

TYLER POINTE
COMMUNITY UNIT PLAN DP-329

GENERAL PROVISIONS:

1. ALL UTILITIES SHALL BE INSTALLED UNDER GROUND.
2. MINIMUM BUILDING SETBACKS SHALL BE AS INDICATED ON THE PLAT, OR AS ADJUSTED HEREON. IF CONTIGUOUS PARCELS ARE DEVELOPED UNDER THE SAME OWNERSHIP SIDE SETBACKS BETWEEN THOSE PARCELS WILL NOT BE REQUIRED, OTHERWISE INTERIOR SIDE SETBACKS SHALL BE PER THE ZONING CODE.
3. PARKING RATIO SHALL BE IN ACCORDANCE WITH THE UNIFIED ZONING CODE OF THE CITY OF WICHITA.
4. A DRAINAGE PLAN WILL BE SUBMITTED TO THE CITY ENGINEERING FOR APPROVAL AT THE TIME OF PLATTING. IF REQUIRED, GUARANTEES FOR DRAINAGE SHALL BE PROVIDED AT THE TIME OF PLATTING IMPROVEMENTS. A COVENANT SHALL BE PROVIDED TO DEFINE MAINTENANCE RESPONSIBILITIES OF THE DRAINAGE EASEMENT.
5. SIGNAGE SHALL BE IN ACCORDANCE WITH THE SIGN CODE OF THE CITY OF WICHITA FOR LC ZONING. LED SIGNAGE WILL BE PERMITTED. NO PORTABLE OFF SITE SIGNS, AS DEFINED BY THE SIGN CODE, SHALL BE PERMITTED.
6. A FIRE LANE, HARD SURFACED AND TWENTY-FOUR (24) FEET (20 FEET ONE-WAY TRAFFIC) MINIMUM IN WIDTH, SHALL BE PROVIDED AROUND ALL MAIN STRUCTURE TO BE CONSTRUCTED WITHIN PARCELS 1 THROUGH 5. SAID FIRE LANE SHALL BE A 3-1/2 INCH ASPHALT BASE WITH 1-1/2 INCH ASPHALT SURFACE OR THE EQUIVALENT THEREOF. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANE, ALTHOUGH IT MAY BE USED FOR THE PASSENGER LOADING AND UNLOADING. PRIOR TO FINAL APPROVAL OF EACH PARCELS PARKING PLAN, THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE, SHALL APPROVE THE PLAN AS TO LOCATION OF SUCH FIRE LANES.
7. A LANDSCAPE PLAN PREPARED BY REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF KANSAS IN COMPLIANCE WITH THE LANDSCAPE ORDINANCE INDICATING THE TYPE, LOCATION, AND SPECIFICATION OF PLANT MATERIAL, SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO ITS ISSUANCE OF BUILDING PERMITS. LANDSCAPING AND SCREENING FOR THE EAST SIDE OF PARCELS 1 AND 2 SHALL BE INSTALLED ON THE PROPERTY EAST OF AND ADJACENT TO PARCELS 1 AND 2. A COVENANT SHALL BE PROVIDED TO DEFINE MAINTENANCE RESPONSIBILITIES OF THE LANDSCAPING.
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9. LIGHTING - OUTSIDE LIGHTING SHALL BE CONSISTENT THROUGHOUT THE CUP (FIXTURES, POLES, LAMPS, ETC.), EXCEPT FOR PARCEL 5 IF THE LAND USE IS CONVENIENCE STORE OR SIMILAR. LIGHT POLES SHALL BE NO TALLER THAN 25 FEET (INCLUDING BASE AND FIXTURE).
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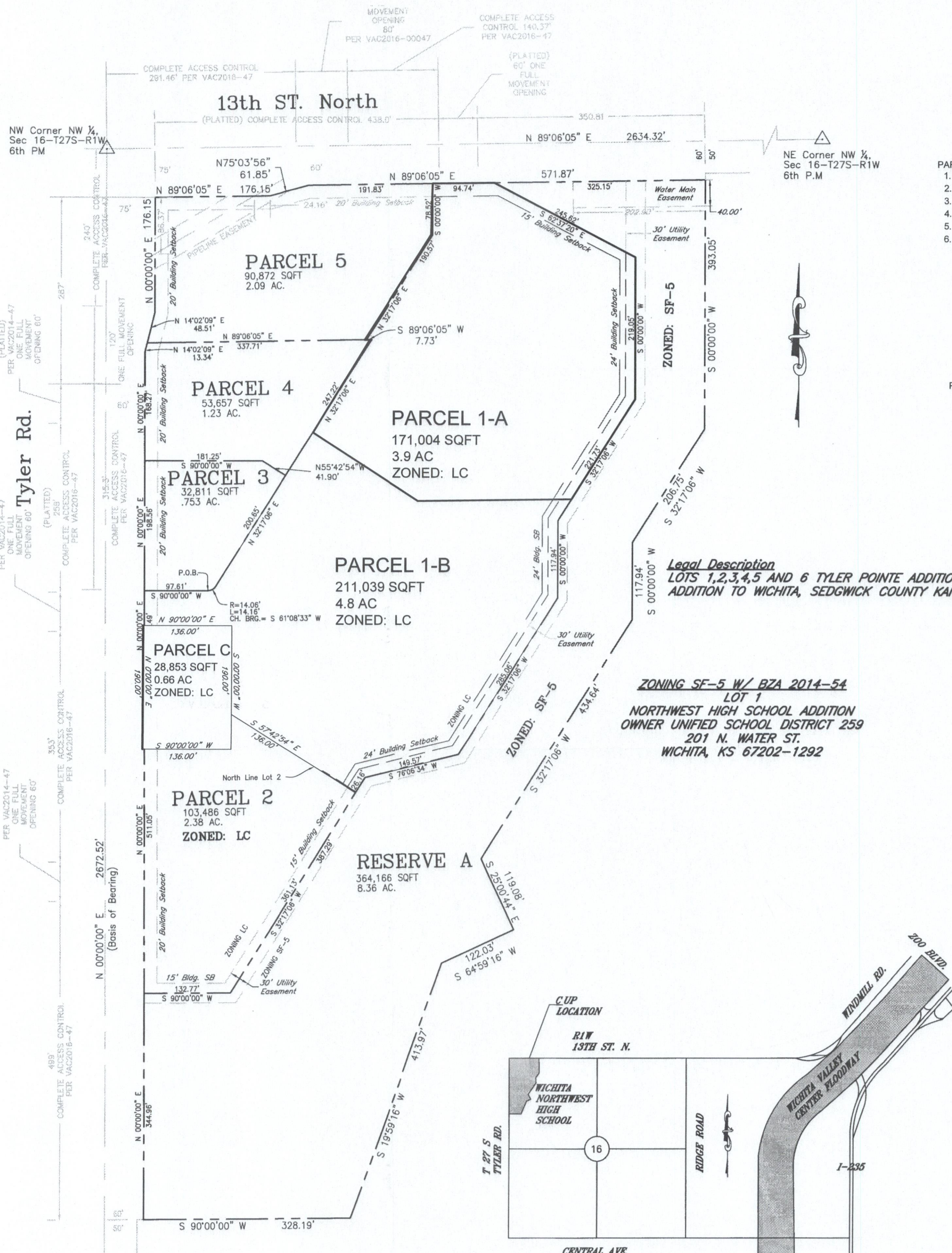
PARCEL DESCRIPTION:

- PARCEL 1-B
1. NET AREA: 211,039 SQFT
 2. MAXIMUM BUILDING COVERAGE: 35% / 73864 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 73864 SQFT
 5. FLOOR AREA RATIO: 35%
 6. PERMISSIBLE USES: ASSISTED LIVING, CHURCH OR PLACE OF WORSHIP; CONVALESCENT CARE FACILITY, (NURSING FACILITY); DAY CARE; LIBRARY; GOVERNMENTAL SERVICES; HOSPITAL; PRINTING AND COPYING, LIMITED; AUTOMATED TELLER MACHINE (ATM); BANK OR FINANCIAL INSTITUTION; BED AND BREAKFAST INN; BROADCAST OR RECORDING STUDIO; CONVENIENCE STORE; FUNERAL HOME; MEDICAL SERVICE; NURSERIES AND GARDEN CENTERS; OFFICE; PERSONAL CARE SERVICE; POST OFFICE; RECREATION AND ENTERTAINMENT; INDOOR RESTAURANT (DRIVE THROUGH ALLOWED); RETAIL, GENERAL; MONUMENT SALES.
- PARCEL C
1. NET AREA: 25,853 SQFT
 2. MAXIMUM BUILDING COVERAGE: 35% / 9049 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 9049 SQFT
 5. FLOOR AREA RATIO: 35%
 6. PERMISSIBLE USES: SAME AS PARCEL 1B.
- PARCEL 1-A
1. NET AREA: 171,004 SQFT
 2. MAXIMUM BUILDING COVERAGE: 35% / 59854 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 59,854 SQFT
 5. FLOOR AREA RATIO: 35%
 6. PERMISSIBLE USES: ASSISTED LIVING, CHURCH OR PLACE OF WORSHIP; CONVALESCENT CARE FACILITY, (NURSING FACILITY); DAY CARE; LIBRARY; GOVERNMENTAL SERVICES; HOSPITAL; PRINTING AND COPYING, LIMITED; AUTOMATED TELLER MACHINE (ATM); BANK OR FINANCIAL INSTITUTION; BED AND BREAKFAST INN; BROADCAST OR RECORDING STUDIO; CONVENIENCE STORE; FUNERAL HOME; MEDICAL SERVICE; NURSERIES AND GARDEN CENTERS; OFFICE; PERSONAL CARE SERVICE; POST OFFICE; RECREATION AND ENTERTAINMENT; INDOOR RESTAURANT (DRIVE THROUGH ALLOWED); RETAIL, GENERAL; MONUMENT SALES.
- PARCEL 2:
1. NET AREA: 103,486 SQFT
 2. MAXIMUM BUILDING COVERAGE: 30% / 31,046 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 31,046 SQFT
 5. FLOOR AREA RATIO: 30%
 6. PERMISSIBLE USES: SAME AS PARCEL 1.
- PARCEL 3:
1. NET AREA: 32,811 SQFT
 2. MAXIMUM BUILDING COVERAGE: 30% / 9,843 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 9,843 SQFT
 5. FLOOR AREA RATIO: 30%
 6. PERMISSIBLE USES: SAME AS PARCEL 1.
- PARCEL 4:
1. NET AREA: 53,657 SQFT
 2. MAXIMUM BUILDING COVERAGE: 30% / 16,097 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 16,097 SQFT
 5. FLOOR AREA RATIO: 30%
 6. PERMISSIBLE USES: SAME AS PARCEL 1A, TOGETHER WITH A CAR WASH PER CUP2019-03. SAID CAR WASH SHALL BE DEVELOPED IN COMPLIANCE WITH THE SUBMITTED SITE PLAN AND ALL PROVISIONS OF SECTION III-D(6)(i) OF THE U.Z.C.
- PARCEL 5:
1. NET AREA: 90,872 SQFT
 2. MAXIMUM BUILDING COVERAGE: 30% / 27,262 SQFT
 3. MAXIMUM BUILDING HEIGHT: 35'
 4. MAXIMUM FLOOR AREA: 27,262 SQFT
 5. FLOOR AREA RATIO: 30%
 6. PERMISSIBLE USES: SAME AS PARCEL 1.

NOTES AND CASE HISTORY:

LAND ZONING: LC (LIMITED COMMERCIAL)
TOTAL LAND AREA: 15.22 ACRES
ADJUSTMENT #3 CUP2017-0046 (PARCEL RECONFIGURATION / REDUCTION) 10/12/2017
ADJUSTMENT #2 CUP2016-0041 (ACCESS CONTROLS/PARCELS) OCT. 2016
ADJUSTMENT #1 CUP2016-000 LIGHT POLE HEIGHTS TO 25' MAY 18, 2015
AMENDMENT #1 CUP2014-00038(STRUCTURE HEIGHT PARCEL 2 AND REVISE PARCELS) JAN. 2, 2015

ZON2012-00028/CUP2012-00031 APPROVED BY C.C. NOV. 4, 2012
ADJUSTMENT #4: CUP2018-0054 (Lot split Parcel 1) 12/21/2018
AMENDMENT #3: CUP2019-03 (PERMIT CAR WASH IN PARCEL 4) APRIL 9, 2019
ADJUSTMENT #5: CUP (LOT SPLIT PARCELS 1 & 2) DECEMBER, 2020





Wichita-Sedgwick County Metropolitan Area Planning Department

February 11, 2021

Tyler Pointe LLC
8111 E. 32nd St. North, Suite 101
Wichita, KS 67226-2631

K.E. Miller Engineering
Attn: Kirk Miller
117 East Lewis
Wichita, KS 67202

RE: CUP2020-50 – City Administrative Adjustment to the Tyler Pointe Community Unit Plan #329 to split Parcel 1 (LSP2020-00016) and create Parcel 1-A and Parcel 1-B; generally located at the southeast corner of West 13th Street North and North Tyler Road

Legal Description: Lot 1, Block A, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to the Tyler Pointe CUP #329 to create Parcel 1-A and Parcel 1-B. The new modifications are listed in bold, italicized text as follows:

Parcel 1-A:

1. ***Net Area:*** 171,004 Sq. Ft.
2. ***Maximum Building Coverage*** 35% or 59,854 Sq. Ft.
3. ***Maximum Height:*** 35 feet
4. ***Max Floor Area:*** 59,854 Sq. Ft.
5. ***Floor Area Ratio:*** 35%
6. ***Permissible Uses: Assisted Living, Church or Place of Worship; Convalescent Care Facility (Nursing Facility); Day Care; Library, Governmental Services; Hospital; Printing and Copying, Limited; Automated Teller Machine (ATM); Bank or Financial Institution; Bed and Breakfast Inn; Broadcast or Recording Studio; Convenience Store; Funeral Home; Medical Service; Nurseries and Garden Centers; Office; Personal Care Service; Post Office; Recreation and Entertainment; Indoor Restaurant (Drive Through Allowed); Retail, General; Monument Sales.***

Parcel 1-B:

1. ***Net Area:*** 211,039 Sq. Ft.
2. ***Maximum Building Coverage*** 35% or 73,864 Sq. Ft.
3. ***Maximum Height:*** 35 feet
4. ***Max Floor Area:*** 73,864 Sq. Ft.
5. ***Floor Area Ratio:*** 35%
6. ***Permissible Uses: Assisted Living, Church or Place of Worship; Convalescent Care Facility (Nursing Facility); Day Care; Library Governmental Services; Hospital; Printing and***

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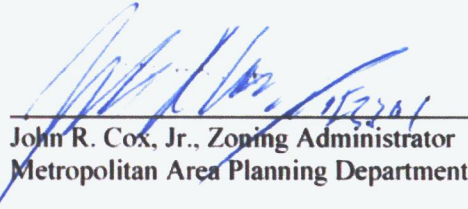
On the basis of our review, we find that adjusting CUP #329 in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that CUP DP-329 shall be adjusted as stated in this letter. This adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) new copies and one (1) electronic copy of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



Scott Wadle, Director
Metropolitan Area Planning Department



John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Bryan Frye, Council Member District V
Cory Buchta, CSR, District V

TYLER POINTE
COMMUNITY UNIT PLAN DP-329

PARCEL DESCRIPTION:

PARCEL 1:
1. NET AREA: 382,041 SQFT
2. MAXIMUM BUILDING COVERAGE: 35% / 133,714 SQFT
3. MAXIMUM BUILDING HEIGHT: 35'
4. MAXIMUM FLOOR AREA: 133,714 SQFT
5. FLOOR AREA RATIO: 35%
6. PERMISSIBLE USES: ASSISTED LIVING; CHURCH OR PLACE OF WORSHIP; CONVALESCENT CARE FACILITY, (NURSING FACILITY); DAY CARE; LIBRARY; GOVERNMENTAL SERVICES; HOSPITAL; PRINTING AND COPYING, LIMITED; AUTOMATED TELLER MACHINE (ATM); BANK OR FINANCIAL INSTITUTION; BED AND BREAKFAST INN; BROADCAST OR RECORDING STUDIO; CONVENIENCE STORE; FUNERAL HOME; MEDICAL SERVICE; NURSERIES AND GARDEN CENTERS; OFFICE; PERSONAL CARE SERVICE; POST OFFICE; RECREATION AND ENTERTAINMENT, INDOOR; RESTAURANT (DRIVE THROUGH ALLOWED); RETAIL, GENERAL; MONUMENT SALES.

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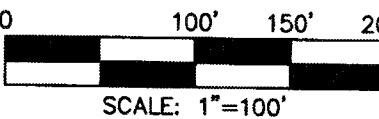
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(DP-329) AMEND. #3
APPROVED CUP
MAPC 3/7/19
WCC: 4/9/19
MAPD: 1 of 2



N.T.S.

13th STREET NORTH

PLANT LIST

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES					
CJ	47	CANAERT JUNIPER	<i>Juniperus chinensis 'Canaertii'</i>	9'-10' ht.	Balled-in-Burlap
CCP	14	CHANTICLEER PEAR	<i>Pyrus calleryana 'Cleveland Select'</i>	3" - 3 1/2" cal	Balled-in-Burlap
LE	3	LACEBARK ELM	<i>Ulmus parvifolia</i>	3" - 3 1/2" cal	Balled-in-Burlap
PC	6	PRARIEFIRE CRABAPPLE	<i>Malus species</i>	1.5" - 2" cal.	Balled-in-Burlap
SM	3	SUNSET MAPLE	<i>Acer rubrum 'Red Sunset'</i>	3" - 3 1/2" cal	Balled-in-Burlap
TH	8	THORNLESS HONEYLOCUST	<i>Gloditria triacanthos 'Shademaster'</i>	3" - 3 1/2" cal	Balled-in-Burlap
SHRUBS					
MCS	18	MAGIC CARPET SPIREA	<i>Spiraea japonica 'Magic Carpet'</i>	5 Gal.	Container
TJ	50	TAM JUNIPER	<i>Juniperus sabina 'Tamariscifolia'</i>	5 Gal.	Container
WB	48	WINTERGEM BOXWOOD	<i>Buxus microphylla koreana</i>	5 Gal.	Container
GROUNDCOVERS					
DAY	9	DAYLILLY	<i>Heimerocallis 'Stella'</i>	1 Gal.	Container

LANDSCAPE PLAN

APPROVED 3/29/16 BY NES

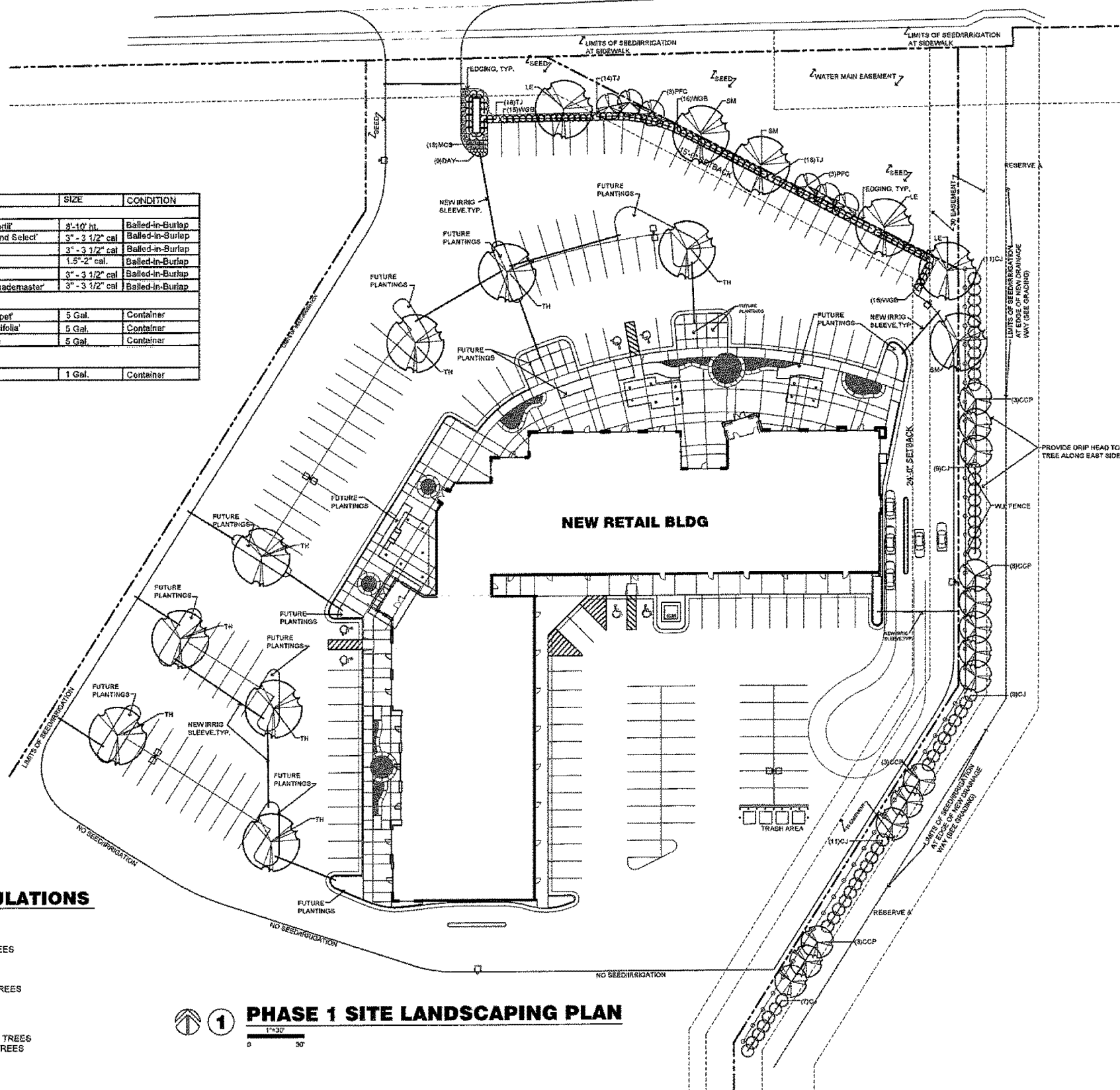
LANDSCAPE ORDINANCE CALCULATIONS

LANDSCAPE STREETYARD REQUIRED: 312 x 20 SF = 6,240 SF
LANDSCAPE STREETYARD SHOWN: 18,655 SF

STREETYARD TREES REQUIRED: 6,240 SF/500 = 12 SHADE TREES
STREETYARD TREES SHOWN: 6 LARGE TREES
6 ORNAMENTAL TREES

PARKING LOT TREES REQUIRED: 133/20 STALLS = 6 SHADE TREES
PARKING LOT TREES SHOWN: 8 SHADE TREES

EAST BUFFER REQUIRED: 445/40 = 11 SHADE TREES
EAST BUFFER SHOWN: 14 MEDIUM UPRIGHT SHADE TREES
47 UPRIGHT EVERGREENS TREES



1 PHASE 1 SITE LANDSCAPING PLAN

1"=30'
0 30'



SPANGENBERG PHILLIPS TICE
ARCHITECTURE
121 N Mead Ste 201 Wichita KS 67202
T 316.267.4002 F 316.267.1509
www.sptarchitecture.com

TYLER POINTE
RETAIL CENTER - PHASE 1
SOUTHEAST CORNER OF 13TH STREET & TYLER ROAD, WICHITA, KS.



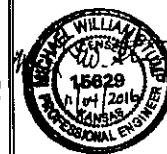
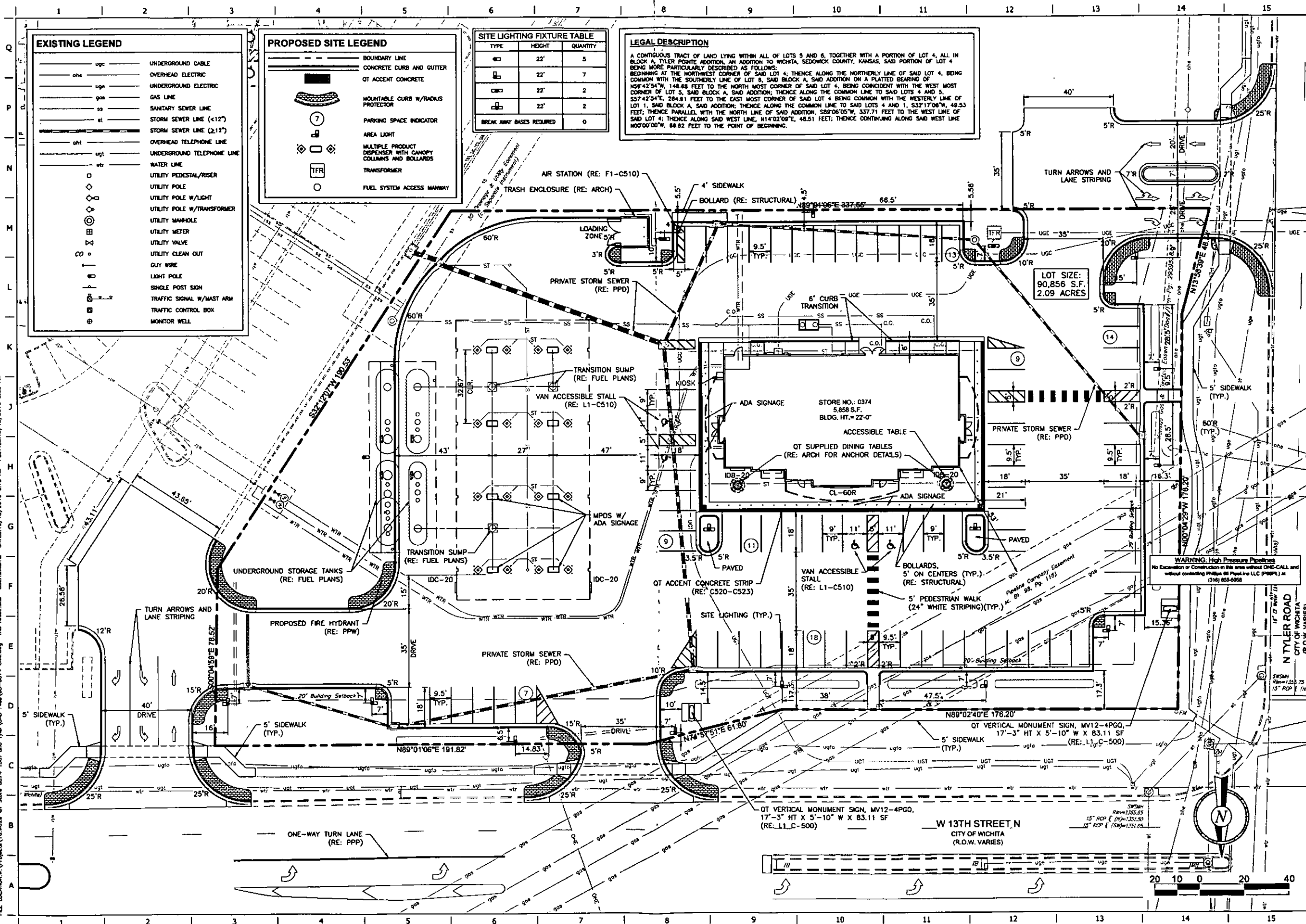
PERMIT SET
14 MAR 16

LANDSCAPE
PLAN

LS1

APPROVED 12-13-16 BY SK

FILE LOCATION: W:\Projects\18.W029 Q1 Store Q374 13th and Tyler\CAD Files\03-Q374 CME.dwg USER: blairh SAVED: 12/13/2016 8:13 AM PLOTTED: 12/13/2016 8:03 AM



PROJECT NO.: 16.W029

8616 W. Fwyer, Suite 2 • Wichita, Ks. 67
Phone (316) 733-4471 • Fax (316) 733-4471

QuikTrip No. 0374

8723 W 13TH ST
WICHITA, KS



4. COPYRIGHTED QUENTRON COMPOSITIONS OR ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION, OR SALE IN WHOLE OR IN PART, IS STRICTLY PROHIBITED.

PROTOTYPE: P-001 (08/01/15)
DIVISION:
VERSION: 001
DESIGNED BY: JM
DRAWN BY: JM
REVIEWED BY: AG

[illegible]

DATE	10/10/2010
------	------------

SHEET TITLE

SITE PLAN

SHEET NUMBER

C100

FRONT ELEVATION FACING U.S. HWY. 78	
ITEM	SQUARE FOOTAGE
ELEVATION	816 SQ. FT.
HARDEES SIGN	28.5 SQ. FT.
STARS	N.A. SQ. FT.
NON-SIGNAGE AREA: 28.5/816 = [96.5% COMPLIES]	

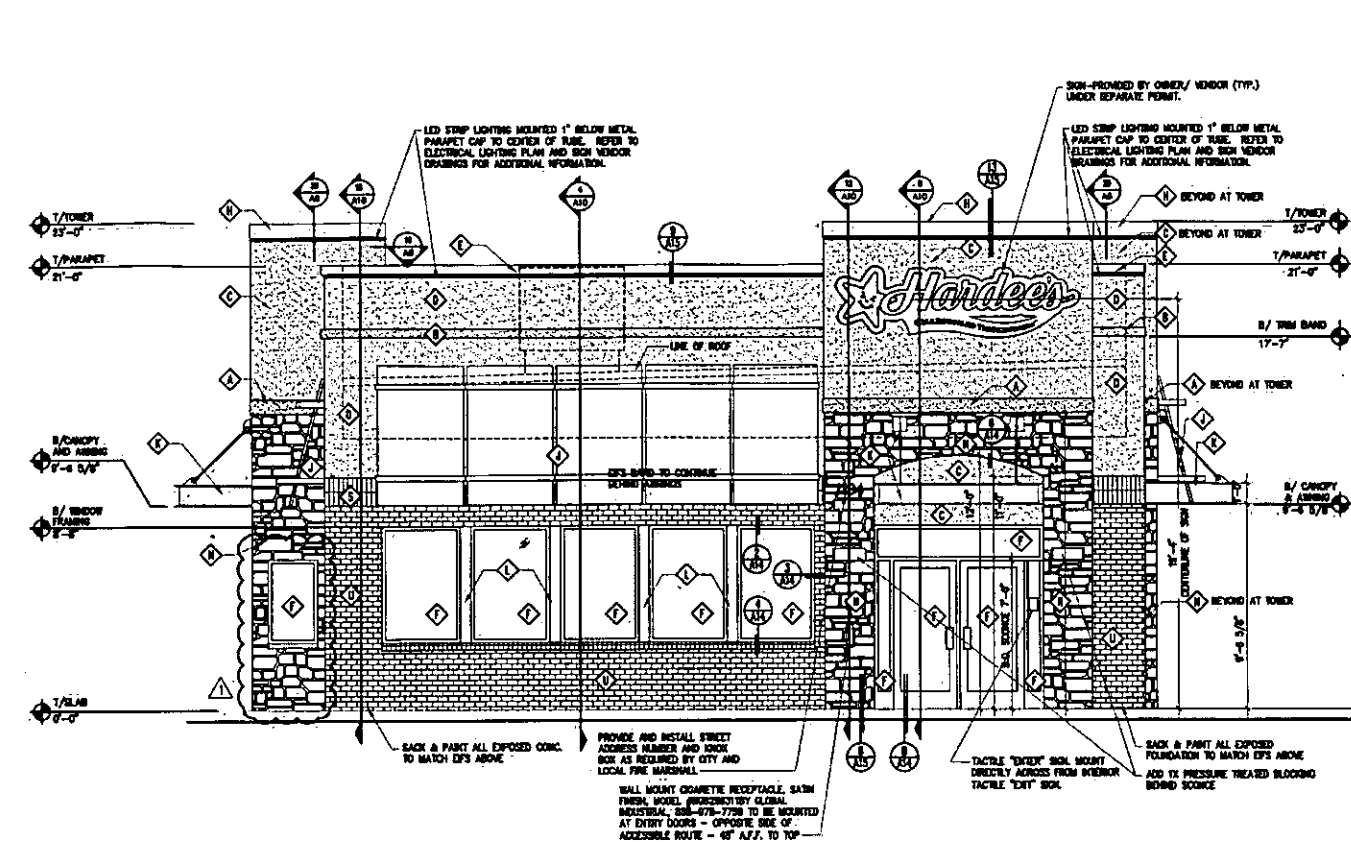
LEFT SIDE ELEVATION (ENTRANCE SIDE)	
ITEM	SQUARE FOOTAGE
ELEVATION	1307 SQ. FT.
HARDEES SIGN	28.5 SQ. FT.
STARS	1 @ 22 SQ. FT. = 22 SQ. FT.
NON-SIGNAGE AREA: (28.5+22)/1307 = [98% COMPLIES]	

REAR ELEVATION	
ITEM	SQUARE FOOTAGE
ELEVATION	752 SQ. FT.
HARDEES SIGN	N.A. SQ. FT.
STARS	N.A. SQ. FT.
NON-SIGNAGE AREA: (28.5+88)/816 = [100% COMPLIES]	

RIGHT SIDE ELEVATION (DRIVE-THRU SIDE)	
ITEM	SQUARE FOOTAGE
ELEVATION	1314 SQ. FT.
HARDEES SIGN	28.5 SQ. FT.
STARS	1 @ 22 SQ. FT. = 22 SQ. FT.
NON-SIGNAGE AREA: (28.5+22)/1314 = [98.2% COMPLIES]	

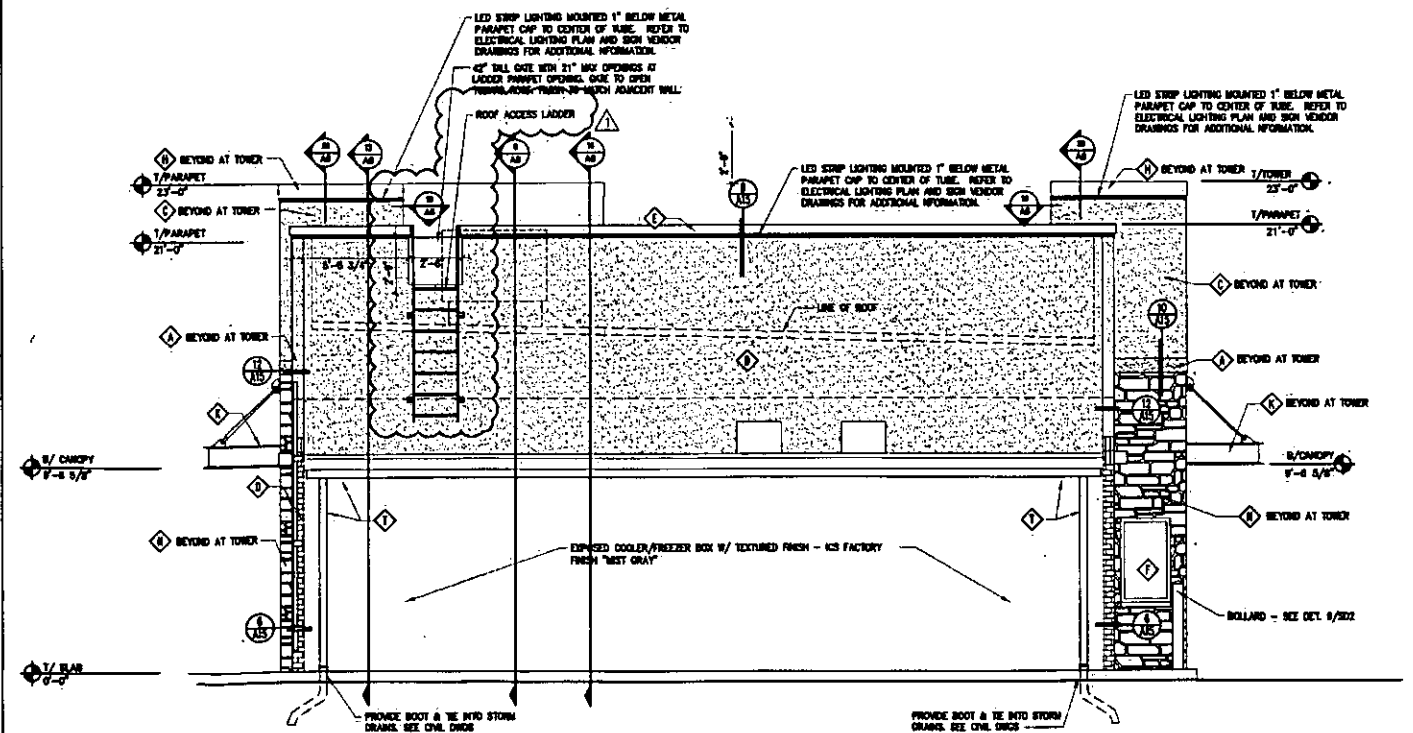
NOTE: STARS ARE SUBJECT TO SIGN REGULATIONS AND SHALL ONLY BE CONSTRUCTED IF APPROVED BY SIGN PERMIT.

SYMBOL	MATERIAL	DESCRIPTION
A	EFS TRIM BAND	1 1/2" THICK DRAINABLE EFS SYSTEM BAND - SANDPEBBLE FINE FINISH DRYVIT COLOR: TO MATCH SW7020 "BLACK FOX"
B	EFS TRIM BAND	2 1/4" THICK DRAINABLE EFS SYSTEM BAND - SANDPEBBLE FINE FINISH DRYVIT COLOR: TO MATCH SW7020 "BLACK FOX"
C	EFS	1 1/2" THICK DRAINABLE EFS SYSTEM - SANDPEBBLE FINE FINISH DRYVIT COLOR: TO MATCH SW7018 "DOVE TAIL"
D	EFS	1 1/2" THICK DRAINABLE EFS SYSTEM - SANDPEBBLE FINE FINISH DRYVIT COLOR: TO MATCH SW7037 "BALANCED BEIGE"
E	PARAPET CAP	5" 24 GAUGE GALVANIZED STEEL "ONE COPING" BY METAL-EXA (OR EQUAL) KYNAR 500 COLOR MATT BLACK SEE DETAIL 9/A15
F	STOREFRONT DOORS AND WINDOWS	ALUMINUM - CLEAR ANODIZED ALUMINUM w/ 1" CLEAR INSULATED GLAZING.
G	NOT USED	NOT USED
H	DRIP EDGE	24 GAUGE GALVANIZED STEEL BY METAL-EXA (OR EQUAL) KYNAR 500 COLOR MATT BLACK SEE DETAIL 13/A15
J	AWNING	AWNINGS PROVIDED AND INSTALLED BY AWNING MFG. LOCATED ABOVE STORE FRONT WINDOWS. COLOR: RED
K	CANOPY	STEEL CANOPY W/ SOLID SKINNED TOP - PROVIDED AND INSTALLED BY AWNING MFG. LOCATED ABOVE ENTRY WAYS AND DRIVE THRU WINDOW. COLOR: SHERWIN WILLIAMS SATIN ENAMEL SW7020 "BLACK FOX"
L	EXTERIOR COLUMN WRAP	24 GAUGE ALUMINUM - CLEAR ANODIZED TO MATCH STOREFRONT FRAMING.
M	KITCHEN ACCESS DOOR	PAINTED INSULATED METAL DOOR WITH HOLLOW METAL FRAME COLOR: SHERWIN WILLIAMS SATIN ENAMEL SW7020 "BLACK FOX"
N	"TALK" STONE VENEER	CORONADO STONE CO. "HONEY LEDGESTONE" COLOR: CARMEL MOUNTAIN. MORTAR TO BE PARAGON COLOR 15850 GREY PRE-BLENDED TYPE "S" READY TO MIX OR EQUAL.
P	DECORATIVE STAR	1 1/2" DRAINABLE EFS SYSTEM W/ 1/2" "Y" GROOVE TO CREATE EACH STAR - SANDPEBBLE FINE FINISH - DRYVIT COLOR: MATCH SHERWIN WILLIAMS SW7018 "DOVE TAIL" - SEE DETAIL 8/A5 FOR FABRICATION DIMENSIONS
Q	DECORATIVE STAR	1 1/2" DRAINABLE EFS SYSTEM W/ 1/2" "Y" GROOVE TO CREATE EACH STAR - SANDPEBBLE FINE FINISH - DRYVIT COLOR: TO MATCH SHERWIN WILLIAMS SW7037 "BALANCED BEIGE" - SEE DETAIL 8/A5 FOR FABRICATION DIMENSIONS
S	BRICK ACCENT BAND	BRICK: CAROLINA CERAMICS TEAKWOOD VELOUR, MORTAR COLOR: ARGOS CANYON BROWN (800-331-0022)
T	SEAMLESS GUTTER & DOWNSPOUT	6" SEAMLESS GUTTER & DOWNSPOUT SYSTEM. COLOR: SHERWIN WILLIAMS SATIN ENAMEL SW7037 "BALANCED BEIGE"
U	BRICK	BRICK: CAROLINA CERAMICS TEAKWOOD VELOUR, MORTAR COLOR: ARGOS CANYON BROWN (800-331-0022)



FRONT ELEVATION

SCALE: 1/4"=1'-0" 2



REAR ELEVATION

SCALE: 1/4"=1'-0" 4

SIGNAGE CALCULATIONS

APPROVED

DP-329 Arch Rex per GP#17

Date: 12-29-17 SK

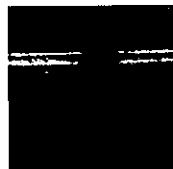
Page 1 of 2

NOT USED

SCALE: 3"=1'-0" 15

EXTERIOR FINISH SCHEDULE

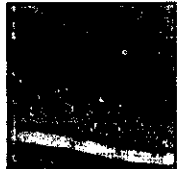
SCALE: 1/4"=1'-0" 11



SW 7018 "DOVETAIL"



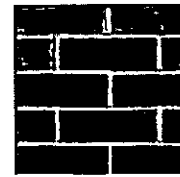
SW 7020 "BLACK FOX"



SW 7037 "BALANCED BEIGE"



MATTE BLACK

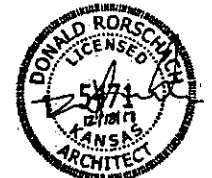


CAROLINA CERAMICS TEAKWOOD VELOUR



CORONADO HONEY LEDGE CARMEL MOUNTAIN

R
513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
PHONE: 817.620.0433



The Construction Documents shall consist of all drawings, specifications, surveys, notes, reports, and other information as provided to the General Contractor. It shall be the responsibility of the General Contractor to ensure that all information is provided to the General Contractor in a timely manner. The Architect shall not be responsible for the accuracy of the information provided by the General Contractor. The Architect shall not be responsible for the accuracy of the information provided by the General Contractor.



NEW CONSTRUCTION FOR:

1360 NORTH TYLER RD.
WICHITA, KS 67212

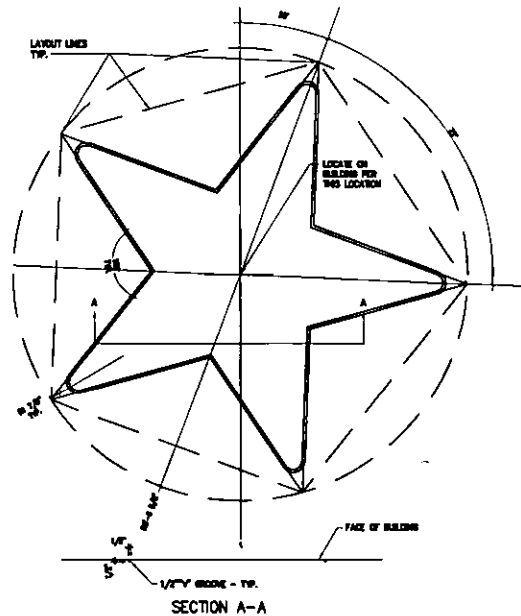
REVISIONS	No.	Description	Date
1	CITY COMMENTS		12/18/17

Project No.: 17-0040
Drawn By: AK
Reviewed By: JP
Date: 11/06/17

SHEET TITLE:
EXTERIOR ELEVATIONS AND DETAILS

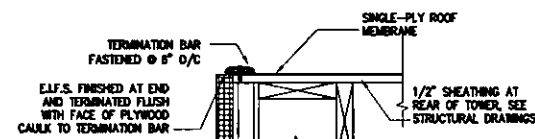
SHEET NUMBER:

A-5



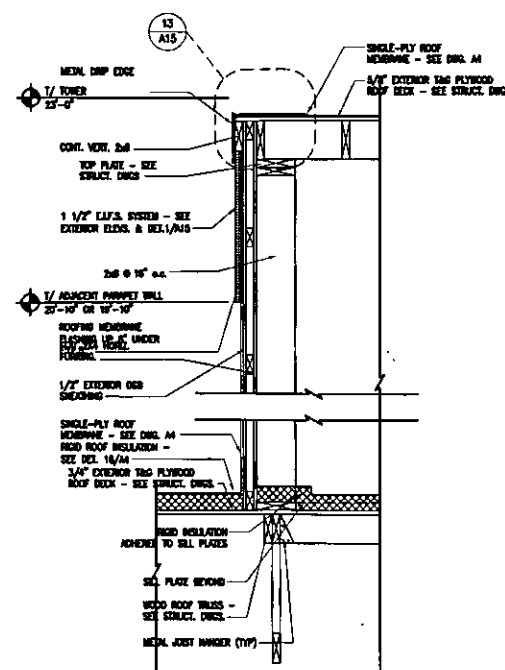
WALL STAR LAYOUT

SCALE: 3/4"=1'-0" 18



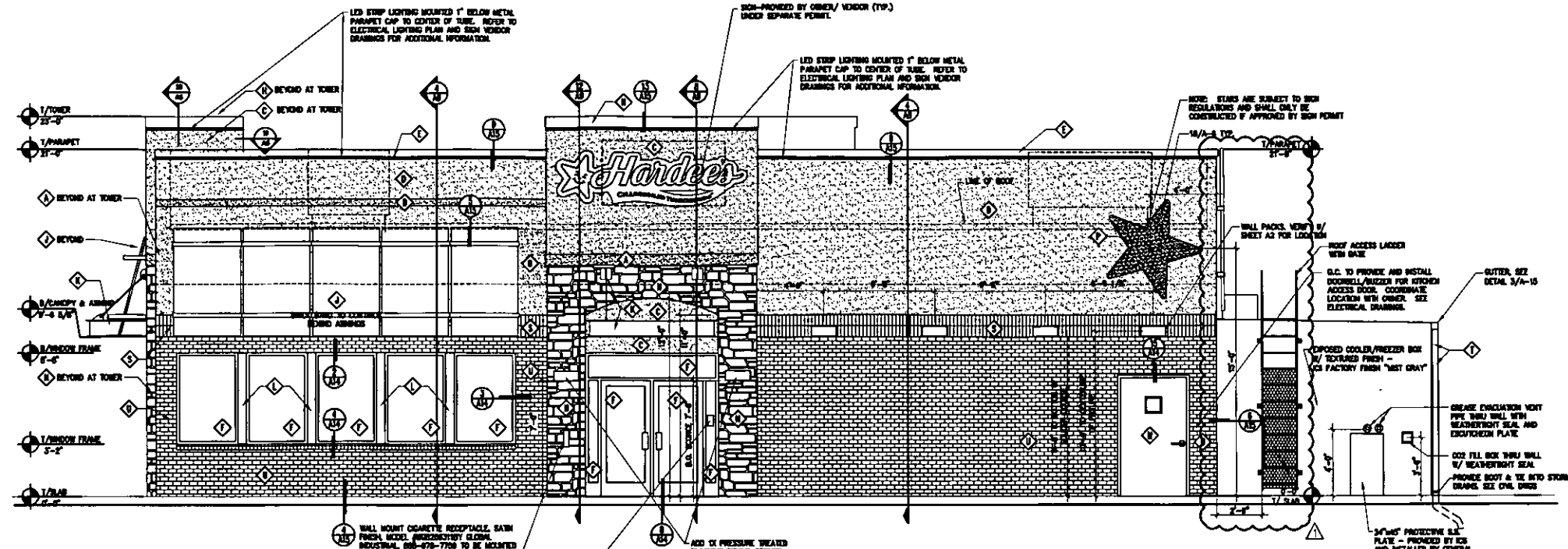
TOWER AT E.I.F.S. JUNCTURE

SCALE: 3/4"=1'-0" 19



TOWER WING WALL

SCALE: 3/4"=1'-0" 20



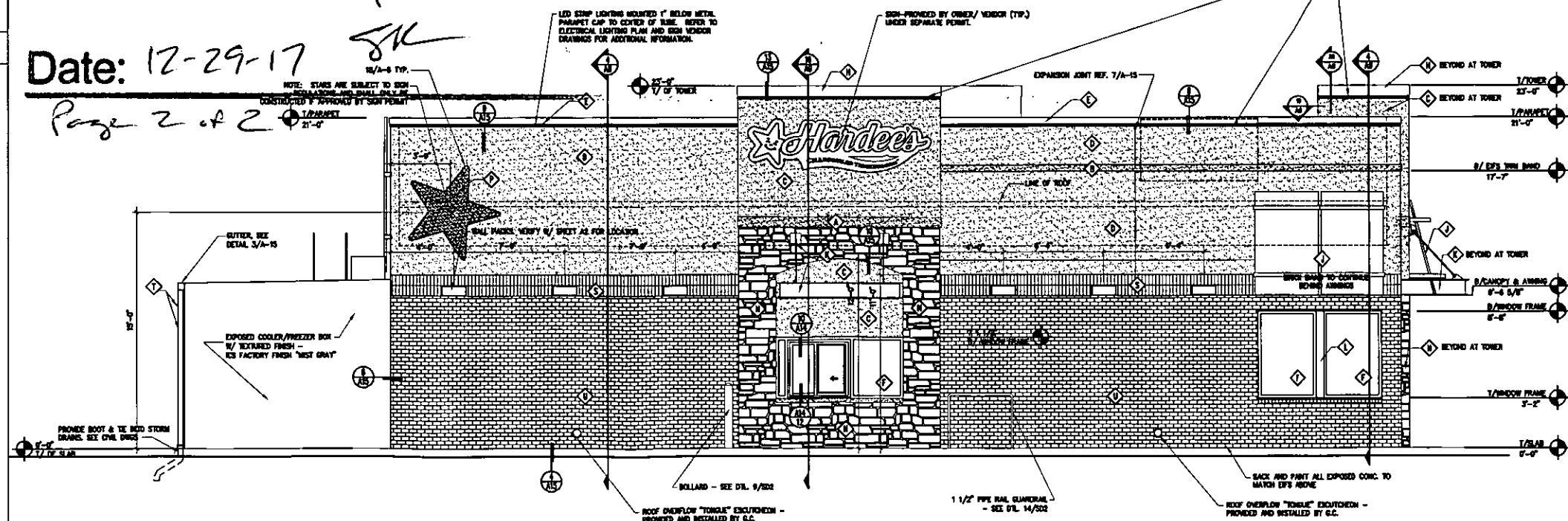
RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0" 2

DP-329 Arch Rev per GP#17

Date: 12-29-17 SK

Page 2 of 2

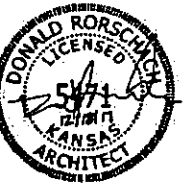


LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0" 4



513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
PHONE: 817.820.0433



The Construction Documents shall consist of all drawings, specifications, surveys, reports, addenda and other information as provided to the General Contractor, all of which are hereby incorporated by reference into the Construction Documents. All subcontractors shall be responsible to review the entire set of Construction Documents to determine their particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect prior to submitting a bid shall be interpreted at the sole discretion of the Architect.



NEW CONSTRUCTION FOR:

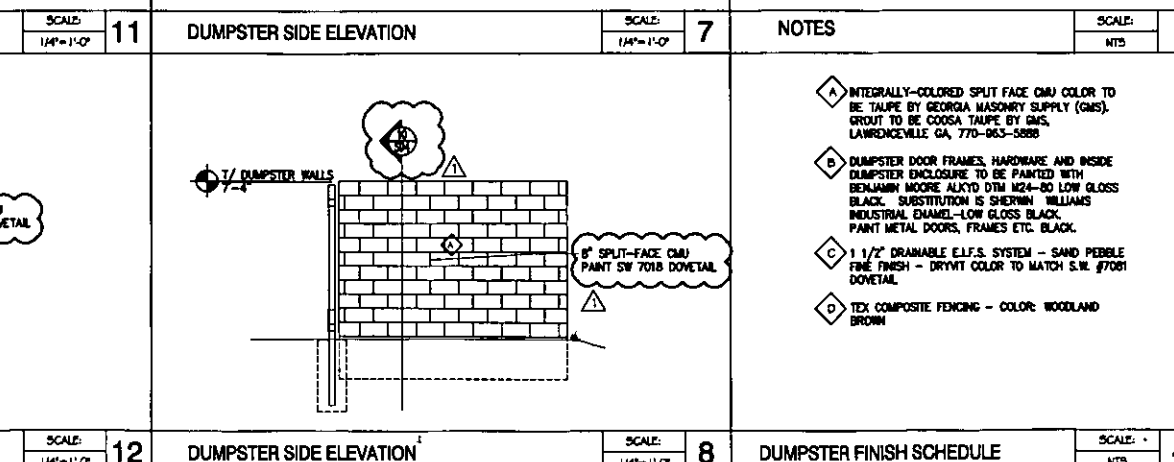
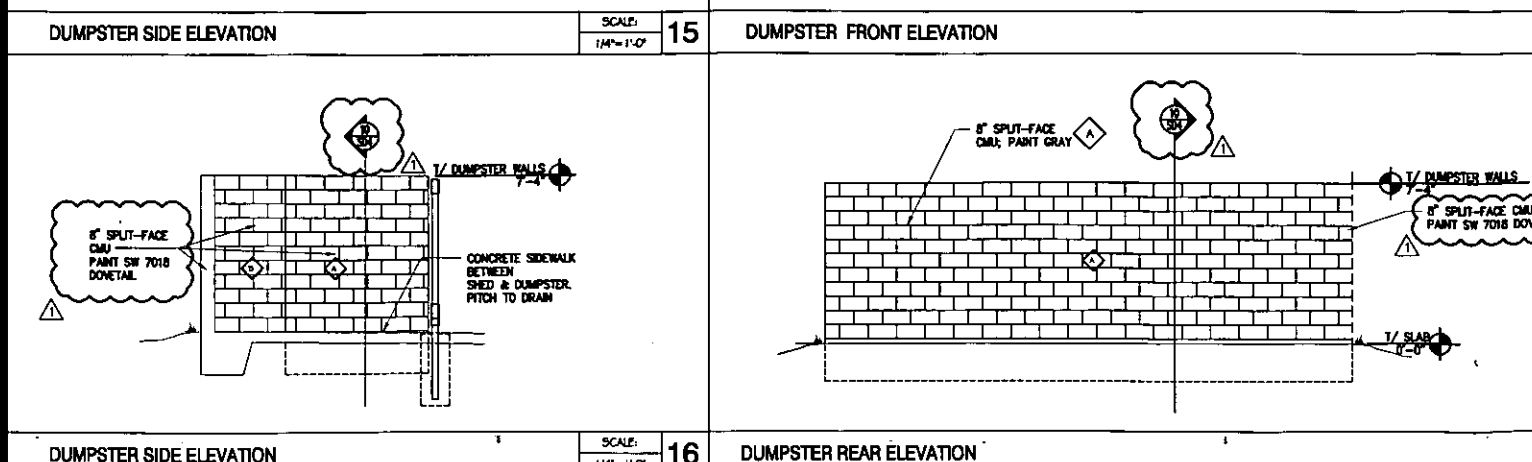
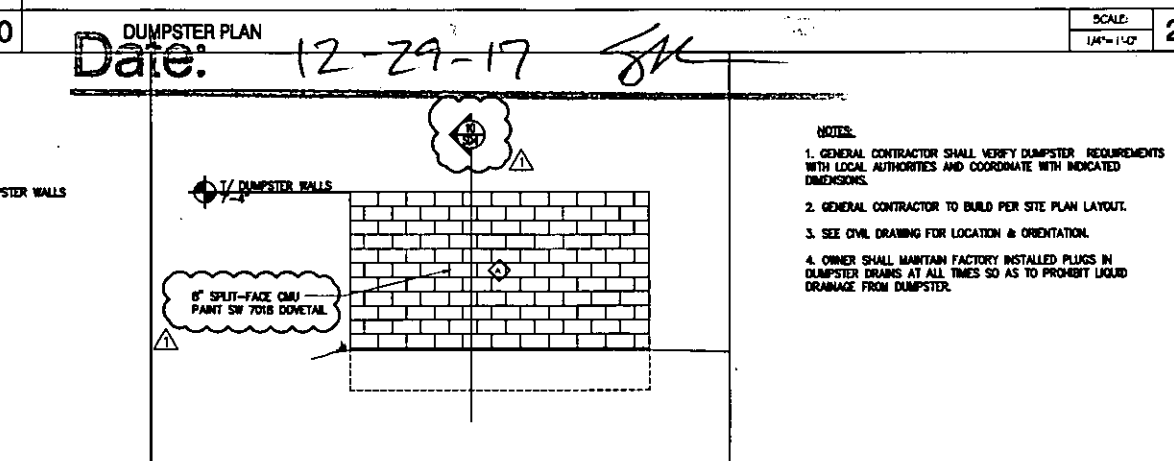
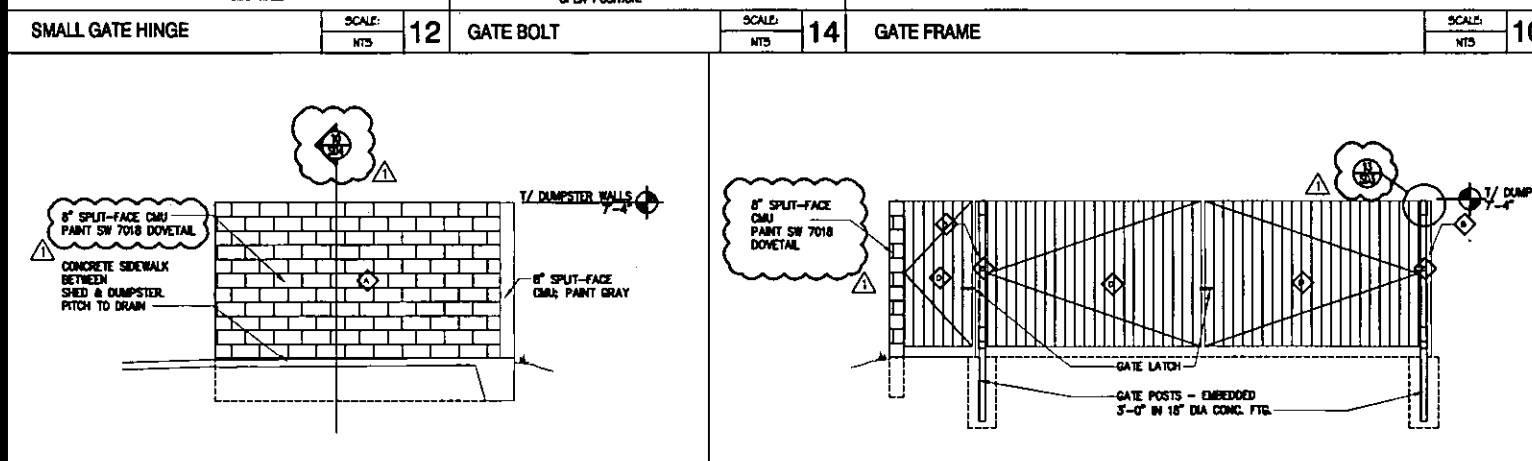
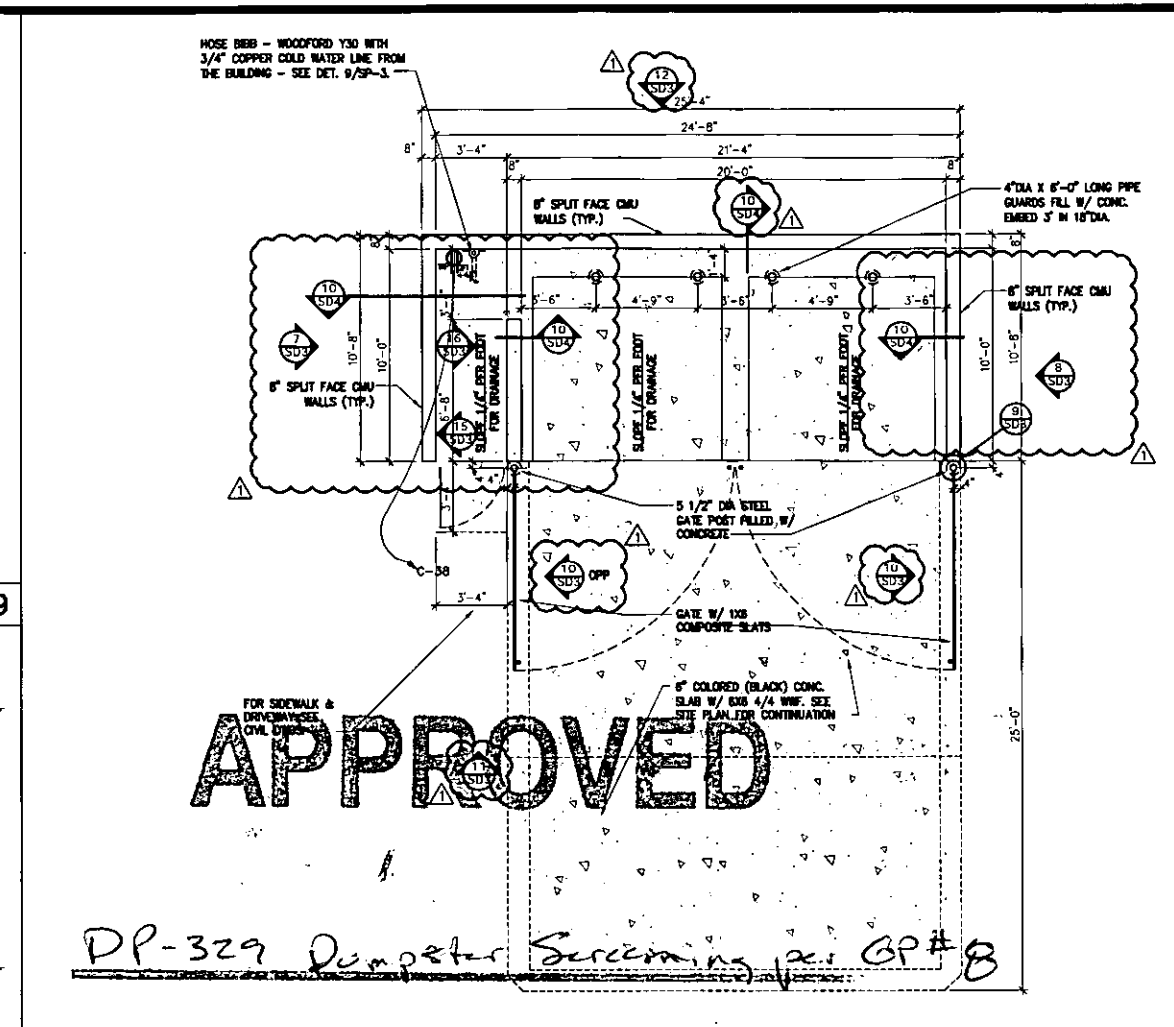
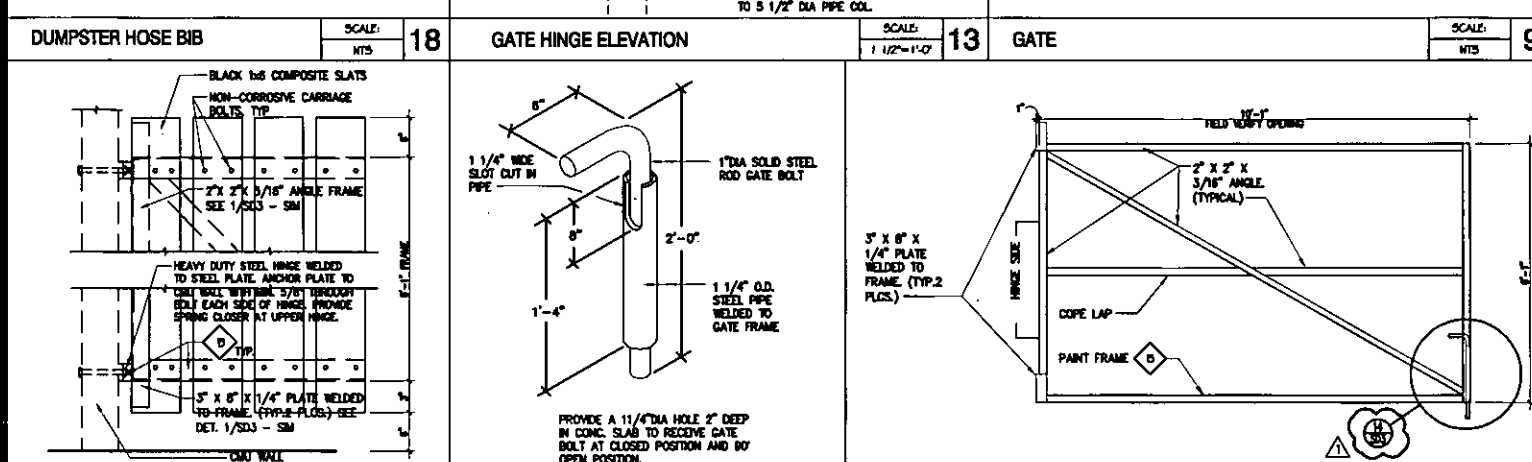
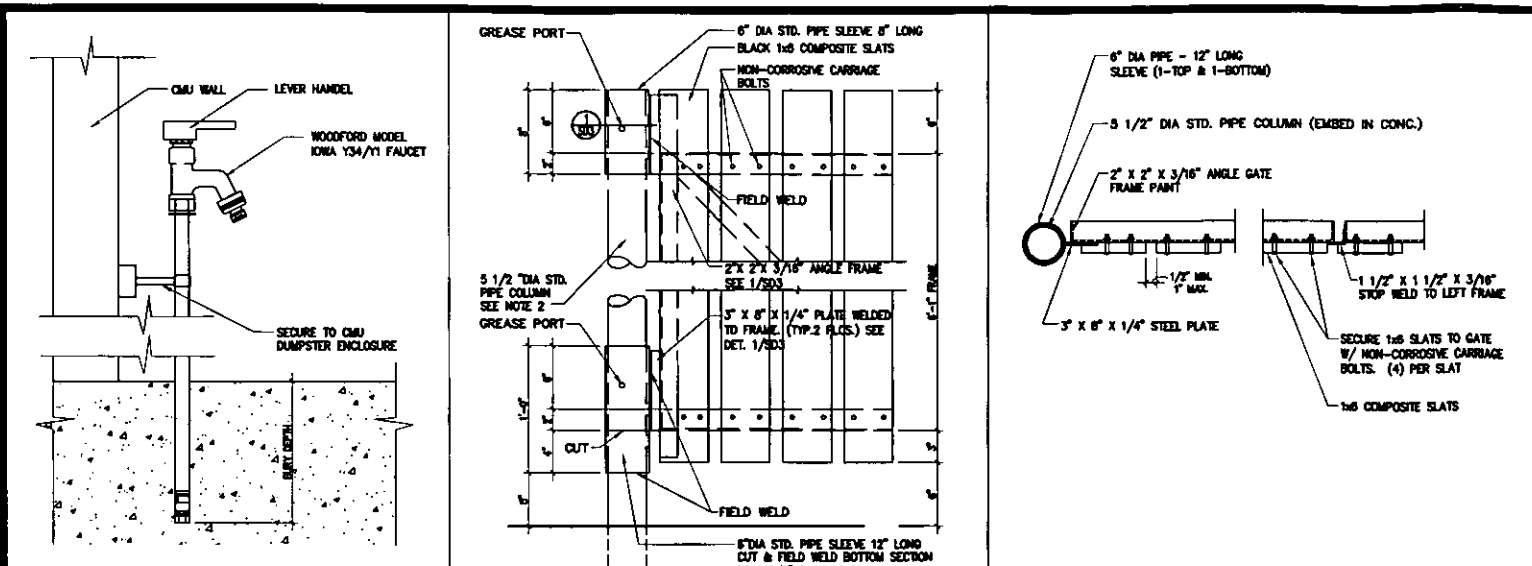
1300 NORTH TYLER RD.
WICHITA, KS 67212

REVISIONS	No.	Description	Date
1	CITY COMMENTS	12/19/17	

Project No.: 17-0040
Drawn By: AK
Reviewed By: JP
Date: 11/06/17

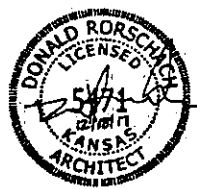
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A-6





513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
PHONE: 817.820.0433



The Construction Documents shall consist of all drawings, specifications, surveys, soils reports, standards and other information as provided to the General Contractor, all being as a whole. None of the information or drawings shall be taken separately or "stand alone" from the remainder of the Construction Documents. All subcontractors shall be responsible to review the entire set of Construction Documents to determine that particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect prior to submitting a bid shall be interpreted at the sole discretion of the Architect.



NEW CONSTRUCTION FOR:

1360 NORTH TYLER RD.
WICHITA, KS 67212

REVISIONS		
No.	Description	Date
1	CITY COMMENTS	12/19/17

Project No: 17-0040
Drawn By: AK
Reviewed By: JP
Date: 11/06/17

SHEET TITLE: DUMPSTER ENCLOSURE

SHEET NUMBER: SD-3



Wichita-Sedgwick County Metropolitan Area Planning Department

October 12, 2017

Tyler Pointe, LLC
8111 E. 32nd Street, Suite 101
Wichita, KS 67226

VRE Tyler Road, LLC
Attn: Derek Brown
1211 S. White Chapel Blvd.
Southlake, TX 76092

8723 W 13th St N, LLC
Attn: Steve Gegen
P.O. Box 780787
Wichita, KS 67278

RE: CUP2017-46 – City Administrative Adjustment to the Tyler Pointe Community Unit Plan DP-329, to reflect common boundary adjustments between Parcels 1, 3 and 4

Legal Description: Lots 1, 3, and 4 Block A, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-329, to reflect boundary changes between lots 1, 3 and 4 in the Tyler Pointe CUP.

Proposed modifications are as follows:

Parcel 1:

Net Area:	8.77 Acres (382,041 Sq. Ft.)
Maximum Building Coverage:	133,714 Sq. Ft.
Maximum Floor Area:	133,714 Sq. Ft.

Parcel 3:

Net Area:	0.75 Acres (32,811 Sq. Ft.)
Maximum Building Coverage:	9,843 Sq. Ft.
Maximum Floor Area:	9,843 Sq. Ft.

Parcel 4:

Net Area:	1.23 Acres (53,657 Sq. Ft.)
Maximum Building Coverage:	16,097 Sq. Ft.
Maximum Floor Area:	16,097 Sq. Ft.

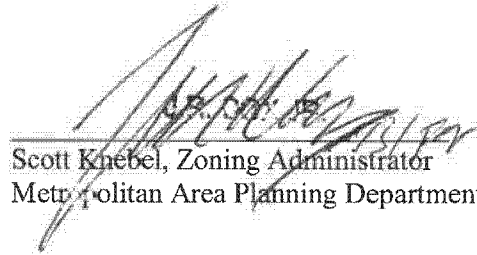
On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



Dale Miller, Director
Metropolitan Area Planning Department



Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Services Representative District V



Wichita-Sedgwick County Metropolitan Area Planning Department

May 16, 2016

Occidental Management, attn. Justin Strelow
8111 E. 32nd Street North, Ste. 101
Wichita, KS 67226

SPT Architecture, attn. Mike Decker
121 N. Meade, Ste. 201
Wichita, KS 67202

RE: CUP2016-20 - City CUP Administrative Adjustment to DP-329 to increase maximum light pole height from 15 to 25 feet, consistent with surrounding developments, generally located at the southeast corner of W. 13th Street N. and Tyler Road.

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-329, the Tyler Pointe Community Unit Plan (CUP). We understand that you wish to increase maximum light pole height from 15 to 25 feet. The CUP restricts light pole height to 15 feet within 200 feet of residential zoning. The Northwest High School site, bordering the CUP to the southeast, is zoned SF-5 but is developed with a non-residential use and has light poles taller than 25 feet. No residential development borders the CUP. Surrounding commercial areas have light poles taller than 25 feet.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan. Our signatures below indicate that the CUP shall be adjusted as stated in this letter.

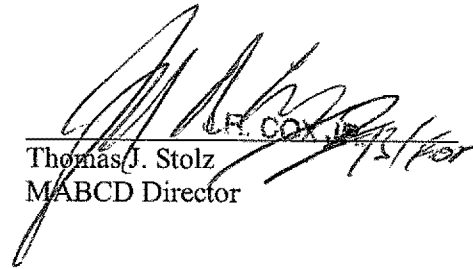
The "Development Application" signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

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T 316.268.4421 F 316.268.4390

www.wichita.gov


Dale Miller
Director of Planning


Thomas J. Stolz
MABCD Director

cc: JR Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Service Representative District V



Wichita-Sedgwick County Metropolitan Area Planning Department

November 2, 2016

Tyler Pointe LLC
Attn: Gary Oborny
8111 E. 32nd Street, Suite 101
Wichita, KS 67226-2631

MKEC Engineering, Inc.
Attn: Brian Lindebak
411 N. Webb
Wichita, KS 67206-2521

RE: CUP2016-41 – City Administrative Adjustment to CUP DP-329 to reflect changes triggered by VAC2016-00047 and parcel adjustments for anticipated land sale on LC Limited Commercial zoned property located on the southeast corner of West 13th Street North and Tyler Road

Legal Description: Lots 1, 2, 3, 4, 5 and 6, Block A, Tyler Pointe Addition, Wichita, Sedgwick County, KS

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to DP-329, to reflect changes per VAC2016-00047 and adjust parcels boundaries per provisions related to a land sale.

Proposed modifications are as follows:

Parcel Descriptions:

Parcel 1

1. Net Area: *384,987 sq. ft. (posted per platted area per Closure Computations)*
2. Maximum Building Coverage: 35% / *134,745 sq. ft.*
3. Maximum Building Height: 35 feet
4. Maximum Floor Area: *134,745* square feet
5. Maximum Floor Area Ratio: 35%
6. Permissible Uses: *(no changes to original uses)*

Parcel 2

1. Net Area: *103,486 sq. ft. (posted per platted area per Closure Computations)*
2. Maximum Building Coverage: 30% / *31,046 sq. ft.*
3. Maximum Building Height: 35 feet
4. Maximum Floor Area: *31,406* square feet
5. Maximum Floor Area Ratio: 30%
6. Permissible Uses: same as Parcel 1

Parcel 3

1. Net Area: *42,642 sq. ft. (posted per platted area per Closure Computations)*
2. Maximum Building Coverage: 30% / *11,828 sq. ft.*

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T 316.268.4421 F 316.268.4390

www.wichita.gov

3. Maximum Building Height: 35 feet
4. Maximum Floor Area: **11,828** square feet
5. Maximum Floor Area Ratio: 30%
6. Permissible Uses: same as Parcel 1

Parcel 4

1. Net Area: **85,625 sq. ft.**
2. Maximum Building Coverage: 30% / **25,688 sq. ft.**
3. Maximum Building Height: 35 feet
4. Maximum Floor Area: **25,688** square feet
5. Maximum Floor Area Ratio: 30%
6. Permissible Uses: same as Parcel 1

Parcel 5

1. Net Area: **90,872 sq. ft.**
2. Maximum Building Coverage: 30% / **27,262 sq. ft.**
3. Maximum Building Height: 35 feet
4. Maximum Floor Area: **27,262** square feet
5. Maximum Floor Area Ratio: 30%
6. Permissible Uses: same as Parcel 1

General Provisions:

2. Minimum Building Setbacks shall be as indicated on the Plat, *or as adjusted hereon. If contiguous parcels are developed under the same ownership interior side setbacks between those parcels will not be required, otherwise interior side setbacks shall be per zoning code.*
6. A fire lane, hard surfaced and twenty-four (24) feet (20 feet one-way traffic) minimum in width, shall be provided around all main structures to be constructed within Parcels 1 through 5. Said fire lane shall be a 3-1/2 inch asphalt base with 1-1/2 inch asphalt surface or the equivalent thereof. No parking shall be allowed in said fire lane, although it may be used for passenger loading and unloading. Prior to final approval of *each parcel's* parking plan, the Fire Chief, or his designated representative, shall approve the plan as to location of *such* fire lanes.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


Dale Miller, Director
Metropolitan Area Planning Department


Kyle J. McLaren, Interim Director
Metropolitan Area Building and Construction
Department

cc: Kyle J. McLaren, MABCD
J.R. Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Liaison District V



Wichita-Sedgwick County Metropolitan Area Planning Department

December 22, 2014

Tyler Pointe, LLC
8111 East 32nd Street North, Ste. 101
Wichita, KS 67226-2631

One Eighty Development
Attn: Hoyt Scott
1601 Fifth Avenue, Ste. 1900
Seattle, Washington 98101

RE: CUP2014-00038 – City Amendment to Community Unit Plan DP-329 to amend the net parcel area, building height, maximum floor area, maximum floor area ratio and access control on various parcels generally located at the southeast corner of North Tyler Road and West 13th Street North.

Dear Ladies and Gentlemen:

At its regular meeting on **December 18, 2014**, the Wichita - Sedgwick County Metropolitan Area Planning Commission (MAPC) considered the above captioned request. The action of the MAPC was to **APPROVE** the request as recommended by staff:

1. The 56-foot tall building height and associated floor area ratios are permitted only for an assisted living or nursing home facility.
2. The applicant shall submit four revised copies of the CUP to the Metropolitan Area Planning Department within **60 days** of approval or the request shall be considered denied and closed.
3. If the Zoning Administrator finds that there is a violation of any of the conditions of the CUP amendment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare the CUP amendment null and void.

Property owners opposed to the application may file with the City Clerk signed written appeals of the MAPC's recommendation. (Unsigned e-mails are not considered to be legal appeals.) To be effective, the protest must be filed by 5:00 p.m. on January 2, 2015. In order to be considered a "valid" appeal, the signatures must reflect the correct and entire ownership of the property, the property must be at least partially located within 200 feet of the property for which the application was filed, and must be submitted to the City Clerk by **January 2, 2015, at 5:00 p.m.**

If an appeal is filed, the application is tentatively scheduled for consideration by the City Council on

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T 316.268.4421 F 316.268.4390

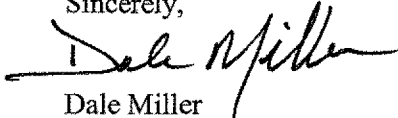
www.wichita.gov

Tuesday, February 3, 2015. The City Council meeting will be held in the City Council Chambers, First Floor, City Hall, 455 N. Main, Wichita, Kansas.

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This is a reminder that the zoning notification signs should now be removed from the property. If you have any questions concerning this application, please contact our office at 268-4421.

Sincerely,



Dale Miller
Current Plans Manager
Current Plans Division

Copies to: WCC V, Jeff Longwell, Mail Stop 1-13
 Martha Sanchez, Community Liaison V, Mail Stop 1-135
 KE Miller Engineering, Inc., 117 East Lewis Street, Wichita, KS, 67202
 Westlink HOA, Jane Byrnes, 9500 Delano Street, Wichita, KS 67212
 Westlink Village Plaza, Sandra Tinkham, 8931 Harvest Ln., #901, Wichita, KS 67212
 Paul Hays, OCI, Mailstop 1-72
 J. R. Cox, OCI, Mailstop 1-72
 Jeff Van Zandt, City Law, Mailstop 1-134
 Julianne Kallman, Engineering, Mail Stop 1-71
 Carol Munson, 8515 Nantucket, Wichita, KS 67212



Wichita-Sedgwick County Metropolitan Area Planning Department

November 6, 2012

USD 259 c/o Shane Shumacher
3850 N. Hydraulic
Wichita, KS 67219

Occidental Management
8111 E 32nd Street North, Suite 101
Wichita, KS 67226

K.E. Miller Engineering, P.A.
516 S. Market
Wichita, KS 67202

RE: ZON2012-28/CUP2012-13 - City zone change from SF-5 Single-family Residential to LC Limited Commercial associated with a Commercial CUP DP-329, generally located south of 13th Street North and east of Tyler (1220 N. Tyler).

Dear Applicants:

At its regular meeting on November 1, 2012, the Wichita - Sedgwick County Metropolitan Area Planning Commission considered the above captioned request. The action of the MAPC was to APPROVE the request subject to platting in one year and the following conditions:

- A. The north and west boundary building setbacks shall be set at 20 feet.
- B. The southeast boundary building setback shall be increased to 24 feet on Parcel 1, and shall be 15 feet on Parcel 2.
- C. General Provision 7 shall include: The applicant shall obtain a document in writing from the adjacent property owner agreeing to allow landscaping and screening to be placed on the adjacent property, and accepting the covenant to require the applicant's maintenance of said landscaping and screening.
- D. The applicant shall submit four revised copies of the CUP to the Metropolitan Area Planning Department within 60 days after approval of this case by the Governing Body, or the request shall be considered denied and closed.

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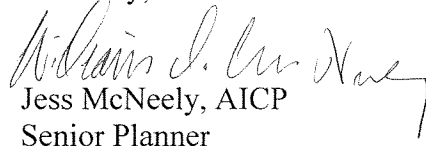
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Sincerely,


Jess McNeely, AICP
Senior Planner

Copies to: WCC V, Jeff Longwell, Mail Stop 1-13
N.A. V, Megan Buckmaster, Mail Stop 1-135
Julianne Kallman, Engineering
Rick Stubbs, OCI
Paul Hays, OCI
JR Cox, OCI



Wichita-Sedgwick County Metropolitan Area Planning Department

November 5, 2012

USD 259 c/o Shane Shumacher
3850 N. Hydraulic
Wichita, KS 67219

Occidental Management
8111 E 32nd Street North, Suite 101
Wichita, KS 67226

K.E. Miller Engineering, P.A.
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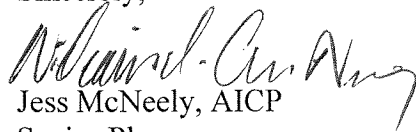
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Sincerely,

A handwritten signature in black ink, appearing to read "Jess McNeely".

Jess McNeely, AICP
Senior Planner

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N.A. V, Megan Buckmaster, Mail Stop 1-135
Julianne Kallman, Engineering
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Wichita-Sedgwick County Metropolitan Area Planning Department

November 6, 2012

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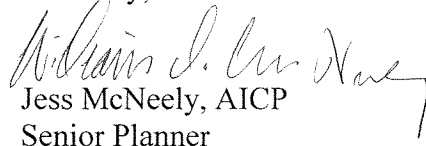
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Wichita-Sedgwick County Metropolitan Area Planning Department

November 6, 2012

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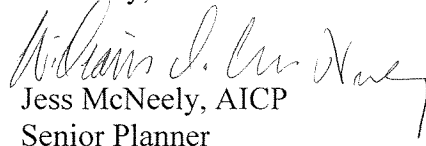
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Julianne Kallman, Engineering
Rick Stubbs, OCI
Paul Hays, OCI
JR Cox, OCI



Wichita-Sedgwick County Metropolitan Area Planning Department

January 10, 2019

Tyler Pointe, LLC
8111 E. 32nd St. N, Suite 101
Wichita, KS 67226-2631

K.E. Miller Engineering, P.A.
Attn: Kirk Miller
117 E. Lewis Street
Wichita, KS 67202

RE: CUP2018-00054 – City Administrative Adjustment to Tyler Pointe Community Unit Plan DP-329 as a result of modifications of a lot split LSP2018-28 creating Parcel 1-A and Parcel 1-B; generally located east of North Tyler Road and south of West 13th Street North (8641 West 13th Street North).

LEGAL DESCRIPTION:

Parcel 1-A

Beginning at the Northwest corner of Lot 1, Block A, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas; thence N 89°06'05" E, on the North line of said Lot 1, a distance of 94.74 feet; thence S 62°37'20" E, on the Northeast line of said Lot 1, a distance of 245.62 feet; thence S 00°00'00" W, on the East line of said Lot 1, a distance of 219.05 feet; thence S 32°17'06" W, on the East line of said Lot 1, a distance of 180.74 feet; thence S 89°06'05" W, a distance of 235.33 feet; thence N 57°42'54" W, a distance of 195.57 feet, to the East line of Parcel 1 as described in "Legal Descriptions Part of Lots 3, 4, and 5, Tyler Pointe, Addition, Wichita, Sedgwick County, Kansas" filed as Doc.#/Flm-Pg: 29720614; thence N 32°17'06" E, on the East line of said Parcel 1, a distance of 169.20 feet to the Northeast corner of said Parcel 1; thence S 89°06'05" W, on the North line of said Parcel 1, a distance of 7.73 feet, to the West line of original Lot 1, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas; thence N 32°17'06" E, on the West line of said Lot 1, a distance of 190.57 feet; thence N 00°00'00" E, on the West line of said Lot 1, a distance 78.52 feet, to the Point of Beginning. Parcel contains 3.9 acres ±.

Parcel 1-B

Beginning at the Southwest corner of Lot 1, Block A, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas; thence N 0°00'00" E, on the West line of said Lot 1, a distance of 104.09 feet, to the Southwest corner of Lot 3, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas; thence N 90°00'00" E, on the South line of said Lot 3, a distance of 97.61 feet to a point; thence on a tangent curve to the left, with a chord bearing of S 61°08'33" W, a radius of 14.06 feet and a arc length of 14.16 feet, said point also being the beginning of a new lot line of Parcel 2 described in "Legal Descriptions Part of Lots 3, 4, and 5, Tyler Pointe, Addition Wichita, Sedgwick County, Kansas" filed as Doc.#/Flm-Pg: 29720614; thence N 32°17'06" E, on the West line of said Parcel 2, a distance of 278.67 feet, to the Southeast corner of herein described Parcel A; thence S 57°42'54" E, on the South line of said Parcel A, a distance of 195.57 feet; thence N 89°06'05" E, on the South line of said Parcel A, a distance of 235.33 feet, to the East line of Lot 1, Tyler Pointe Addition, Wichita, Sedgwick County, Kansas; thence S 32°17'06" W, on the East line of said Lot 1, a distance of 40.99 feet; thence S 00°00'00" W, on the East line of said Lot 1 a distance of 117.94 feet; thence S 32°17'06" W, on the East line of said Lot 1, a distance of 285.06 feet; thence S

76°06'34" W, on the Southeasterly line of said Lot 1, a distance of 149.57 feet; thence S 32°17'06" W, on the Southeasterly line of said Lot 1, a distance of 26.16 feet, to the Southeast corner of said Lot 1; thence N 57°42'54" W, on the South line of said Lot 1, a distance of 385.21 feet to the Southwest corner of said Lot 1 and the Point of Beginning. Parcel contains 4.8 acres ±.

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-329, to reflect LSP2018-00028 Parcel 1 into Parcel 1-A and 1-B.

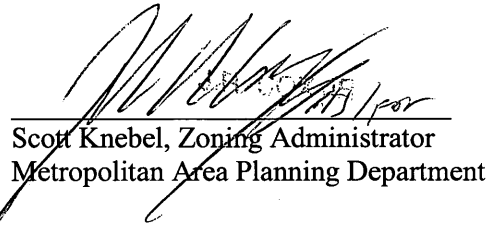
On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan. The property shall be developed in conformance with the approved elevation drawings submitted with the Administrative Adjustment application.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



Dale Miller, Director
Metropolitan Area Planning Department



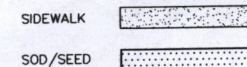
Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Bryan Frye, CM District V
Janet Johnson, Supervisor, Office of Community Services

GENERAL PLANTING NOTES

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCHITECT/LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE OWNER'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
6. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING THE LOCAL UTILITY LOCATOR SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
7. GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD/SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD/SEED THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
8. SOD/SEED TYPE SHALL BE LOCALLY AVAILABLE TALL FESCUE BLEND OR OTHER TURF GRASS RECOMMENDED FOR THE SPECIFIC AREA.
9. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
10. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
11. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS.
12. ALL LANDSCAPE EDGING IS TO BE A 4" X 3/8" PAINTED STEEL EDGING. PLACE EDGING FLUSH WITH GRADE.
13. INSTALL SHREDDED HARDWOOD MULCH IN ALL PLANT BEDS AND TREE SAUCERS. PLACE 3"-4" OF MULCH IN ALL PLANT BEDS AND TREE SAUCERS.
14. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
15. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
16. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
17. REESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION.
19. TURF AND PLANTING BEDS ARE TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

PLANTING LEGEND



LANDSCAPE CODE CALCULATIONS

LANDSCAPED STREET YARD

Landscaped Street Yard Required:
190 Tyler Rd.
x 8 Sq. Ft. Factor
1,520 total LF Landscaped Street Yard required

Landscaped Street Yard Provided:
1,565 Total sq. ft. Provided

Street Yard Trees Required:
1,520 ÷ 500 = 3 trees required
(up to 1/2 can be provided by shrubs)

Street Yard Trees Provided:
2 Shade Trees + 10 Shrubs = 3 trees provided

PARKING LOT SCREENING AND LANDSCAPING

Parking lot screening provided
Parking Lot Trees Required
21 parking stalls ÷ 20 = 1 tree required
(One-half of the req'd. street yard trees may be used to fulfill parking lot tree requirement)

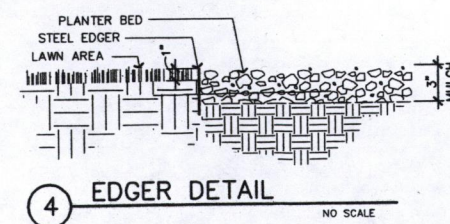
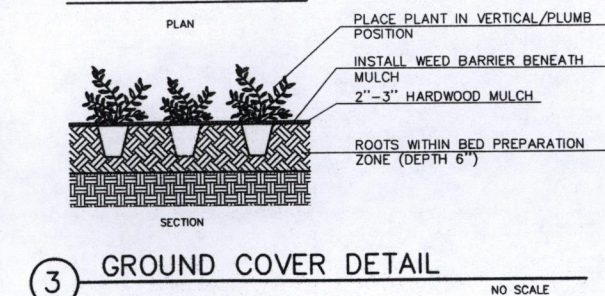
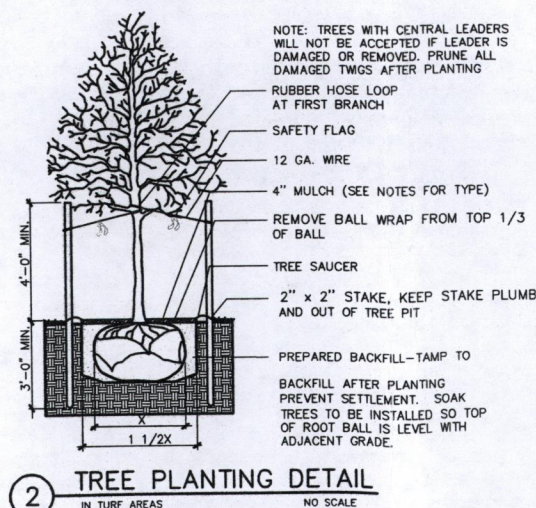
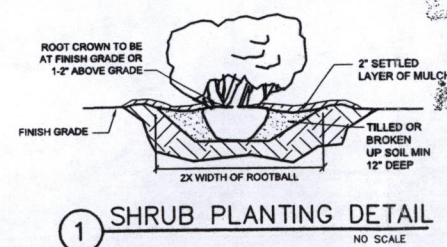
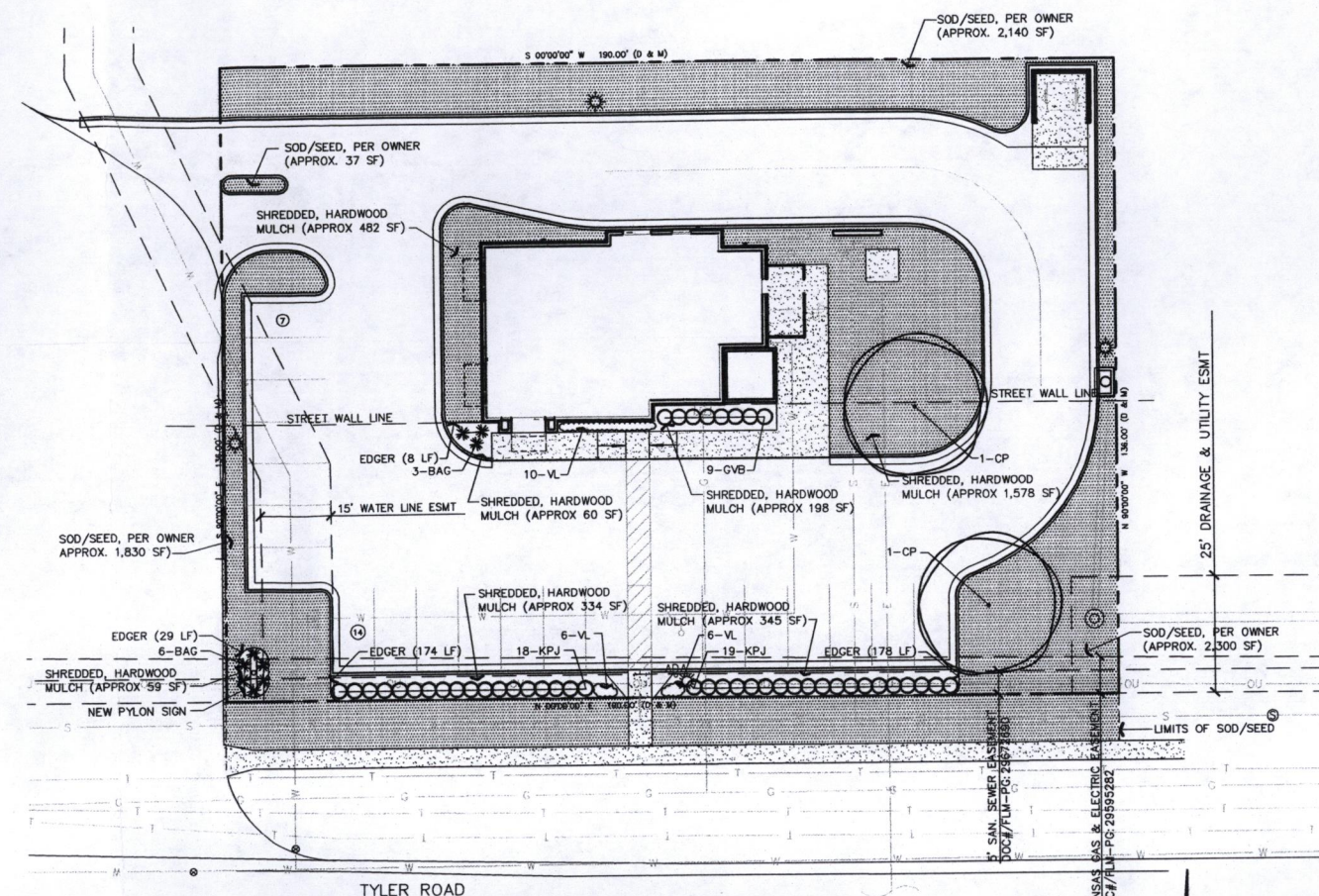
One-half of 3 street yard trees = 1.5

Parking lot trees provided:
1 parking lot tree provided

NO BUFFERS REQUIRED

PLANT SCHEDULE

TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
CP	2	DECIDUOUS TREE				
		Chinese Pistache	<i>Pistacia chinensis</i>	2" Cal.	B & B	
		DECIDUOUS SHRUB				
		EVERGREEN SHRUB				
GVB	9	Green Velvet Boxwood	<i>Buxus x 'Green Velvet'</i>	3 Gal.	Cont.	
KPJ	37	Kalloy Pfitzer Juniper	<i>Juniperus x pfitzeriana 'Kalloy's Compact'</i>	3 Gal.	Cont.	
		GRASSES & PERENNIALS				
BAG	9	Blonde Ambition Grama Grass	<i>Bouteloua gracilis 'Blonde Ambition'</i>	5" Pot	Cont.	
VL	22	Variegated Liriope	<i>Liriope muscari 'Variegata'</i>	5" Pot	Cont.	Plant 18" o.c.



PLANTING PLAN

1" = 20'-0"

0 10 20 40
SCALE: 1" = 20'

THIS PLAN SHEET IS PART OF AN OVERALL KAW VALLEY ENGINEERING PLAN SET FOR THE SPECIFIC IMPROVEMENTS CONTEMPLATED THEREIN. AS SUCH, THE INFORMATION CONTAINED MAY BE LIMITED AND SHOULD ONLY BE INTERPRETED WITHIN THE CONTEXT OF THE COMPLETE PLAN SET.

UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.

GENERAL PLANTING NOTES

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCHITECT/LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE OWNER'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
6. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING THE LOCAL UTILITY LOCATOR SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
7. GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOP-SOIL AT ALL SOD/SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD/SEED THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
8. SOD/SEED TYPE SHALL BE LOCALLY AVAILABLE TALL FESCUE BLEND OR OTHER TURF GRASS RECOMMENDED FOR THE SPECIFIC AREA.
9. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
10. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS REQUIRED BY INSTRUCTIONS ON FERTILIZER.
11. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS.
12. ALL LANDSCAPE EDGING IS TO BE A 4" x 3/4" PAINTED STEEL EDGING. PLACE EDGING FLUSH WITH GRADE.
13. INSTALL SMALL RIVER ROCK IN PLANT BEDS AS NOTED ON PLAN, WITH A GEOTEXTILE FABRIC UNDERNEATH. SAMPLE OF SMALL RIVER ROCK SHALL BE PROVIDED PRIOR TO INSTALLATION. SIZE OF SMALL RIVER ROCK TO BE 2" TO 4".
14. PLANTING BEDS RECEIVING RIVER ROCK ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
15. EXCEPT WHERE SPECIFIED OTHERWISE, ON PLAN, PLANTING BEDS TO BE MULCHED WITH PREMIUM GRADE, SHREDED CEDAR. LANDSCAPE CONTRACTOR SHALL PROVIDE A SAMPLE TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL.
16. PLACE 4" OF MULCH IN ALL TREE SAUCERS. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.
17. TREAT PLANTING BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
18. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
19. RE-ESTABLISH TURF IN ALL AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
20. REESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
21. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION.
22. TURF AND PLANTING BEDS ARE TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

PLANTING LEGEND



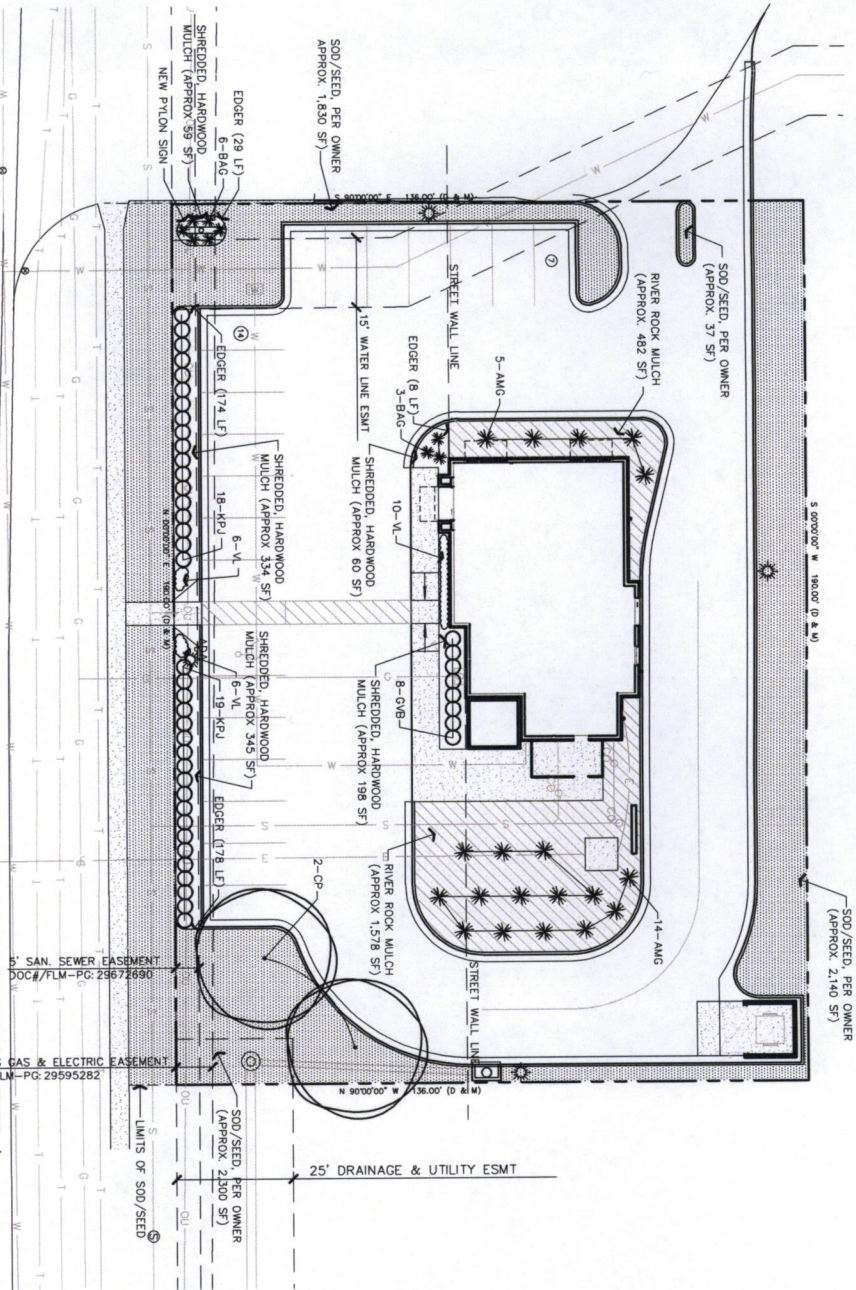
LANDSCAPE CODE CALCULATIONS

LANDSCAPED STREET YARD	PARKING LOT SCREENING AND LANDSCAPING
Landscaped Street Yard Required: 190 Tyler Rd. X 8 Sq. Ft. Factor 1,520 total lf Landscaped Street Yard required	Parking lot screening provided Parking lot trees Required 21 parking stals x 20 = 1 tree required (One-half of the req'd street yard trees may be used to fulfill parking lot tree requirement) One-half of 3 street yard trees = 1.5
Landscaped Street Yard Provided: 1,565 total sq ft. Provided	
Street Yard Trees Required: 1,520 SOD = 3 trees required (up to 3/4 can be provided by shrubs)	Parking lot trees provided: 1 parking lot tree provided NO BUFFERS REQUIRED
Street Yard Trees Provided: 2 Shode Trees +10 Shrubs = 3 trees provided	

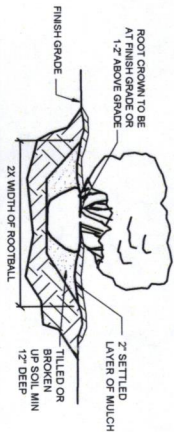
PLANT SCHEDULE

TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
		PERENNIAL TREE				
CP	2	Chinese Parasol	Platanus chinensis	2" Cal.	B & B	
		ORNAMENTAL TREE				
		EMERGENCY SHRUB				
GVB	8	Green Velvet Boxwood	Buxus x 'Green Velvet'	3 Gal.	Cont.	
KPJ	37	Kroya Pfitzer Juniper	Juniperus x pfitzeriana 'Kroya's Compact'	3 Gal.	Cont.	
		GRASSES & PERENNIALS				
ANG	19	Adagio Maiden Grass	Miscanthus sinensis 'Adagio'	1 Gal.	Cont.	
BAG	9	Blonde Ambition Grama Grass	Bouteloua gracilis 'Blonde Ambition'	5" Pot-1 Gal.	Cont.	
VI	12	Variegated Liriope	Liriope muscari 'Variegata'	5" Pot	Cont.	

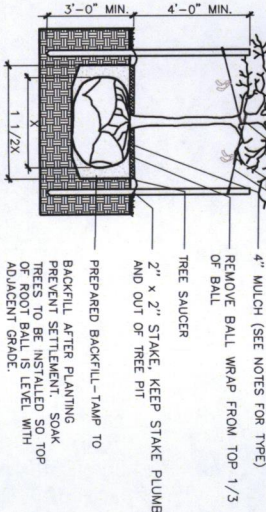
*May be obtained through online nurseries such as highcountrygardens.com



1 SHRUB PLANTING DETAIL
NO SCALE

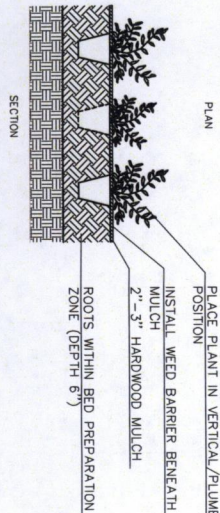


NOTE: TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.

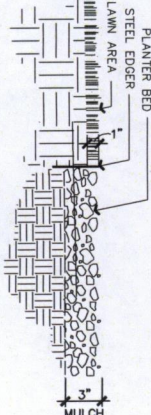


2 TREE PLANTING DETAIL
NO SCALE

3 GROUND COVER DETAIL
NO SCALE



4 EDGER DETAIL
NO SCALE



LANDSCAPE PLAN
PLANTING PLAN
1" = 20'-0"



THE PLANT SHEET IS PART OF AN OVERALL KAW VALLEY ENGINEERING PLAN SET FOR THE PROJECT. THE PLANTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER PLANS IN THE SET. THE PLANTING PLAN IS NOT TO BE USED IN ISOLATION. THE PLANTING PLAN IS NOT TO BE USED TO DETERMINE THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.

PROJ. NO. 020-1549	DESIGNER TAF	DRAWN BY TAF	CHECKED BY	DATE 4.21.21	DESCRIPTION FOR REVIEW	CHK	DWN	DSN
HTEAO 1280 N. Tyler Road WICHITA, KS 67226						KAW VALLEY ENGINEERING		
PLANTING PLAN						KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/18		
SHEET L-1						REV		