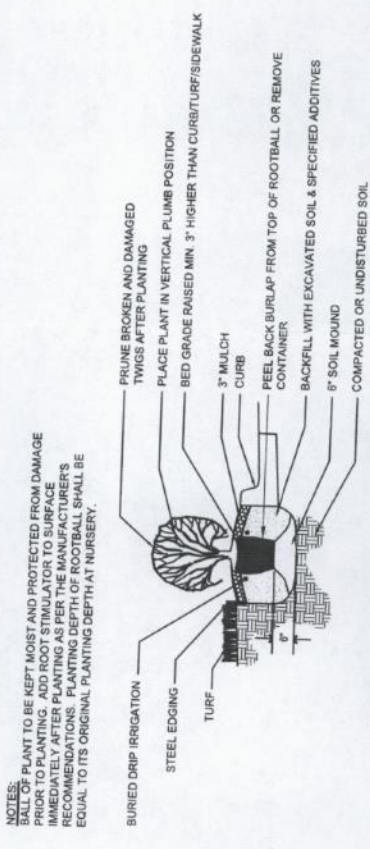
- CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.
- LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING UTILITIES NOT INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIALS. UTILITIES CAN BE FLAGGED BY CALLING 811, OR 1-800-344-7233, OR ONLINE AT www.kansasonecall.com. DAMAGE TO UTILITIES SHALL BE AVOIDED THROUGHOUT THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATE ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.
- ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE CONTRACTOR AT NO CHARGE.
- PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS CONDITIONAL, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION. ANY DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH 6" WIDE STEEL EDGING (OR APPROVED EQUAL).
- SOIL GRADES ADJACENT TO BUILDINGS SHALL BE SIX (6) INCHES LOWER THAN BUILDING FINISH FLOOR ELEVATION. MOUND SHALL BE A MINIMUM OF 3" LOWER THAN FINISH FLOOR ELEVATION.
- INSTALL 3" MIN. DEPTH FINE-SHREDED, DARK HARDWOOD BARK MULCH IN PLANTING AREAS AND WITHIN A 3" DIAMETER CIRCLE AROUND ALL TREES PLANTED IN PLANTING AREAS. PULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK. MULCH AREAS AROUND BUILDING SHALL RECEIVE 3"-4" DIA. ROUND RIVER ROCK MULCH. COLOR SHALL BE DARK GRAY. SUBMITTAL OF BOTH SHREDED BARK AND ROUND ROCK MULCH SHALL BE SUBMITTED PRIOR TO CONSTRUCTION.
- IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRIGATION LINE Drip Irrigation Bags OR BY HAND WATERING. FOLLOW TREE PLAN FOR INSTALLATION OF IRRIGATION SYSTEM, THEN BY SOODING AND SEEDING (IF APPLICABLE).
- AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE:
SOD:
FESCUE SOD, OBTAINABLE FROM:
THE SOD SHOP
1014 N. HILLSIDE STREET
WICHITA, KS 67203
PH # (316) 838-5888
OR
CRAMMER GRASS FARM
6121 N. 119th STREET
MAZE, KS 67101
PH # (316) 722-7230
- COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTING SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS. IN CASE OF CONFLICTS, THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD IS PLACED.
- ALL PLANTS SHALL CONFORM TO ANSI Z60.1 FOR SIZE AND QUALITY STANDARDS.
- EACH PLANT WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.
- SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.
- STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
- ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. ONE YEAR AFTER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER, SOD AND SEED ESTABLISHMENT SHALL BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT. (SEE NOTES ABOVE), WITH NO FURTHER GUARANTEE REQUIRED.



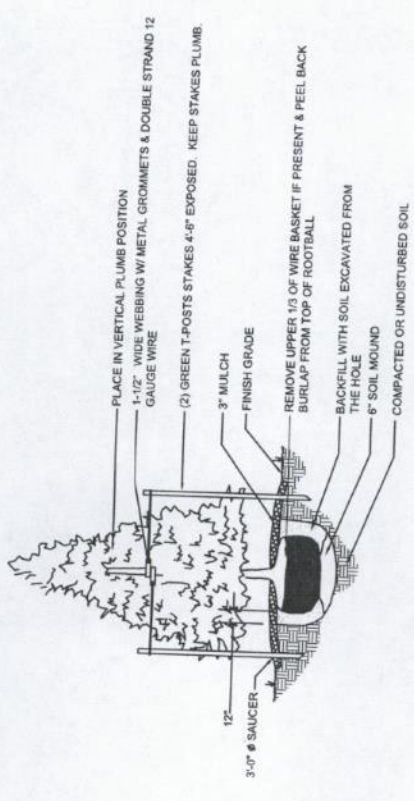
BED EDGING AT TURF DETAIL
NOT TO SCALE



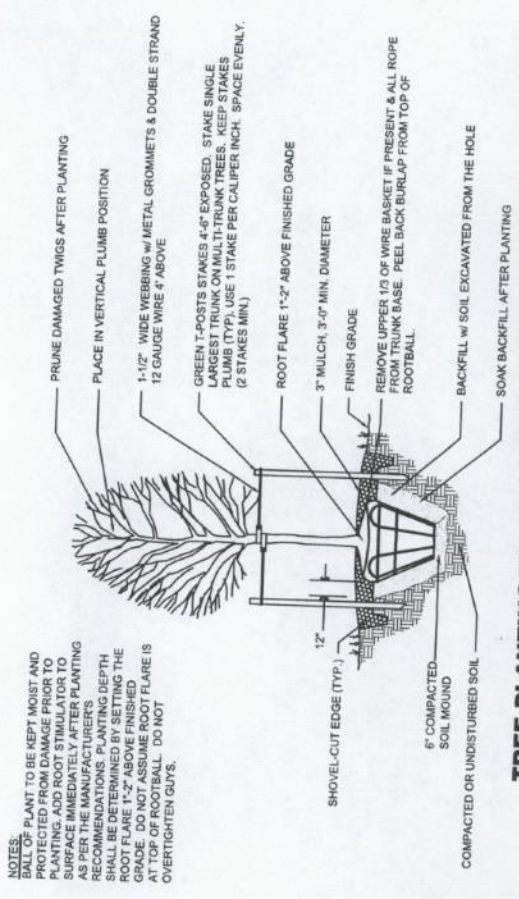
TYPICAL PLANTING BED DIAGRAM
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING IN TURF AREA DETAIL
NOT TO SCALE

NOTES:
BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH SHALL BE DETERMINED BY SETTING THE ROOTBALL AS DEEP AS POSSIBLE. FINISHED GRADE DO NOT EXCEED ROOT FLARE IS AT TOP OF ROOTBALL. DO NOT OVERTIGHTEN GUY.

PLANT LIST

QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
5	AM	AMUR MAPLE	ACER GINNALA	10-12' CLUMP	B&B
5	CO	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	3" CAL	B&B
22	ER	EASTERN RED CEDAR-BY OWNER	JUNIPERUS VIRGINIANA	6-8'	B&B
8	GC	GLODEN RAINDROPS CRAPAPPLE	MALUS TRANSITORIA 'SCHMIDTOUTLEAF'	2-1/2" CAL	B&B
3	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CAL	B&B
6	OR	OKLAHOMA REDBUD	CERCIS RENIFORMIS	2-1/2" CAL	B&B
12	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CAL	B&B
9	SP	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	6-8'	B&B
8	UA	URBANITE ASH	FRAXINUS PENNSYLVANICA 'URBANITE'	3" CAL	B&B
23	AS	ANTHONY WATERER SPIREA	SPIRAEA BUMALDA 'ANTHONY WATERER'	5 GAL	CONT.
35	BJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL	CONT.
9	CH	CHINA GIRL HOLLY	ILEX X 'CHINA GIRL'	5 GAL	CONT.
13	DB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	5 GAL	CONT.
12	DY	DENSIFORMIS YEW	TAXUS MEDIA 'DENSIFORMIS'	5 GAL	CONT.
6	HG	DWARF HAMELN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	5 GAL	CONT.
18	HS	HENRY'S GARNET SWEETSPIRE	ITEA VIRGINICA 'HENRY'S GARNET'	5 GAL	CONT.
18	KG	KARL FOERSTER GRASS	CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER'	5 GAL	CONT.
5	ME	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICUS	5 GAL	CONT.
2	PR	PINK FLOWER CARPET ROSE	ROSA X NOARE 'PINK FLOWER'	2 GAL	CONT.
6	SJ	SEA GREEN JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'	5 GAL	CONT.
44	TJ	TAMARIX JUNIPER	JUNIPERUS SABINA	5 GAL	CONT.
29	WB	WINTER GEM BOXWOOD	BUXUS MYCROPHYLLOLA 'WINTER GEM'	5 GAL	CONT.
42	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	CONT.
24	MS	MAY NIGHT SALVIA	SALVIA X SYLVESTRIS 'MAY NIGHT'	1 GAL	CONT.
17	PC	PURPLE PALACE CORAL BELLS	HEUCHERA MICRANTHA	1 GAL	CONT.
30	SD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DO ORO'	1 GAL	CONT.

WATERING REQUIREMENTS
 SOD AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLERS SYSTEM

LANDSCAPE STREET YARD
 477 = LINEAR STREET FRONTAGE ON 21st
 x 20 = SQUARE FOOTAGE FACTOR
 9540 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 220 = LINEAR STREET FRONTAGE ON CHATEAU PARKWAY
 x 10 = SQUARE FOOTAGE FACTOR
 2200 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 11740 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 12472 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD PROVIDED
 11740 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 302 = SF PER LANDSCAPE YARD TREE
 24 = TOTAL LANDSCAPE YARD TREES REQUIRED
 18 = TOTAL LANDSCAPE YARD SHADE TREES PROVIDED
 19 = TOTAL LANDSCAPE YARD ORNAMENTAL TREES PROVIDED

AVERAGE LOT DEPTH	SQ. FT. FACTOR
175' OR LESS	8 SF/LIN FT
175'-275'	10 SF/LIN FT
275'-375'	15 SF/LIN FT
375'+	20 SF/LIN FT

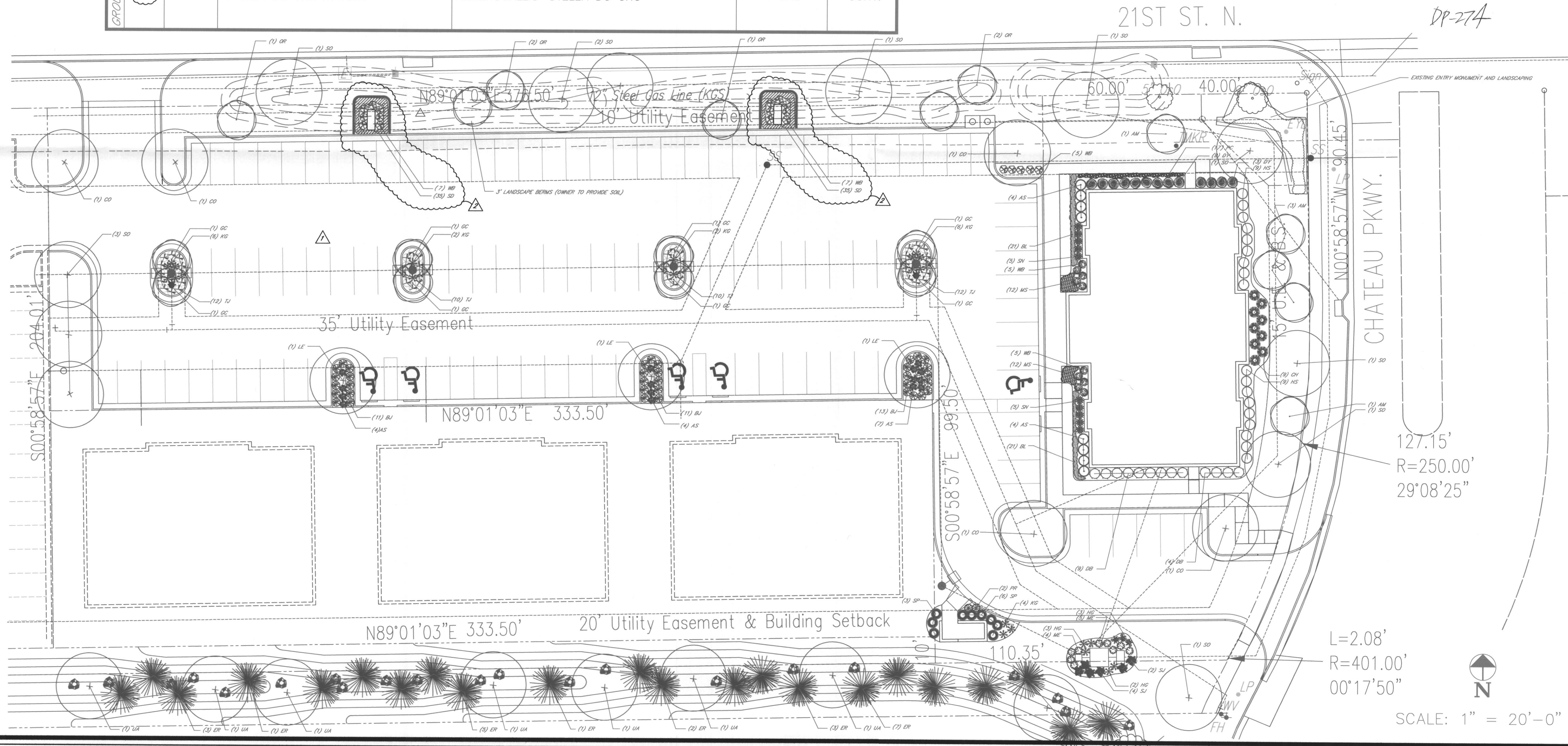
PARKING LOT SCREENING AND LANDSCAPING
 111 = TOTAL NUMBER OF PARKING SPACES
 20 = NUMBER OF PARKING SPACES PER TREE
 6 = TOTAL PARKING LOT TREES REQUIRED
 8 = TOTAL PARKING LOT SHADE TREES PROVIDED
 11 = TOTAL PARKING LOT ORNAMENTAL TREES PROVIDED
 CONTINUOUS PARKING LOT SCREEN REQUIRED
 CONTINUOUS PARKING LOT SCREEN PROVIDED WITH LANDSCAPE BERM
 (1/2 OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

PERIMETER BUFFERS W/O SCREENING
 444 = LIN. FT OF ADJUTING PROPERTY
 30 = LIN. FT PER BUFFER TREE + 5 SHRUBS
 15 = TOTAL BUFFER TREES REQUIRED
 9 = TOTAL BUFFER SHADE TREES PROVIDED
 22 = TOTAL BUFFER CONIFER TREES PROVIDED
 LANDSCAPE BERM PROVIDED IN LIEU OF SHRUBS

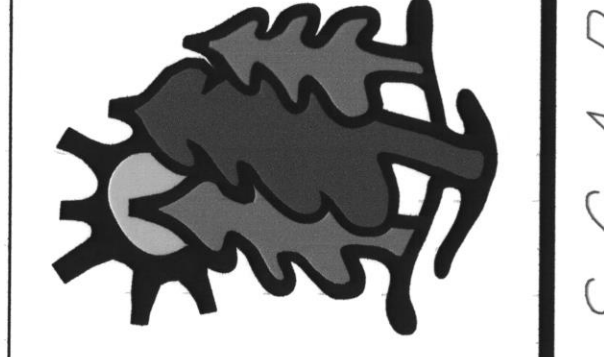
LANDSCAPE PLAN

APPROVED 2/5/15 BY *NCS*

DP-274



TREE TOP
 NURSERY & LANDSCAPING, INC.
 5910 E. 37th NORTH
 WICHITA, KS 67220
 TEL 316.686.7491
 FAX 316.686.9625

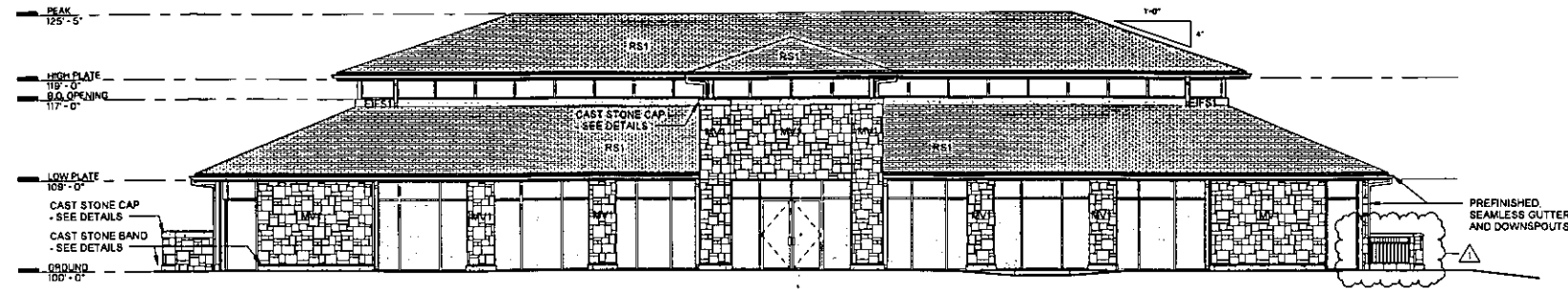


OAK CREEK OFFICE PARK
 21st STREET NORTH AND CHATEAU PARKWAY
 WICHITA, KANSAS
 LANDSCAPE PLAN

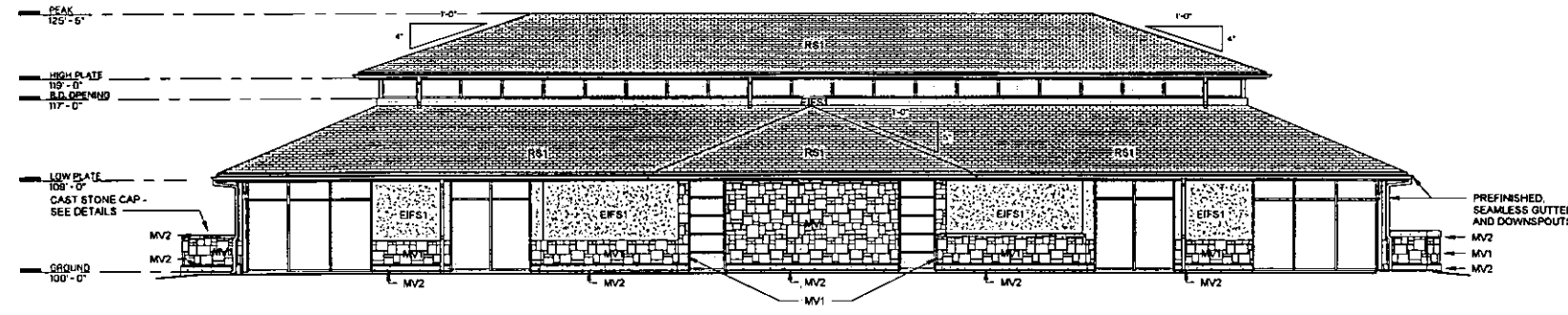
DRAWN BY: DRS		
DATE: 3.03.09		
NO.	REVISION	DATE
1	signage	3.11.09
2	signage	10.13.10

SHEET: L1

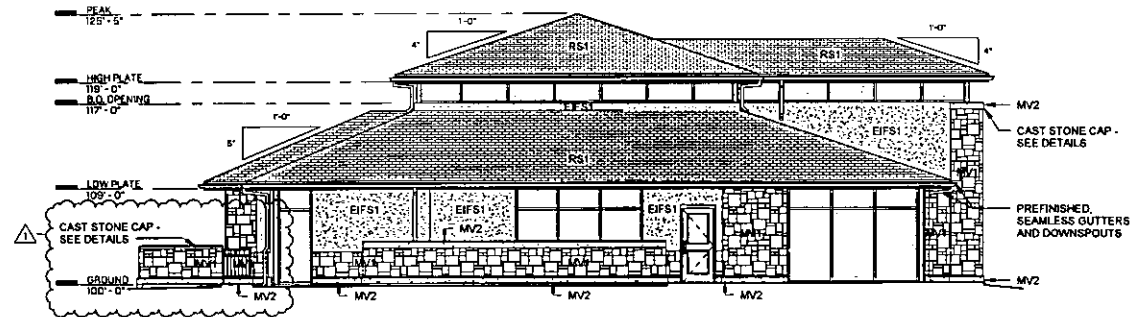
RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN



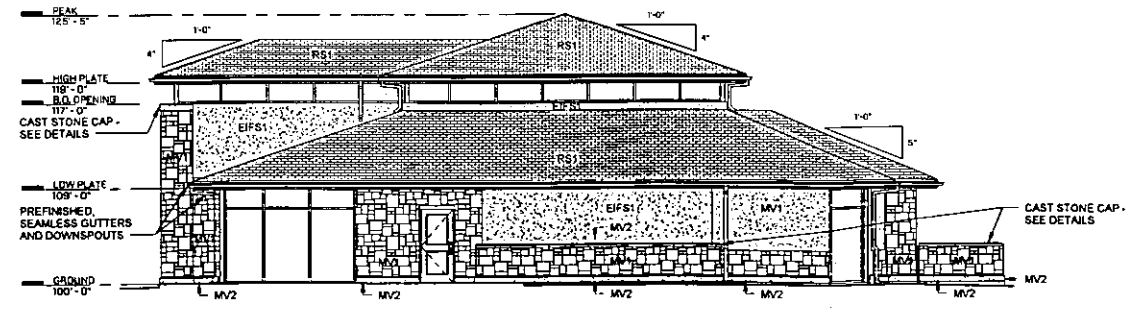
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

- A. FOR DOOR SCHEDULES REFER TO SHEET AS.0.
- B. FOR WINDOW SCHEDULES REFER TO SHEET AS.0.
- C. DIMENSIONS OF CONTROL JOINTS (CJ) SHOWN FOR DESIGN INTENT. ACTUAL DIMENSIONS MAY VARY TO ALIGN WITH MASONRY VENEER COURSING.
- D. EXTERIOR FINISH & INSULATION SYSTEM (EIFS) IN LEGEND BELOW, EQUAL TO: STOTHERM GIESSEN NEXT SYSTEM CONSISTING OF: STO ESSENCE FINE SAND FINISH COAT, COLORS AS LISTED BELOW, OVER BASE COAT OVER FIBERGLASS MESH, WITH STO ARMOR MAT FOR THE BOTTOM 3'-0" OVER BASE COAT ON 1-1/2" EPS INSULATION BOARD, (BACK WRAPPED AT EDGES) AND MAINTAINING 3/8" JOINT AROUND DOORS AND WINDOW FRAMES, ADHERED WITH BASE COAT ADHESIVE, IN 3/8" VERTICAL RIBBONS AT 1-1/2" TO 2" CRT'S, OVER STO GOLD COAT LIQUID AIR / DRAINAGE BARRIER INCLUDING 40 MIL BASE SHEET MEMBRANE DETAIL STRIP AT BASE HORIZONTAL JOINT BETWEEN CONCRETE FLOOR EDGE, STARTER TRACK WITH WEEPS ALONG BOTTOM (1/2" ABOVE CONCRETE SIDEWALK OR APRON WHERE THEY OCCUR, RETURN MEMBRANE INTO DOOR AND WINDOW OPENINGS WITH GOLD FILL, STOGUARD MESH WITH STO-GOLD LIQUID AIR / DRAINAGE BARRIER OR 2" WIDE STRIP ON FACE AND RETURN OF RAPID-FLASH SEALANT, ALL OVER 5/8" FIBER MATT FACED DENS-GLASS SHEATHING BOARD. USE GOLD FILL TO FILL SCREW HOLE DEEPER THAN 1/16".
- E. MATERIAL LEGEND AS INDICATED BELOW.

	MV1 - MASONRY VENEER 1 US STONE 5050 BLEND OF COTTONWOOD & SILVERDALE 4'-6" HEIGHTS - TUMBLED
	MV2 - CAST STONE "BANDING" SIZE VARIES - SEE DETAILS ARCHITECTURAL CAST STONE COLOR: WHITE
	EIFS1 - EXTERIOR INSULATION FINISHING SYSTEM 1 DRYVT DPR FINISH W/ SANDBLAST TEXTURE COLOR: #448 BUCKSKIN
	CMU1 - CONCRETE MASONRY UNIT CMU, SIZE PER PLAN AND SECTIONS PAINTED WHERE EXPOSED, COLOR TO MATCH DRYVT
	GLAZ1 - GLAZING 1 INSULATED GLASS UNIT IN ALUMINUM STOREFRONT FRAMING SYSTEM - REF. WINDOW FRAME TYPES FOR DETAILS
	RS1 - ROOF SYSTEM (SEE ROOF PLAN) BORAL SAXONY "SLATE" NORMAL WEIGHT CONCRETE ROOF TILE COLOR: ROCKY MOUNTAIN COBBLESTONE

APPROVED

DP-274 Arch Rev per GP#10

Date: 10-23-17 *[Signature]*

LEAD. INSPIRE. RESPECT. CONSTRUCT.



TEL 316 942 6055 | FAX 316 942 0001 | 2229 S. WYKE ST., WICHITA, KS 67213 | HuttonConstruction.com

A NEW OFFICE BUILDING FOR
OAK CREEK LAW

10585 E. 21st St N., Wichita, KS



Issue	Date
FOR PERMIT	10/03/17
CITY COMMENTS	10/18/17
Project Number	170023

A2.0
EXTERIOR ELEVATIONS

LEGAL DESCRIPTION

Lots 3, Block 1, Oak Creek Office Park, an Addition to Wichita, Sedgewick County, Kansas.

SITE INFORMATION

Total Area: 211,296.3 sq. ft. (9.37 acres)
 Disturbed Area: 211,296.3 sq. ft. (9.37 acres)
 Impervious Area, pre-constr: 28.8 sq. ft. (0.66 acres)
 Impervious Area, post-constr: 28,282.7 sq. ft. (0.65 acres)

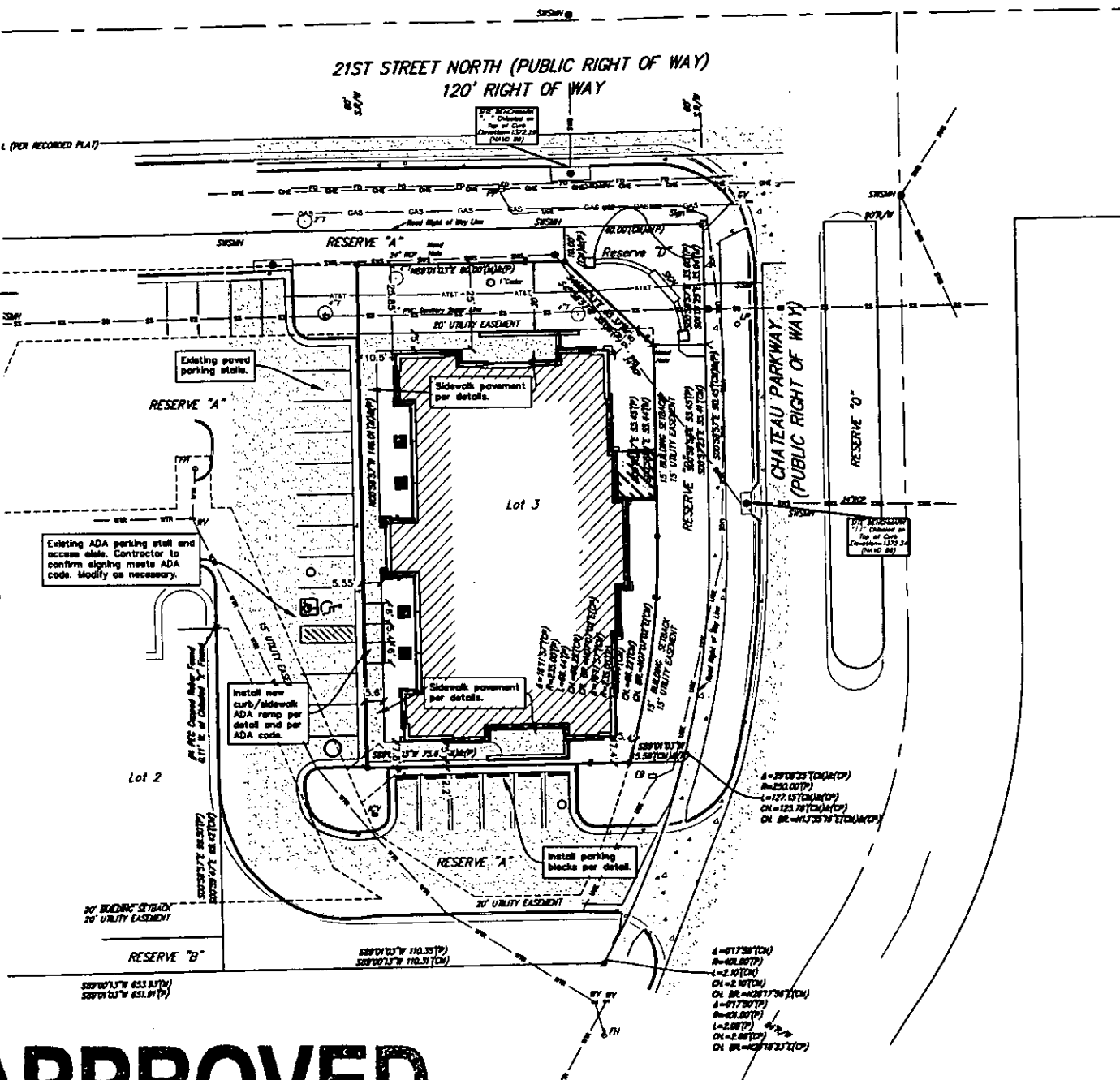
BENCHMARKS

RITE BENCHMARK-1
 "1" Chiselled on Top of Curb at Storm Inlet near NE corner of the subject property, on south side of 21st Street N.
 Elevation=1372.29 (NAVD 88)

RITE BENCHMARK-2
 "2" Chiselled on Top of Curb at Storm Inlet east of east property line of subject property, on west side of Chateau Parkway.
 Elevation=1372.34 (NAVD 88)

LAYOUT NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.
 - The Contractor must notify the following in case of an emergency:
 Kansas One Call 1-800-DIG-SAFE
 Kansas Gas Service (Gas).....1-888-482-4850
 Black Hills Energy (Gas).....1-800-363-0357
 Weator Energy (Electric).....383-8850
 Cox Communications (Telecommunication).....282-4270
 AT&T (Telecommunication).....288-2759
 City of Wichita Water Dept. (Water).....288-4563
 or 288-4806
 or 388-4024
 City of Wichita Sewer Maint.(San. Sewer).....or 282-6000
 City of Wichita Storm Sewer Maint. (Storm Sewer).....288-4080
 City of Wichita Traffic Maint.(Tral. Control).....288-4034
 or 288-4203
 Conoco Pipeline Co. (Petroleum).....1-800-231-2551
 Williams Pipeline Co. (Petroleum).....529-6600
 or 1-800-324-9888
 Phillips Pipeline Co. (Petroleum).....1-800-766-8230
 - Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
 - Traffic affected by demolition on this project shall be handled in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
 - The Contractor shall provide appropriate signage throughout the sequence of construction clearly stating where construction entrances are.
 - The Contractor shall take all necessary precautions to protect the general public during the construction and demolition process. This may include the use of fences and signage.
- LAYOUT**
- Signage and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
 - Dimensions shown are to face of curb or edge of pavement unless otherwise noted.

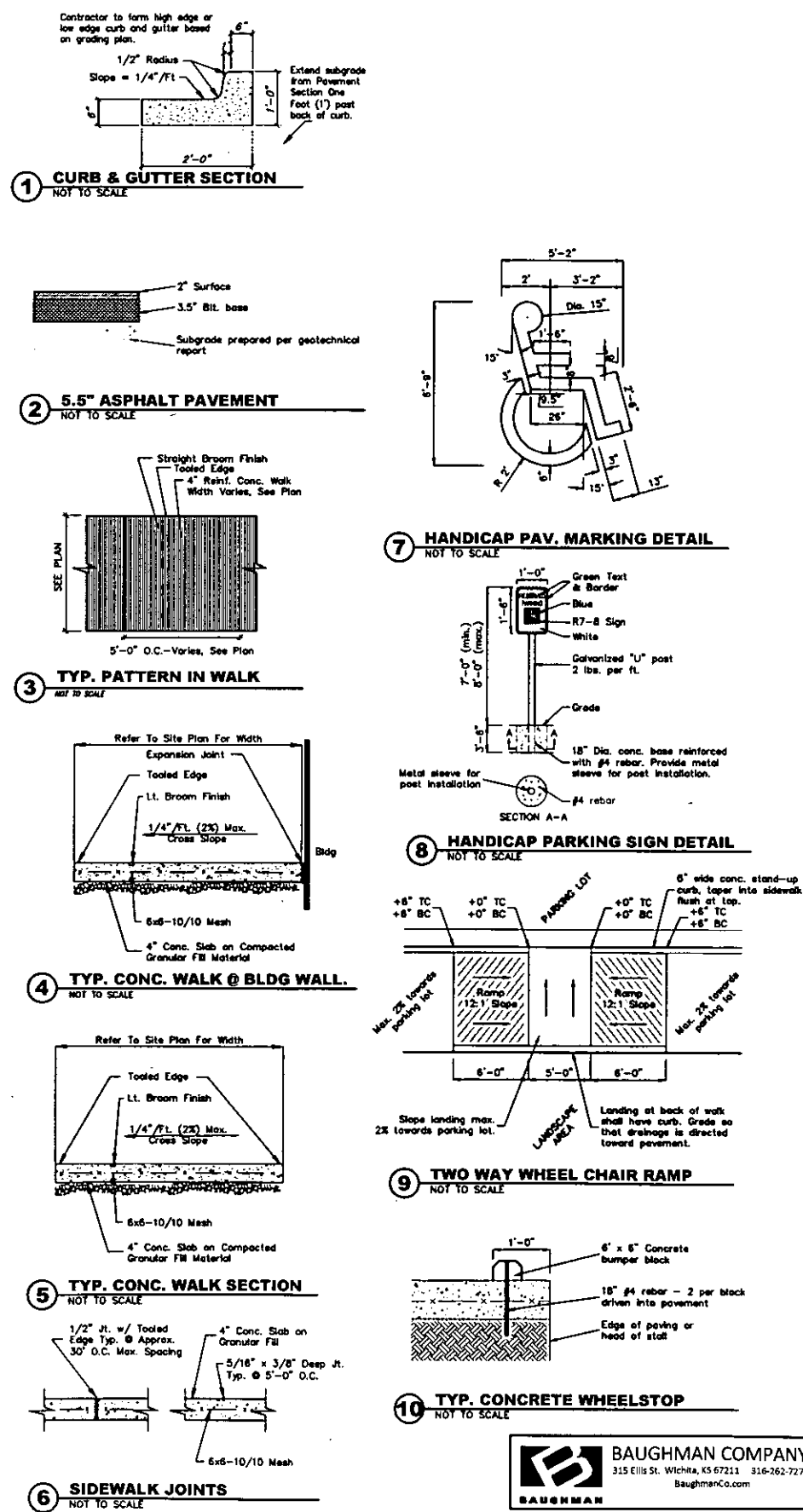


APPROVED

SITE DIMENSION PLAN
 Scale 1" = 20' 0"

DP-274 S.I.C. Circ + Ped. Walk Plan per GP #19 + #23

Date: *10-23-17* *JK*



LEAD. INSPIRE. RESPECT. CONSTRUCT.



A NEW OFFICE BUILDING FOR
OAK CREEK LAW



ISSUE	Date
FOR PERMIT	09/14/17
CITY COMMENTS	10/18/17
Project Number	170023

C1.0
 SITE DIMENSION PLAN





Wichita-Sedgwick County Metropolitan Area Planning Department

January 18, 2018

Slawson Commercial Properties
727 N Waco, Suite 400
Wichita, KS 67203

Slawson Commercial Properties
Attn: David Hambrick , V.P Construction
727 N. Waco, Suite 400
Wichita, KS 67203

Re: CUP2018-00002: Administrative Adjustment to reduce the front setback by 20% on property zoned SF-5 Single-Family Residential in the Oak Creek Community Unit Plan DP-274

Legal Description: LOT 16, Block 1, Glenview Addition, Wichita, Sedgwick County, Kansas; generally located south of East 21st Street North and west of North Greenwich Road (10606 Glengate Circle)

Dear Applicants,

We have reviewed your request for an Administrative Adjustment to reduce the front setback on the aforementioned property. From reviewing the application, we understand that you desire to reduce the front setback from 25-feet to 20-feet so that you may build a new residence as proposed in the attached site plan.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

The "Development Application" sign should now be removed from the property.

Dale Miller, Director
Metropolitan Area Planning Department

Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Pete Meitzner, CM District II
Laura Rainwater, Community Service Representative, District II



Wichita-Sedgwick County Metropolitan Area Planning Department

February 26, 2018

Rebecca A Whitlock Living Trust
121 W. Prairie Lakes Drive
Hesston, KS 67062-9063

MKEC Engineering
Attn: Brian Lindebak
411 N. Webb Road
Wichita, KS 67206

Re: CUP2018-00008: Administrative Adjustment to reduce the front setback by 20% on property zoned SF-5 Single-Family Residential in the Oak Creek Community Unit Plan DP-274

Legal Description: LOT 12, Block 1, Glenview Addition, Wichita, Sedgwick County, Kansas; generally located south of East 21st Street North and west of North Greenwich Road (East Glengate Circle)

Dear Applicants,

We have reviewed your request for an Administrative Adjustment to reduce the front setback on the aforementioned property. From reviewing the application, we understand that you desire to reduce the front setback from 25-feet to 20-feet so that you may build a new residence as proposed in the attached site plan.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

The "Development Application" sign should now be removed from the property.

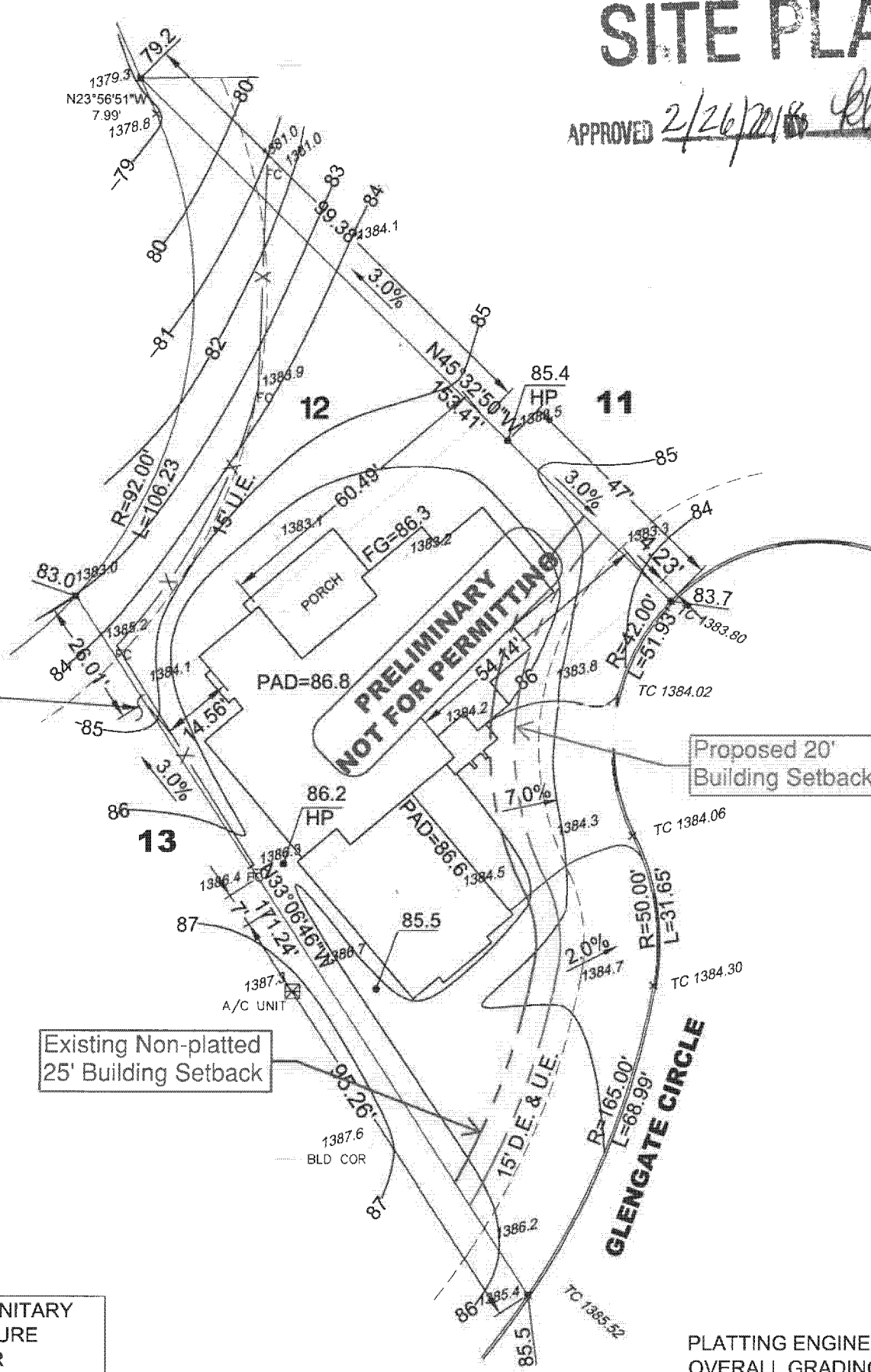
Dale Miller, Director
Metropolitan Area Planning Department

Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Pete Meitzner, CM District II
Laura Rainwater, Community Service Representative, District II

SITE PLAN

APPROVED 2/26/2018 *R. M. Moga*



COORDINATE W/
NEIGHBORING
PROPERTY FOR
FENCE PLACEMENT
AND GRADING

**PRELIMINARY
NOT FOR PERMITTING**

Proposed 20'
Building Setback

Existing Non-platted
25' Building Setback

* BUILDER TO VERIFY SANITARY SEWER DEPTH TO ENSURE ADEQUATE GRADE FOR SANITARY SERVICE.

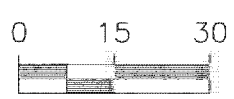
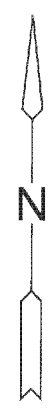
PLATTING ENGINEER: PEC (262-2691)
OVERALL GRADING PLAN: PEC (262-2691)
UTILITIES, PAVING, & GRADING TAKEN FROM OVERALL GRADING PLAN

GENERAL NOTES

1. Builder shall provide retaining walls along property line for grade transitions when required to maintain proper slopes between houses.
2. This drawing is provided for grading purposes only.
 - drawing does not represent a boundary or mortgage title inspection. Easement and Building Setback information shown is from the recorded plat unless otherwise indicated.
 - Utilities shown are for information only, and builder shall verify depths and locations prior to construction. Builder will be required to provide a minimum advance notice of seventy-two (72) hours to utility companies prior to starting any excavation as follows: Kansas One Call 1-800-344-7233 or 687-2470 (local Wichita).
3. Care should be taken to protect existing sidewalk. Sidewalk may need to be removed and replaced due to damages from construction and/or to more gradually slope driveway from house to curb.

LEGEND

TF	TOP OF FOUNDATION	WO PIT	WALK-OUT/WALK-UP PIT
BF	BASEMENT FLOOR	ADD STEP	STEP FROM GARAGE TO TF
TC	TOP OF CURB	PAD	ELEV. @ GARAGE OPENING
FL	FLOW LINE	FG	FINISHED GROUND
HP	HIGH POINT	INL	INLET
VO	VIEW OUT	000.00	EXISTING ELEVATIONS
WO	WALK OUT	XX.X	PROPOSED ELEVATIONS
BSMT	BASEMENT	2.0%	FLOW ARROW & % SLOPE
TW	TOP OF WALL		DROP SIDING/BRICK LEDGE



BENCHMARK:	DISTANCE FROM HOUSE TO PROPERTY LINE	
BM = Square Cut Top of Curb Between Lots 8 & 9, Block 1. ELEV. = 1384.96 NGVD 29	FRONT	20.00'
	REAR	27.35'
	LEFT	6.00'
	RIGHT	13.41'

ADMIN ADJUSTMENT- SHIFT FORWARD	1-26-2018
REVISION	DATE

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www.mkec.com
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GLENVIEW ADDITION LOT 12, BLOCK 1					
BUILDER: NIES HOMES, INC.					
PAD	1386.8	MINIMUM PAD	N/A	DRAWN BY	ABW
SSWR F.	*	BFE	N/A	DESIGNED BY	JTC
BF - SSWR	*	DATUM	NGVD29	APPROVED BY	GJA
					DATE: JANUARY 2018
					SHEET NO. 1-12-GV 18222-03

MKEC ENGINEERING - ADDITIONAL ADMINISTRATIVE ADJUSTMENT VAL-12-GV-DWG



Wichita-Sedgwick County Metropolitan Area Planning Department

June 11, 2018

Slawson Commercial Properties, LLC
Attn: David Hambrick
727 N. Waco, Suite 420
Wichita, KS 67203

Professional Engineering Consultants, P.A.
Attn: Charlie Brown
303 S. Topeka
Wichita, KS 67202

RE: CUP2018-00022 – City Administrative Adjustments to Oak Creek Community Unit Plan DP-274 Parcel 19 as a result of a replat (SUB2018-05) of Carriage Oaks Addition.

Legal Description: A replat of Lots 1 through 14, Block 1; Lots 1 through 20, Block 2; Lots 1 through 11, Block 3; and Reserves “A”, “B”, “C”, “D”, “E”, “F”, “G”, and “H”; and all streets lying within Carriage Oaks, an Addition to Wichita, Sedgwick County, Kansas.

Dear Applicants:

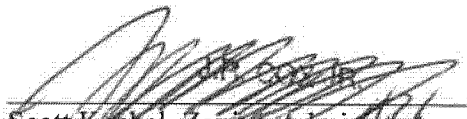
We received and reviewed your request for an Administrative Adjustment CUP2018-22 to reflect the replat of Carriage Oaks Addition to Wichita, Sedgwick County, Kansas.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The “Development Application” sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


Dale Miller, Director
Metropolitan Area Planning Department


Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Pete Meitzner, CM District II
Laura Rainwater, CSR, District II

LANDSCAPE PLAN

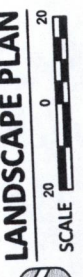
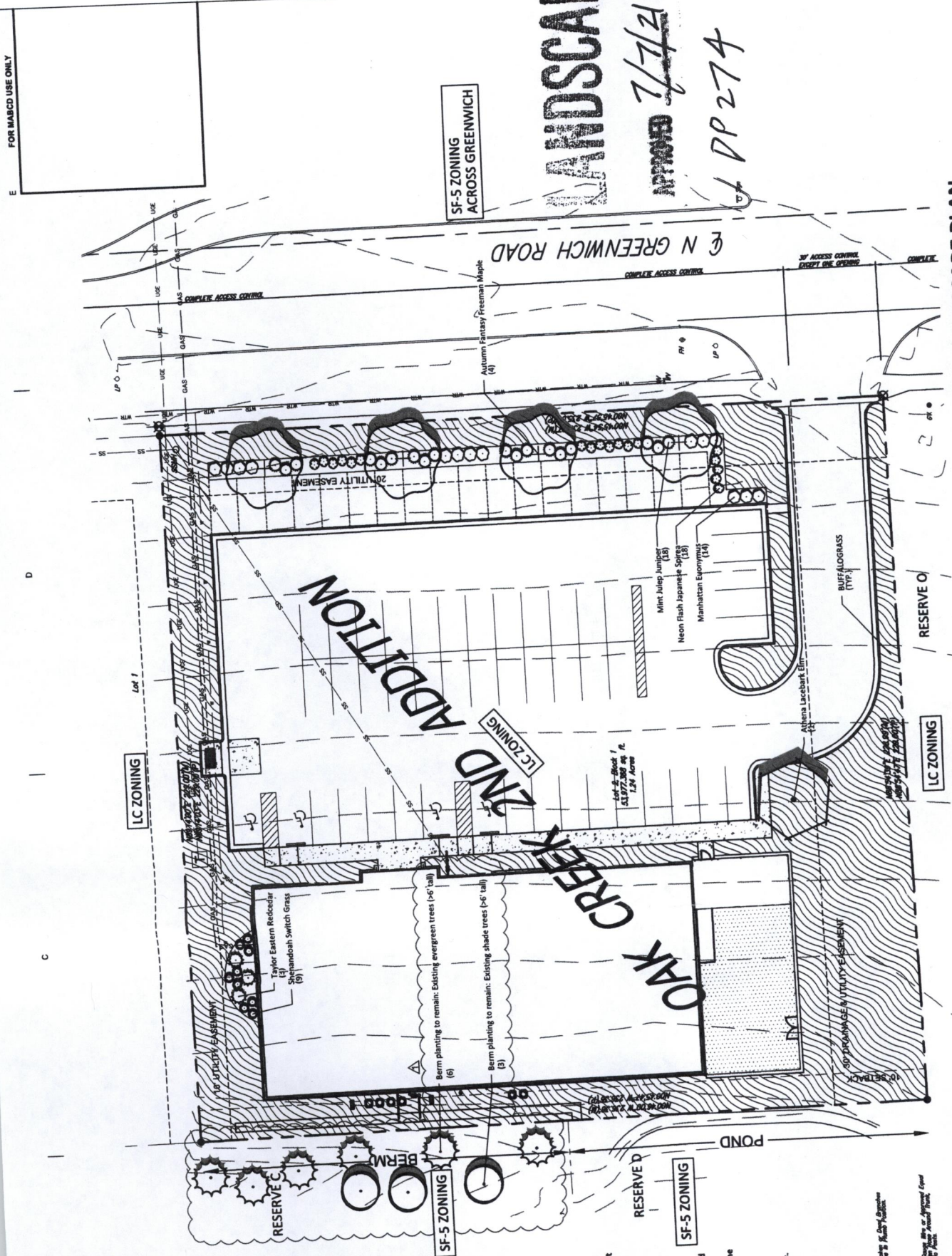
DESIGN PROJECT NUMBER: DS-21020
 1819 N. GREENWICH ROAD
 WICHITA, KS 67206
TRUE PHYSICAL THERAPY AND NEW PHYSICAL THERAPY CLINIC AND TENANT FINISH-OUT

Issue: **FOR PERMIT**
 Date: 06.03.2021

REVISIONS
 Description: ASI-01
 Date: 07.01.2021

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 LANDSCAPE PLAN

BAUGHMAN COMPANY
 315 EIBS ST. WICHITA, KS 67211 316-262-7271
 baughmanco.com



COMMON NAME	BOTANICAL NAME	QTY	CONTR.
AUTUMN FANTASY FREEMAN MAPLE	ACER X FREEMANI 'DR 102' TM	4	2" CALIPER MIN.
TAYLOR EASTERN REDCEDAR	JUNIPERUS VIRGINIANA 'TAYLOR'	3	5' TALL MIN.
ATHENA LACEBARK ELM	ULMUS PARVIFOLIA 'ATHENA'	1	2" CALIPER MIN.
COMMON NAME	BOTANICAL NAME	QTY	CONTR.
MANHATTAN ELIOMYRUS	EVONYMUS KNAUTSCHOVICUS 'MANHATTAN'	14	18" TALL / 2 GAL MIN.
MINT JALEP JUNIPER	JUNIPERUS CHENSIS 'MINT JALEP'	18	18" TALL / 2 GAL MIN.
SHEWANOAH SWITCH GRASS	PANICUM VIRGATUM 'SHEWANOAH'	9	18" TALL / 2 GAL MIN.
NEON FLASH JAPANESE SPirea	SPirea JAPONICA 'NEON FLASH'	18	18" TALL / 2 GAL MIN.
COMMON NAME	BOTANICAL NAME	QTY	CONTR.
SEED	CODY BUFFALO GRASS	14,788 SF	

LANDSCAPE CALCULATIONS

(Landscape Plan subject to requirements of Community Unit Plan DP-274)
STREET YARD
 Lot depth: 229'
 Square Footage factor: 10
 Street Frontage: 235.07'
 235.07' x 10 = 2,350.7 sq. ft. landscaped street frontage required
 Provided: 3,400 sq. ft.
 Trees required: 2.351 / 500 = 5 trees required
 Provided: 5
WEST SIDE BUFFER
 Required adjacent to Reserve C: No buffer required due to berm.
 Required adjacent to Reserve D: No buffer required adjacent to pond.
PARKING LOT SCREENING & LANDSCAPING
 Continuous shrub screen provided:
 Trees required: 1/70 stalls
 Total parking stalls: 68 (including Alt. #1 parking option)
 867/70 = 12.4 trees required
 Provided: 2.5 (half of street yard trees), due to utilities and easements.

PLANT SCHEDULE

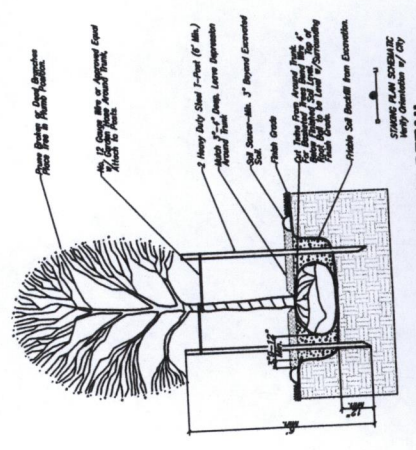
TREES	SHRUBS	GROUND COVERS
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LANDSCAPE NOTES

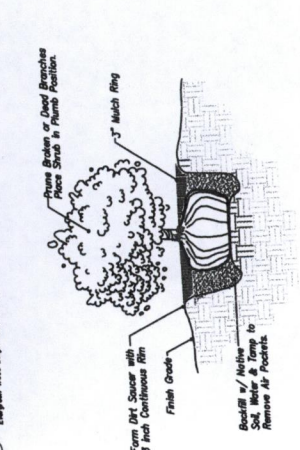
- All landscape work shall be done in accordance with industry standards.
- Turf areas shall be seeded at 2.5 to 3 lbs per 1,000 sq ft and fertilized at 40 lbs per acre.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by filling all existing vegetation with bound-up (or equal) according to label directions. A Pre-emergent herbicide such as Trifluralin (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic mulch (such as cotton burr mulch, compost, or humus) and shall be riddled in to a depth of 10-12".
- Mulch all planting beds with min. 3" of mulch. Mulch all tree saucer wells with min. 3" of mulch. Mulch material to be premium cedar mulch of uniform consistency.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be 10 gauge thickness, commercial grade, or approved equal.
- General Contractor to supply and place at a depth of 4" all topsoil on site within the Limits of Construction.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition.
- Refer to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 867-2070 / 1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The Landscape Contractor shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner.
- The Landscape Contractor shall coordinate with the G.C. to install the plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- Fall planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For grass seeding, fall season shall be September 1 thru mid October. Spring season for seeding shall be from March 15 thru mid May.
- Plants are to be watered manually until established. If automatic irrigation system is desired, refer to Irrigation Notes below.

IRRIGATION NOTES

- Automatic irrigation systems shall be equipped with an automatic rain sensing device.
- All irrigation work is to be installed in compliance with all local codes and regulations.
- The Irrigation Contractor does not start irrigation construction until final shop drawings are published and approved to the Landscape Architect and/or local code authority. Shop drawings shall include: pipe size, pipe material, pipe location, pipe depth, pipe diameter, pipe fittings, pipe head cover, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing.
- Prior to construction, Irrigation Contractor to locate all existing and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- Heads to be adjusted to not spray on buildings, walks, or drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray Heads to be located and used so not to be susceptible to damage by automobile overhangs.
- Irrigation Contractor shall coordinate with Paving Contractor to locate and install required irrigation lines allowing prior to any paving. Combine piping when possible to save on sleeving material. Sleeves to be min. 20" below finish grade. Verify final depth w/ Paving Contractor for adequate coverage.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
- Irrigation Contractor to verify location of water supply with GC prior to installation of system. Irrigation Contractor shall verify static pressure.
- Locate Irrigation Controller per Owner's direction.



TREE PLANTING & STAKING DETAIL



LEGAL DESCRIPTION

Lot 2, Block 1, Oak Creek Znd, an Addition to Wichita, Sedgewick County, Kansas.

SITE INFORMATION

Total Area:	53,683 sq. ft. (1.23 acres)
Disturbed Area:	53,683 sq. ft. (1.23 acres)
Impervious Area, pre-const:	50 sq. ft. (0.00 acres)
Impervious Area, post-const:	233,380 sq. ft. (0.77 acres)

BENCHMARKS

Site Benchmark - 1
 Chisled on back of sidewalk
 Elevation = 1366.08 (NAVD 88)

KANSAS ONE CALL

Contractor shall be required to provide notices to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.
 Kansas One Call 1-800-255-4474