

General Provisions

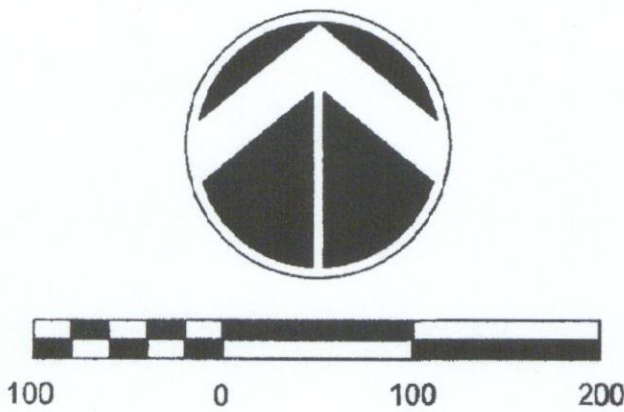
-

A tract of land lying within a portion of Fox Ridge Plaza Addition, an addition to Wichita, Sedgewick County, Kansas, said tract being more particularly described as follows:

Lots 1, 2, 3, 4, 5, 6, 7, 8, and Block 1; Reserve C, "D", and "E"; AND ALSO that part of Reserve A being described as follows:

N60°09'00"E, 125.00 feet, thence along the north line of said Block 1 bearing a northerly line of said Reserve A, S89°12'00"E, 222.45 feet, thence along the N88°12'00"E, 100.00 feet to the east line of said Reserve A; thence along the east line of said Reserve A, S00°00'00"E, 100.00 feet, thence along the south line of said Reserve A for the next eight courses, S01°03'47"E, 872.45 feet to a point on a curve to the right; said curve having a radius of 55.00 feet, a central angle of 49°02'45", a chord bearing of S27°32'37"N, and a chord distance of 45.68 feet, thence along said curve to the right 47.08 feet to a point on a curve to the left; said curve to the left having a radius of 92.00 feet, a central angle of 46°10'35", a chord bearing of S04°13'25"W, and a chord distance of 108.86 feet, thence along said curve to the left 108.86 feet to a point on a curve to the right; said curve to the right having a radius of 55.00 feet, a central angle of 46°10'35", a chord bearing of S04°13'25"W, and a chord distance of 43.14 feet, thence along said curve to the right 44.33 feet; thence S27°36'43"W, 23.40 feet to a point on a curve to the right; said curve to the right having a radius of 110.00 feet, a central angle of 46°10'35", a chord bearing of S04°13'25"W, and a chord distance of 108.86 feet, thence along said curve to the right 108.86 feet to a point on a curve to the left; said curve to the left having a radius of 340.00 feet, a central angle of 17°15'07", a chord bearing of N83°12'39"W, and a chord distance of 101.99 feet, thence along said curve to the left 102.38 feet; thence S88°09'47"W, 3.76 feet to the southeast corner of said Block 1; thence along the east lines of said Block 1 for the remaining courses, S07°45'54"W, 493.70 feet, thence along the west line of said Block 1, S01°03'47"E, 872.45 feet, to the northeast corner of said Block 1.

Said tract CONTAINS: 1,498.11 square feet or 34.391 acres of land, more or less.



APPROVED CUF Dated 4/6/25
Per Admin Adjustment 1084
[Signature] CUP25-12

MAPD
Copy 1 of 2

APPROVED CUP
 MAPC 12-8-11 Eln
 WCC 12-10-12 Eln

Adjustment #3: CUP2016-0034 8/28, 2016
Adjustment #2: CUP2016-0017 August, 2016
Adjustment #1: CUP2015-00001 March, 2015 Adjustment #4 CUP2017-09: Approved March 14, 2017 Adjustment #5 CUP2025-12: Approved April 16, 2025

COMMUNITY UNIT PLAN DP-330 CUP2011-00042
ZON2011-00038

FOX RIDGE PLAZA

OWNER / DEVELOPER: Tier 1, LLC Attn: Marv Schellenberg 7926 W. 21st Wichita, KS 67205 316-721-2153

APPROVED CUP

MAAP Copy 1084

17-9-16 - 10-12-2017
ADP AA CUP 2017-09

12-8-91 Temple
W.D. 12-10-91 Pranga
AB Per AA CUP 2017-09



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

April 16, 2025

3500 Maize, LLC
2243 N. Ridge Rd. Ste. 105
Wichita, KS 67205

Baughman Company, P.A.
Attn: Jay Cook
315 S. Ellis Ave.
Wichita, KS 67211

RE: CUP2025-00012 – Administrative Adjustment in the City to the Fox Ridge Plaza CUP DP-330 to exclude Parcel #3 from the architectural controls, permitting vivid colors and metal to be the predominate exterior building material on property zoned LC Limited Commercial District; generally located on the east side of North Maize Road, within one-half mile south of West 37th Street North.

Legal Description: LOT 3 & TH PT LOT 8 BLOCK 1 BEG SW COR LOT 3 TH ELY 250 FT NELY 42.43 FT S 58 FT WLY 280 FT TO PT W LI FOX RIDGE ADD NLY 28 FT TO BEG & EXC N 45.44 FT SAID LOT 3 FOX RIDGE PLAZA ADDITION

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to the Fox Ridge Plaza Community Unit Plan DP-330. We understand that you desire to exclude Parcel 3 from the architectural controls stated in General Provision #4. The proposed modified language is in red below.

General Provision 4:

In the event of apartment dwellings, all buildings within the CUP shall share a uniform architectural character, color, and same predominate exterior building material, as determined by the ~~Director of Planning~~ **Planning Department**. All building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accents, and must employ materials similar to surrounding residential areas. The predominate exterior building materials shall be masonry, unless approved by the ~~Director of Planning~~ **Planning Department**, **except that buildings on Parcel 3 may be allowed vivid colors and metal as a predominant exterior building material.**

The basis of our approval is the existing language states that the Director of Planning has the discretion to approve metal to be used as a predominant exterior façade material. It was the discretion of the Planning Director to send a notification letter to all property owners within the CUP since they have all constructed buildings following the architectural controls. The letter was sent on March 26, 2025, and established a comment period of two weeks, ending on April 9, 2025. This was in addition to a Development Application sign, which was posted on the property for at least 10 days. The Planning Department did not receive any comments or protests opposing the requested adjustment. Therefore, the proposed adjustment is not likely to have significant detrimental visual impacts on the surrounding area.

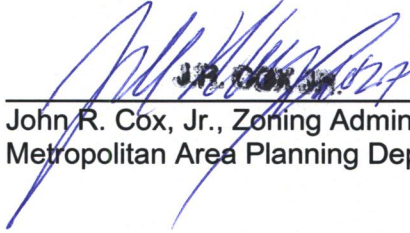
On the basis of our review, we find that adjusting CUP DP-330 in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that CUP DP-330 shall be adjusted as stated in this letter. This adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) new copies and one (1) electronic copy of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



Scott Wadle, Director
Metropolitan Area Planning Department



John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
J.V. Johnston, Council Member District V
Teresa Veazey, CSR, District V



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

March 26, 2025

RE: CUP2025-00012 – Administrative Adjustment in the City to the Fox Ridge Plaza CUP DP-330 to exclude Parcel #3 from the architectural controls, permitting vivid colors and metal to be the predominate exterior building material on property zoned LC Limited Commercial District; generally located on the east side of North Maize Road, within one-half mile south of West 37th Street North.

Dear Property Owner,

This letter is to inform you of two (2) things:

1. a property owner of Parcel 3 within Community Unit Plan DP-330 (see the attached map) is requesting administrative approval for modifications to an architectural design requirement; and
2. you have an opportunity to provide comments regarding the requested change.

Background

- The Wichita-Sedgwick County Unified Zoning Code allows (in some cases it requires) property owners to create Community Unit Plans for large areas of commercial zoning.
- In 2011, the owners of properties generally bounded by North Maize Road on the west and West Silver Fox Street on the south created Community Unit Plan DP-330. This CUP included multiple requirements including the following.
 - “In the event of apartment dwellings, all buildings within the CUP shall share a uniform architectural character, color, and same predominate exterior building material, as determined by the Director of Planning. All building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accents, and must employ materials similar to surrounding residential areas. The predominate exterior building materials shall be masonry, unless approved by the Director of Planning.

Application

- The property owner for undeveloped Parcel #3 of CUP DP-330 has submitted an Administrative Adjustment requesting the Planning Department to approve the exclusion of Parcel 3 from the above stated architectural language. The requested change would allow for the property owner to construct a building that may not have compatible or similar architecture as the existing buildings with the CUP.

- The applicant is requesting that metal be permitted as a predominate exterior building material in addition to permitting vivid colors be allowed more than just incidental accent.

Comments

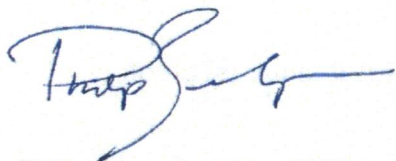
- You have an opportunity to submit comments and/or protests regarding the requested changes to CUP DP-330.
- The deadline for comments/protests is **April 9, 2025.**
- Please submit comments/protests by either emailing them to Planning@wichita.gov or mailing them to:

Wichita-Sedgwick Metro Area Planning Department
Attn: Philip Zevenbergen
217 W. 3rd Street North, Ste. 201
Wichita, KS 67202

Resources

- You can find a copy of the existing/current CUP DP-330 online (link below) or by contacting the Planning Department at planning@wichita.gov or 316.268.4421.
<https://online.wichita.gov/LFWebDocs/Home/MAPD?&MAPDSearchModel.DocumentToFind=CUP%20DP-330>

Regards,



Philip Zevenbergen, AICP
Current Plans
Division Manager

Community Unit Plan Map—Identifying Parcel 3



General Provisions

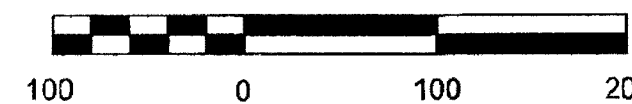
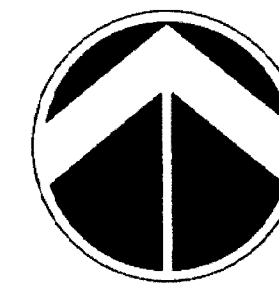
8. Screening for this site shall be required as follows:
- A. Rooftop mechanical equipment shall be screened from ground level view per Wichita-Sedgwick County Unified Zoning Code.
 - B. Trash receptacles, loading docks, outdoor storage, and loading areas shall be appropriately screened to reasonably hide them from ground view with fencing and/or landscaping.
 - C. Unless otherwise noted Screening shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV and Section III.C.2.2.
 - D. An eight foot masonry wall along the south side of the curb of the CURP may be substituted for the following landscape buffer. A double row of evergreens shall be placed upon a 6 to 9 foot tall earthen berm along the south line of S. Fox Street of the CURP. The earthen berm shall also establish and maintain native grasses and plantings to match or similarly replicate that of the existing berms in the adjoining Fox Ridge residential neighborhood. The double row of evergreens shall be planted at a minimum rate of 16 feet or center in a random manner to maintain a cohesive aesthetic with said Fox Ridge neighborhood. The double row of evergreens shall form a living wall effectively creating an opaque screen. Said trees and landscaping shall be maintained in good condition and be properly irrigated.
 - E. If Parcels 8 and 9 are developed with non-residential land uses then a wall along the east boundary of the Parcels 8 and 9 shall be required. A single row of evergreens shall be planted along the southeast corner of Parcel 9 and continue along the east edge of the easterly Reserve to the northeast corner of said Reserve. Said single row of evergreens shall be planted at a minimum rate of 16 feet on center and shall be irrigated and maintained in good condition.

A tract of land lying within a portion of Fox Ridge Platte Addition, an addition to Wichita, Sedgewick County, Kansas, said tract being more particularly described as follows:

Lots 1, 2, 3, 4, 5, 6, 7, 8, and Block 1, Reserves "C", "D", and "E", AND ALSO that part of Reserve A being described as follows: BEGINNING at the northeast corner of said Block 1; and thence the extended north line of said Block 1 being a northerly line of said Reserve A, N88°12'08"E, 222.45 feet; thence N88°12'08"E, 100.00 feet to the east line of said Reserve A; thence along the easterly and southerly lines of said Reserve A for the next eight courses, N01°03'47"E, 872.45 feet to a point on a curve to the right; said curve having a radius of 55.00 feet, a central angle of 49°02'45", a chord bearing of S23°27'35"W, and a chord distance of 45.68 feet; thence along said curve to the right 47.08 feet to a point on a curve to the left; said curve to the left having a radius of 67.00 feet, a central angle of 50°01'00", a chord bearing of S74°33'30"W, and a chord distance of 107.15 feet; thence along said curve to the left 106.86 feet to a point on a curve to the right; said curve to the right having a radius of 55.00 feet, a central angle of 46°10'35", a chord bearing of S04°31'25"W, and a chord distance of 43.14 feet; thence along said curve to the right 44.33 feet; thence S27°36'34"W, 23.40 feet to a point on a curve to the right; said curve to the right having a radius of 110.00 feet, a central angle of 77°48'12", a chord bearing of S66°30'49"W, and a chord distance of 136.16 feet; thence along said curve to the right 149.37 feet to a point on a curve to the left; said curve to the left having a radius of 340.00 feet, a central angle of 17°15'07", a chord bearing of N85°12'39"W, and a chord distance of 101.99 feet; thence along said curve to the left 102.38 feet; thence S88°08'47"W, 9.76 feet to the corner of the corner of said Block 1; and thence along the north line of said Block 1 for the remaining courses, N03°47'54"W, 493.70 feet; thence N00°55'35"W, 61.23 feet to the POINT OF BEGINNING.

Said tract CONTAINS: 1,498.111 square feet or 34.931 acres of land, more or less.

Wichita, KS • 316.684.9600



OWNER / DEVELOPER: Tier 1, LLC Attn: Marv Schellenberg 7926 W. 21st Wichita, KS 67205 316-721-2153

APPROVED CUP

12-8-11 Blomgard
WCC 12-10-12 Blomgard
A3 Per AA CVP 2017-09

MAD
Copy 1 of 2

Adjustment #3: CUP2016-0034 8/28, 2016
Adjustment #2: CUP2016-0017 August, 2016
Adjustment #1: CUP2015-00001 March, 2015 Adjustment #4 CUP2017-09: Approved March 14, 2017

CUP2011-00042
70N2011-00038

LEGAL DESCRIPTION

All of "Tract 4" described in Doc. #/Trm-Pg. 29600569, in Fox Ridge Plaza Addition, on addition to Wichita, Sedgewick County, Kansas, TOGETHER with the north 43.44 feet of "Tract 3" described in said Doc. #/Trm-Pg. 29600569.

SITE INFORMATION

Total Area: ±55,550.0 sq. ft. (1.28 acres)
Disturbed Area: ±52,757.2 sq. ft. (1.21 acres)
Impervious Area, pre-constr: ±0 sq. ft. (0.00 acres)
Impervious Area, post-constr: ±41,403.8 sq. ft. (0.95 acres)

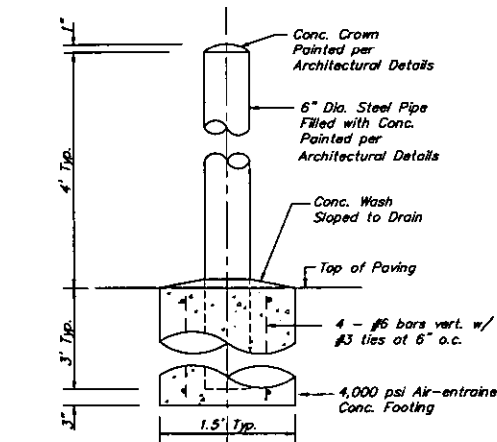
BENCHMARKS

SITE BENCHMARK-1
"X" Chiseled on Top of Curb at east and west entrance island in Lot Split Tract 10.
Elevation=1353.85 (NAVD 88)

SITE BENCHMARK-2
Control Point on top of 24" storm sewer and section, approximately 27.7' west and 10.2' south of the southwest corner of the subject property.
Elevation=1352.75 (NAVD 88)

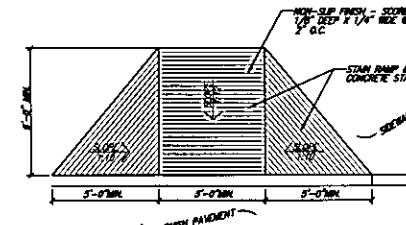
LAYOUT NOTES

- Contractor shall be required to provide notice to Kansas One Call at 887-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.
Kansas One Call 1-800-DIG-SAFE
- The Contractor must notify the following in case of an emergency:
Kansas Gas Service (Gas).....1-888-482-4850
Black Hills Energy (Gas).....1-800-303-0357
Westar Energy (Electric).....363-9630
Cox Communications (Telecommunication).....262-4270
AT&T (Telecommunication).....268-2759
City of Wichita Water Dept. (Water).....268-4563
or 268-4908
City of Wichita Sewer Maint. (San. Sewer).....268-4024
or 262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
City of Wichita Traffic Maint. (Traffic Control).....268-4034
or 268-4203
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....529-6600
or 1-800-324-9596
Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by demolition on this project shall be handled in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
- The Contractor shall provide appropriate signage throughout the sequence of construction clearly stating where construction entrances are.
- The Contractor shall take all necessary precautions to protect the general public during the construction and demolition process. This may include the use of fences and signage.
- Signage and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Dimensions shown are to face of curb or edge of pavement unless otherwise noted.



2 CONCRETE BOLLARD

NOT TO SCALE



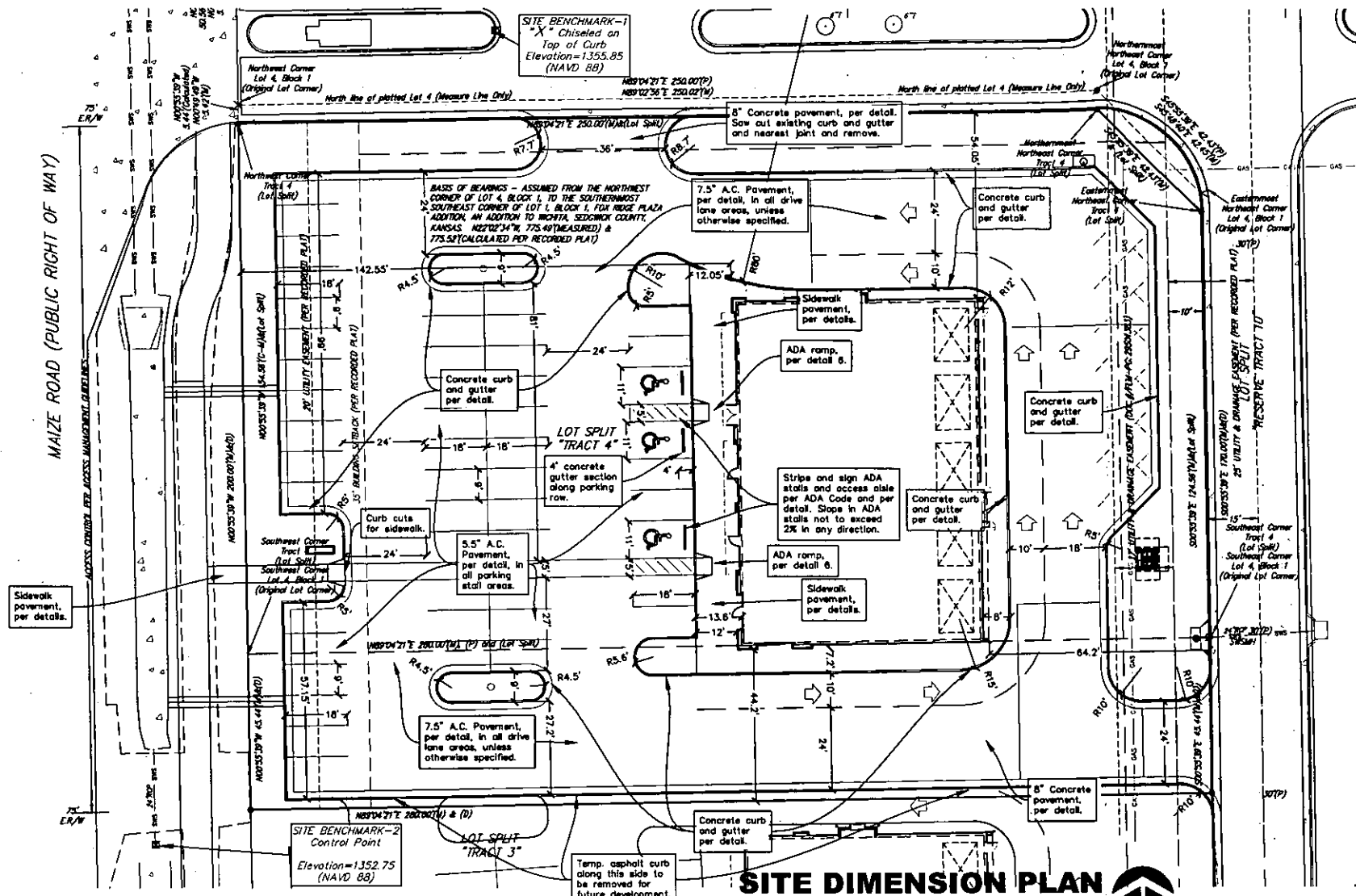
6 HANDICAP RAMP PLAN

NOT TO SCALE

APPROVED

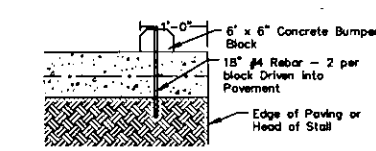
DP-330 Site Circ + Ped Walk per GP#15

Date: 3-3-17 *JK*



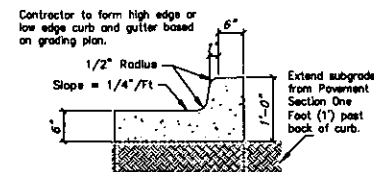
SITE DIMENSION PLAN

Scale 1"= 20'-0"



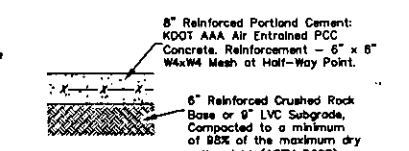
3 TYP. CONCRETE WHEELSTOP

NOT TO SCALE



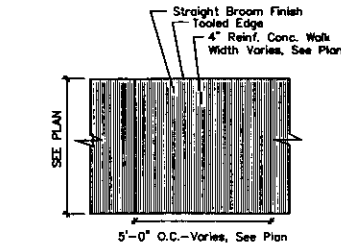
4 CURB & GUTTER SECTION

NOT TO SCALE



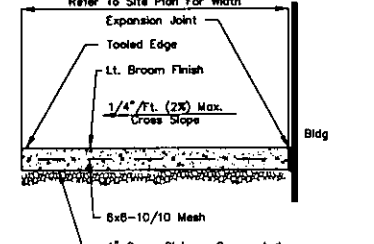
5 8" CONCRETE DRIVEWAY PAVEMENT

NOT TO SCALE



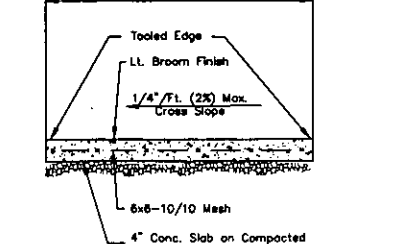
7 TYP. PATTERN IN WALK

NOT TO SCALE



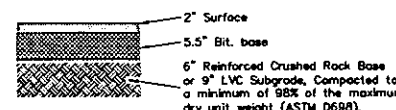
8 TYP. CONC. WALK @ BLDG WALL

NOT TO SCALE



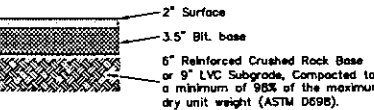
9 TYP. CONC. WALK SECTION

NOT TO SCALE



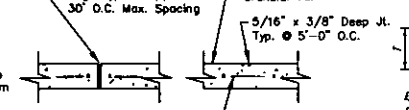
11 7.5" ASPHALT PAVEMENT

NOT TO SCALE



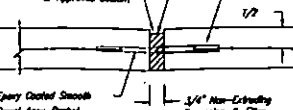
12 5.5" ASPHALT PAVEMENT

NOT TO SCALE



13 SIDEWALK JOINTS

NOT TO SCALE



14 EXPANSION JOINT (E.J.)

NOT TO SCALE

APPROVED

DP-330 Arch Rev per GP#4

Date: 10-24-17 SL

Page 1 of 2

LEGEND

- BRICK: GENERAL SHALE, OLD GEORGETOWN
- EIFS: STO CORP. 31434 PULP
- STONE (DECORATIVE CMU): GENERAL SHALE, CHARCOAL
- CLAY TILE ROOFING: LUDOWICI, LUDO SLATE, BRUNSWICK BLACK
- GUTTERS, FASCIAS, & DOWNSPOUTS: 16 OZ COPPER



1 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



WDM
ARCHITECTS

WDM Architects P.A.
105 North Washington
Wichita, KS 67202-2815
T 316.262.4700
F 316.262.0002
wdmarchitects.com

Capitol Federal
at Fox Ridge Plaza
3540 N. Malvern Rd.
Wichita, KS 67205

PRINTS ISSUED
10.04.17 - FOR BIDDING

REV.		
NO.	DATE	DESC.

WDM No. 17007
drawn: Author
checked: Checker
EXTERIOR ELEVATIONS

A201C

© copyright 2017 WDM Architects P.A.

APPROVED

DP 330 Arch Rev per GP#4

Date: 10-24-17 *SK*

Page 2 of 2

LEGEND

- BRICK: GENERAL SHALE, OLD GEORGETOWN
- EFS: STO CORP. 31434 PULP
- STONE (DECORATIVE CMU): GENERAL SHALE, CHARCOAL
- CLAY TILE ROOFING: LUDOWICI LUDO SLATE, BRUNSWICK BLACK
- GUTTERS, FASCIAS, & DOWNSPOUTS: 16 OZ COPPER



wdm
ARCHITECTS

WDM Architects P.A.
105 North Washington
Wichita, KS 67202-2815
T 316.262.4700
F 316.262.0002
wdmarchitects.com

**Capitol Federal
at Fox Ridge Plaza**
3540 N. Maize Rd.
Wichita, KS 67205

PRINTS ISSUED
10.04.17 - FOR BIDDING

REV.		
NO.	DATE	DESC.

WDM No. 17007
drawn: Author
checked: Checker
EXTERIOR ELEVATIONS

A202C

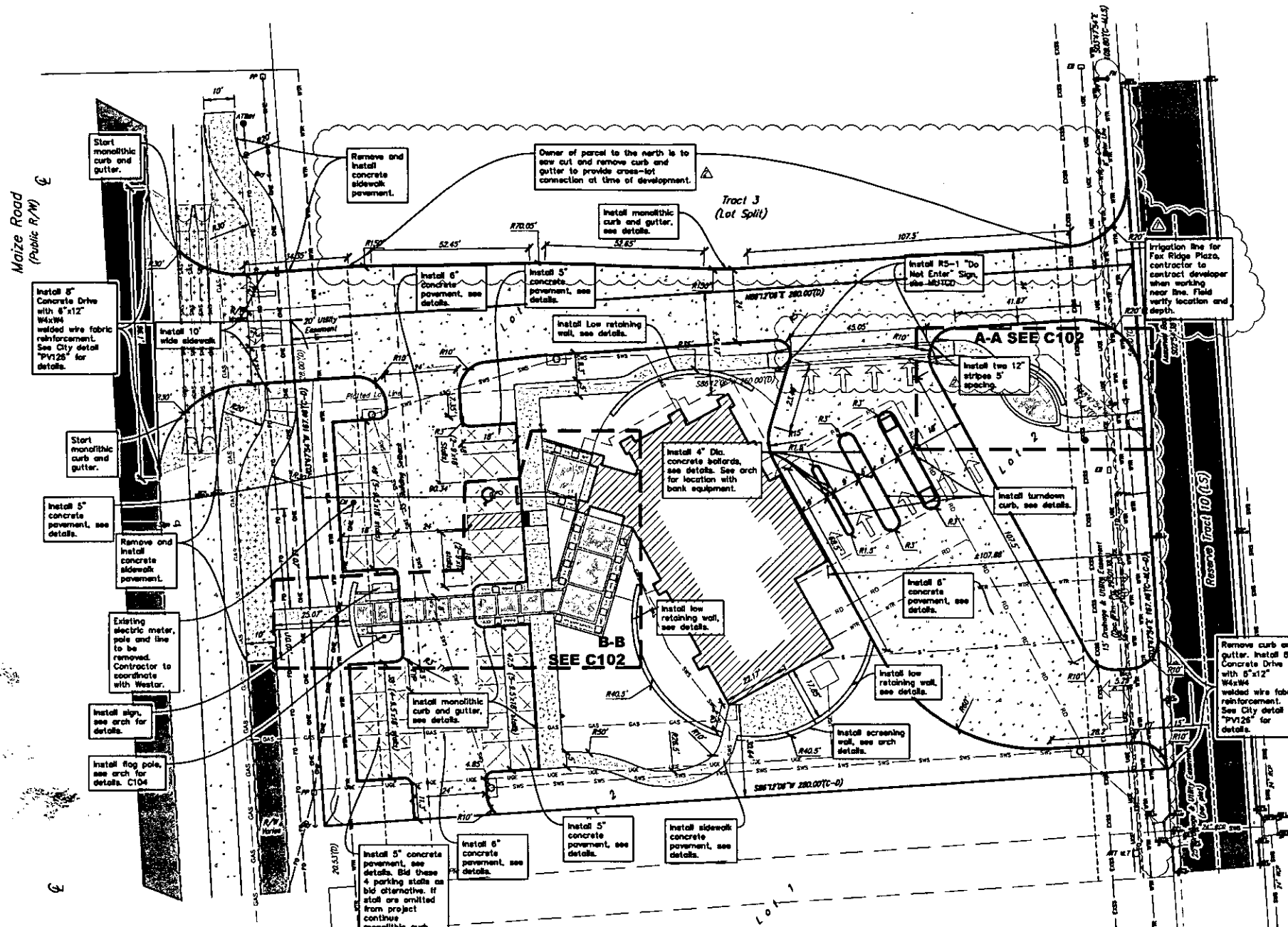
© copyright 2017 WDM Architects P.A.



1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



SITE INFORMATION

Total Area:	46,881 sq. ft. (±1.06 acres)
Disturbed Area:	58,845 sq. ft. (±1.30 acres)
Impervious Area:	0 sq. ft. (±0 acres)
Ex:	30,523 sq. ft. (±0.70 acres)
Add (Lot 2)	3,043 sq. ft. (±0.07 acres)
(Lot 3)	

LEGAL DESCRIPTION

Lot 2, Block 1, Fox Ridge Plaza Addition, an Addition to Wichita, Sedgwick County, Kansas, EXCEPT the south 20.53 feet thereof, TOGETHER WITH

A portion of Lot 8, Block 1, Fox Ridge Plaza Addition, an Addition to Wichita, Sedgwick County, Kansas, said portion being more particularly described as follows:

BEING the northwest corner of said Lot 2, thence along the west line of said Fox Ridge Plaza Addition on a plotted bearing of N43°47'34\"/>

BENCHMARKS

SITE BENCHMARK 1
"V" Hatch Chiselled on
Top of Curb
Elevation=1353.28
(NAD83)

SITE BENCHMARK 2
"O" with "X" Chiselled on
Top of Curb
Elevation=1355.85
(NAD83)

PARKING

Required per zoning:	12
Provided:	1
Standard:	14
Add All:	4
Total:	19 Stalls Provided

LAYOUT NOTES

- Contractor shall be required to provide notice to Kansas One Call at 887-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
Kansas Gas Service (Gas).....1-888-482-4850
Black Hills Energy (Gas).....1-800-303-0337
Westar Energy (Electric).....383-8650
Cox Communications (Telecommunication).....262-4270
AT&T (Telecommunication).....268-2759
City of Wichita Water Dept. (Water).....268-4563
City of Wichita Sewer Maint. (San. Sewer).....268-4024
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4000
City of Wichita Traffic Maint. (Traffic Control).....268-4034
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....1-800-324-9696
Phillips Pipeline Co. (Petroleum).....1-800-788-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Signage and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Dimensions shown are to face of curb or edge of pavement unless otherwise noted.
- The Contractor shall receive written approval from adjacent landowners prior to proceeding with any construction work on landowner's property.
- Details available at City of Wichita web site at <http://www.wichita.gov/> - Government/Department/P&I/Standards/Construction or by request.

LAYOUT LEGEND

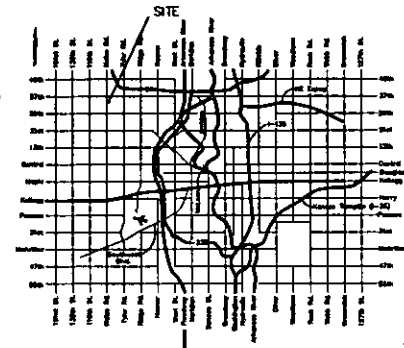
---	Electric Underground
---	Electric Overhead
---	Water Line
---	Gas Line
---	Petroleum Pipeline
---	Storm Water Sewer Pipe
---	Sanitary Sewer Line
---	Telecommunication (AT&T)
---	Telecommunication (Cox)

APPROVED

DP-330 Site Circ + Ped Walk Plan per GP#15

Date: 10-24-17

Page 1 of 2



10-18-17 Irrigation man for Fox Ridge called out. Site information updated.

10-24-17 Striping for the cross walk added. Cross-walk connection note added for future development on parcel to the north.

BAUGHMAN COMPANY
315 Ellis St., Wichita, KS 67211 316-262-7271
BaughmanCo.com



WDM ARCHITECTS

WDM Architects P.A.
105 North Washington
Wichita, KS 67202-2815
T 316.262.4700
F 316.262.0002
wdmarchitects.com

Capitol Federal
at Fox Ridge Plaza

PRINTS ISSUED
10.04.17 - Final Plans

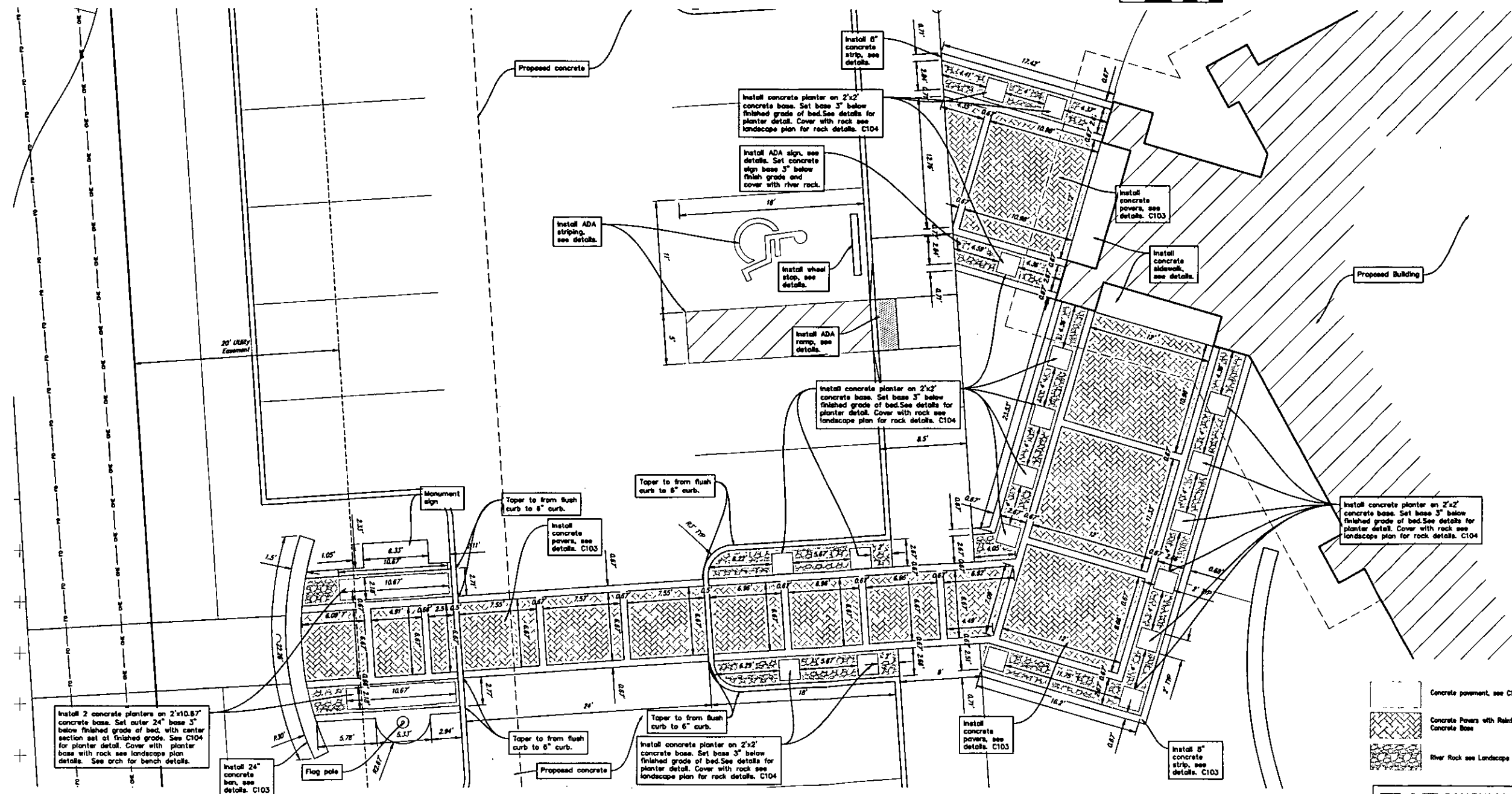
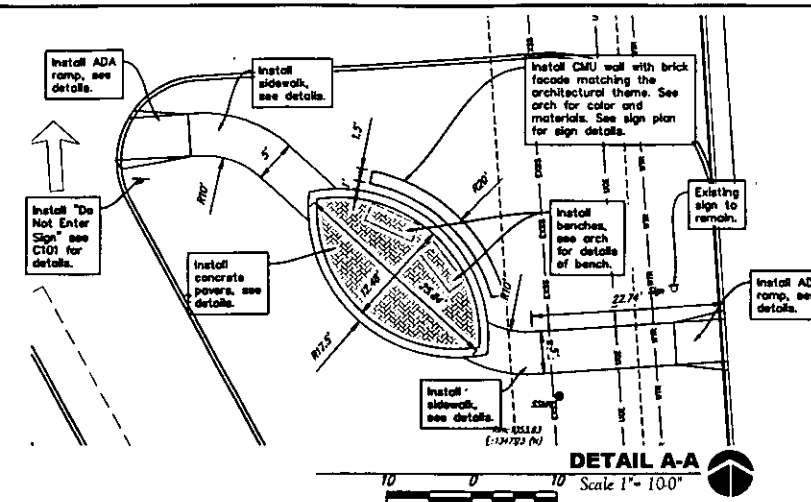
REVS.

NO.	DATE	DESC.
1	10-18-17	Addendum 1
1	10-24-17	City Comments

WDM No. 17007
drawn: DPGJ
checked: PSB
Layout

C101

Date: 10-24-17 SK
Page 2 of 2



WDM Architects P.A.
105 North Washington
Wichita, KS 67202-2815
T 316.262.4700
F 316.262.0002
wdmarchitects.com

**Capitol Federal
at Fox Ridge Plaza**

3540 N. Maize Rd.

PRINTS ISSUED
10.04.17- Final Plans.

REVS.

WDM No. drawn: DPGJ
17007 checked: PSB
 Layout Details

Layout Details

C102



BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7222
BaughmanCo.com

DOI: 10.1002/for

DP-380 Arch Review Parcel 15

APPROVED

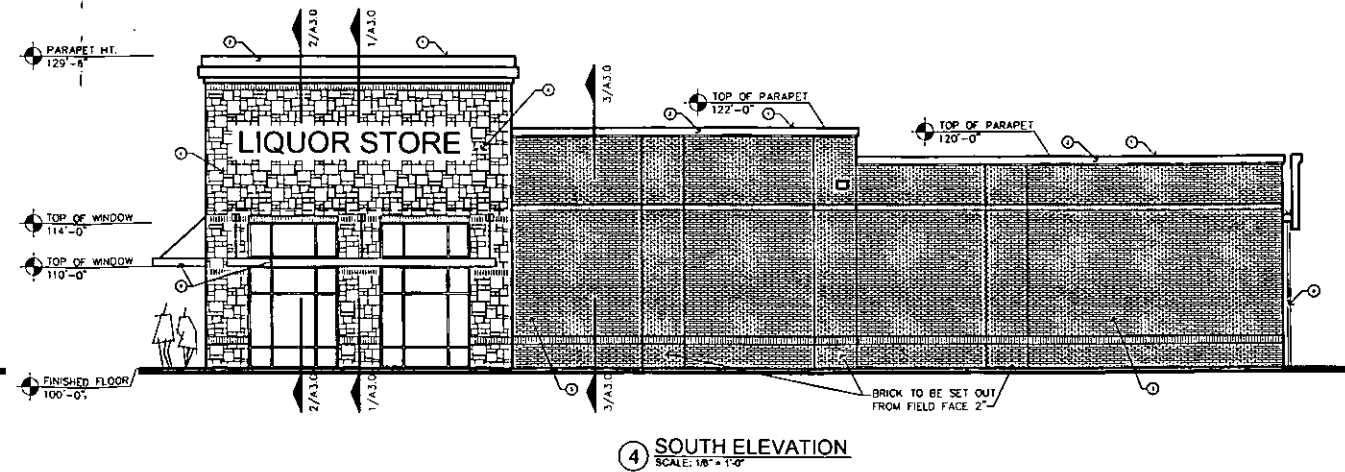
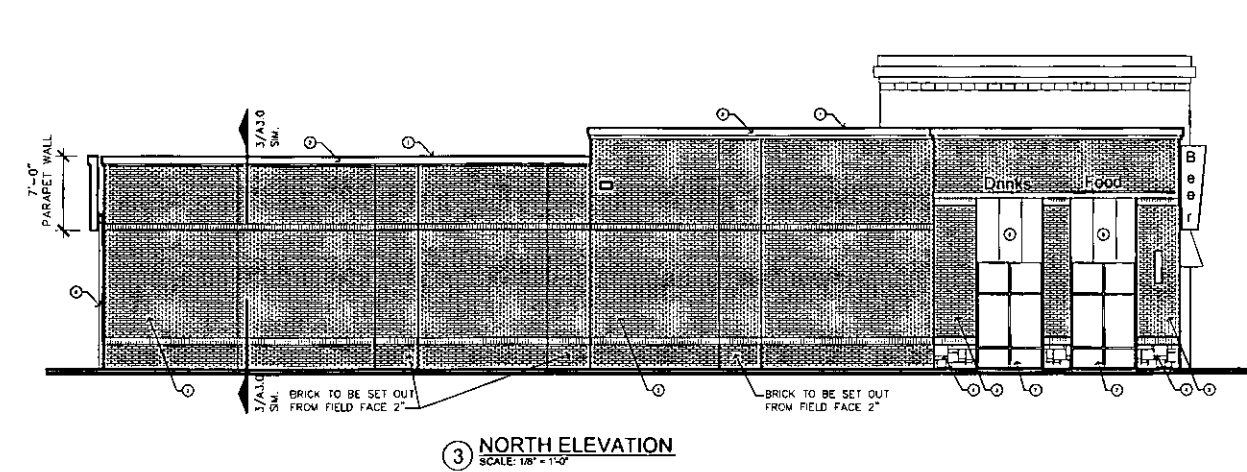
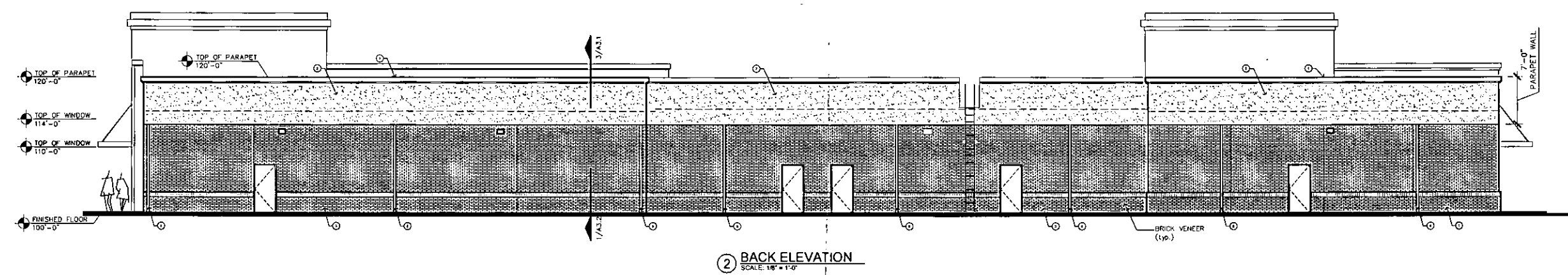
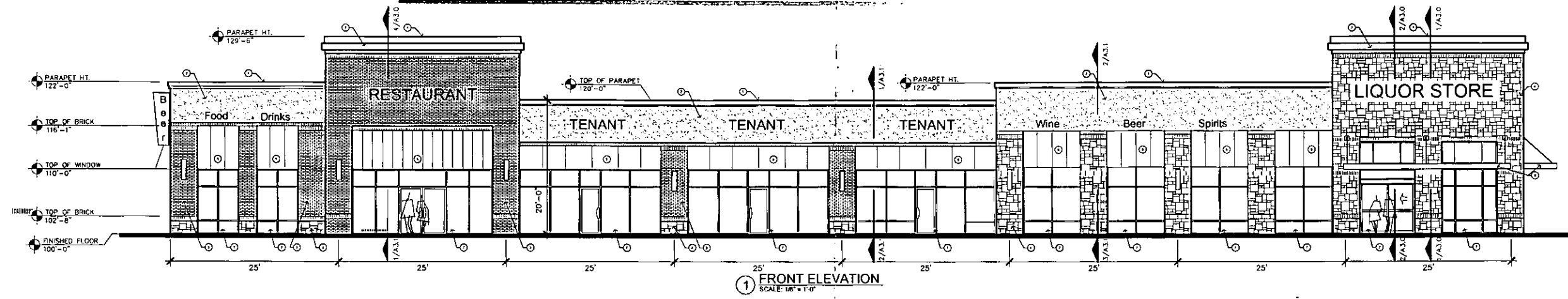
SR

07/20/16

©COPYRIGHT

FINISH SCHEDULE		
NUMBER	MATERIAL	DESCRIPTION
1	COPING CAP	PREFINISHED METAL COPING CAP
2	STUCCO	HARDBOARD STUCCO SYSTEM
3	BRICK	OLD GEORGETOWN
4	STONE	SILVERDALE EURO STYLE FULL VENEER- 4"
5	AWNING	CLOTH OVER STEEL FRAME- BLACK
6	AWNING	METAL AWNING- BLACK
7	STOREFRONT	ANODIZED ALUMINUM- CHAMPAGNE BRONZE
8	DOWNSPOUT	PREFIN. METAL DOWNSPOUT- BRONZE, CONNECT TO UNDERGROUND DRAINAGE

Date: 8-22-16



FOX RIDGE PLAZA RETAIL
3560 N. MAIZE RD, WICHITA, KS 67205



Date:	07/20/16
Revisions:	00-00-00
	00-00-00
	00-00-00
	00-00-00

A2.0

EXTERIOR
ELEVATIONS

DP-330 Pedestrian Circulation Parcel S

APPROVED

SK

Date: 8-22-16

LIGHT BASE SCHEDULE

QUANTITY	BASE HEIGHT	BASE TYPE	BASE MATERIAL	COLOR
3	8"	"CLASSICA" BY AIRFORMS	CAST-IN-PLACE CONCRET	GRAY
5	36"	"KELLAMY" BY AIRFORMS	CAST-IN-PLACE CONCRET	GRAY

07/20/16
©COPYRIGHT

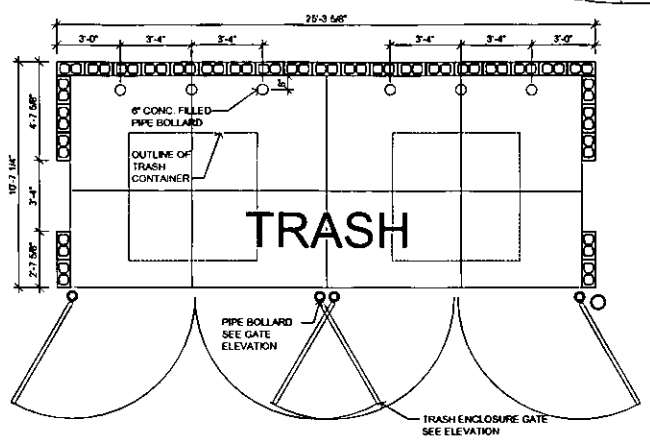
FOX RIDGE PLAZA RETAIL

3560 N. MAIZE RD, WICHITA, KS 67205

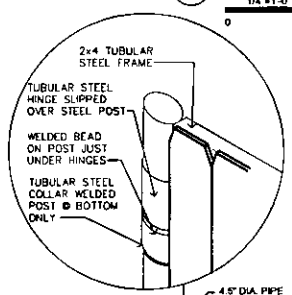


Date: 07/20/16
Revisions:
00-00-00
00-00-00
00-00-00
00-00-00

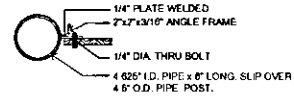
AS1.0
OVERALL
PLAN



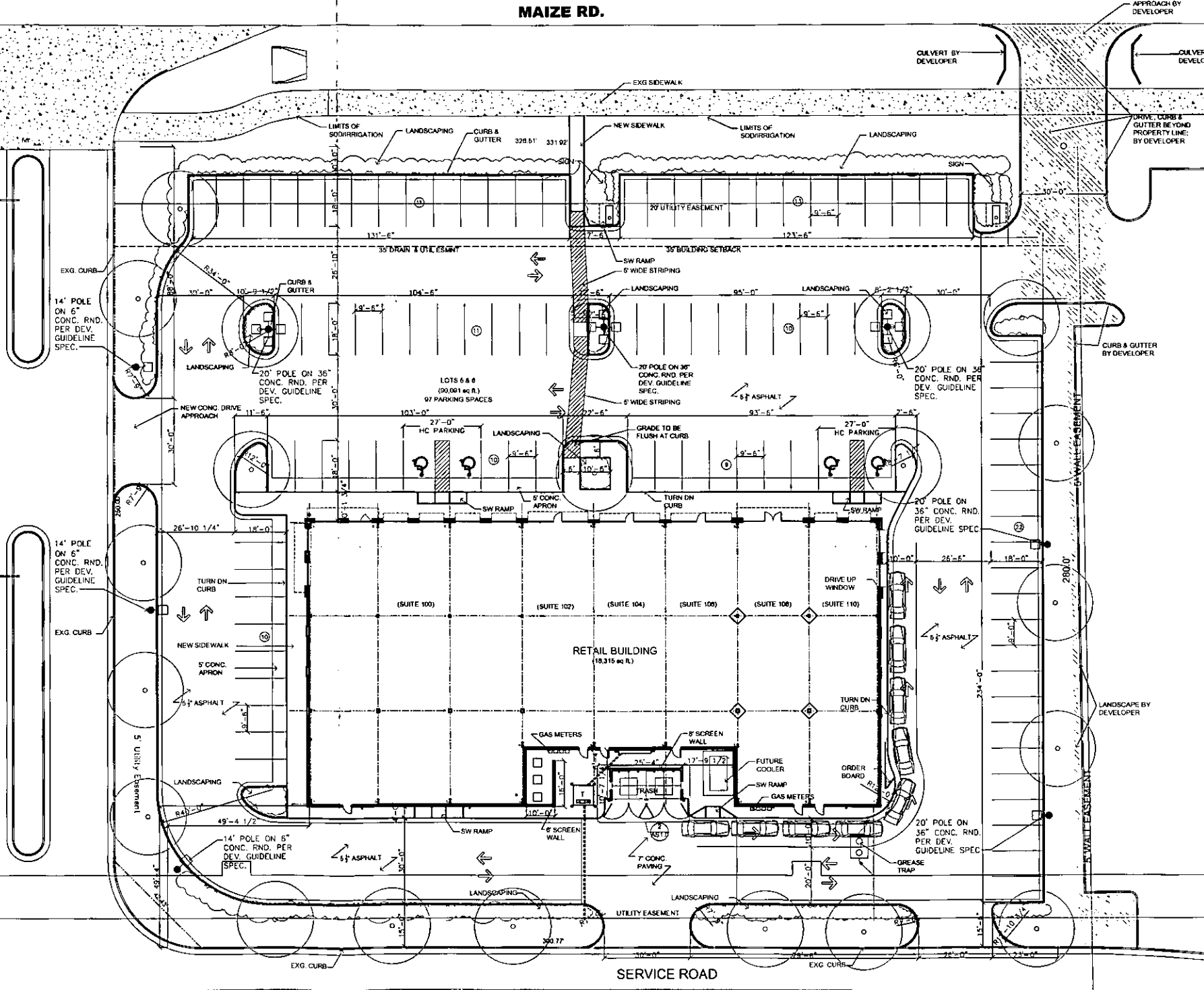
2 TRASH ENCLOSURE PLAN



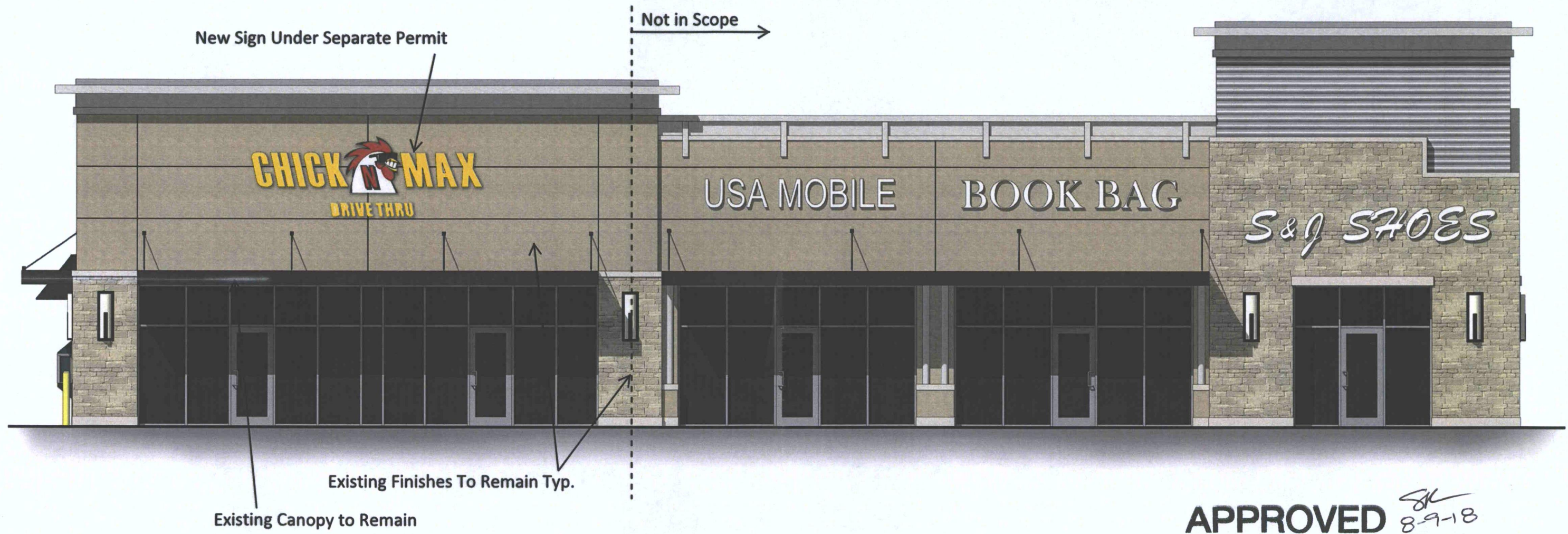
3 TRASH ENCLOSURE ELEV.



4 HINGE DETAIL



1 SITE PLAN



APPROVED *SK*
8-9-18

DP-330 Arch Rev per GP#4

Parcel 4

Page 1 of 3

CHICKEN MAX

Fox Ridge Plaza

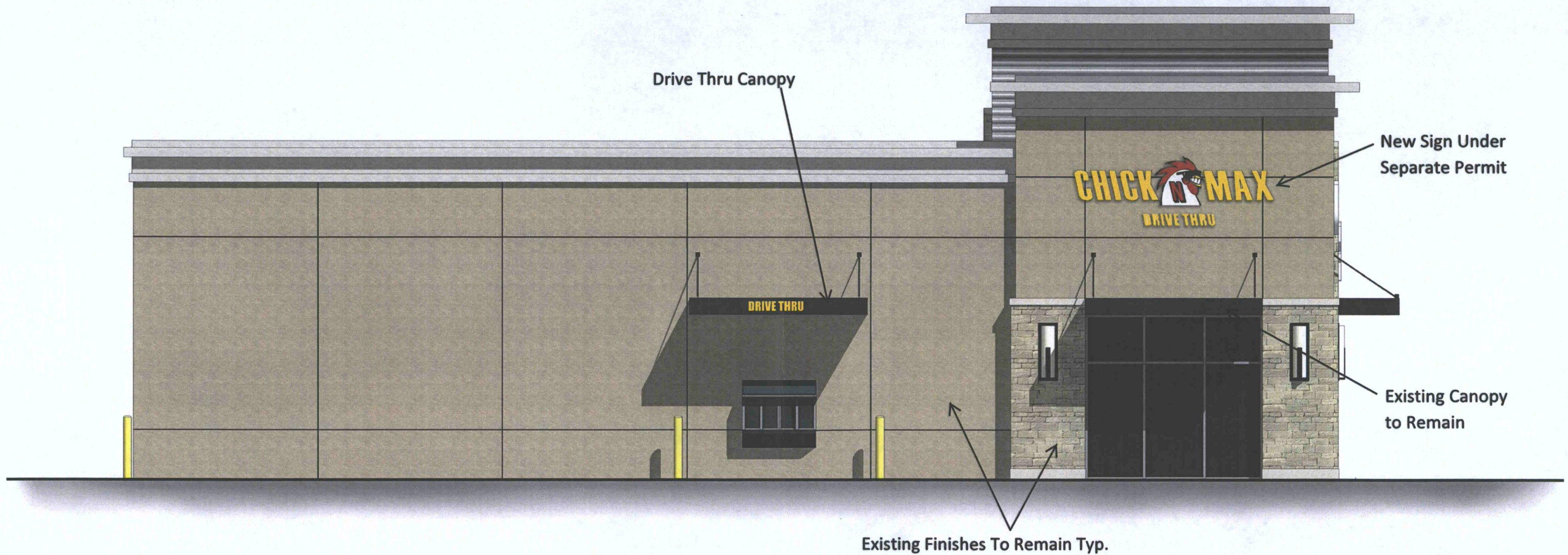
DATE: 08-03-2018
SCALE: N.T.S.

WEST ELEVATION

GHA ARCHITECTURE / DEVELOPMENT

14901 QUORUM DRIVE, SUITE 300
DALLAS, TX 75254 (972) 239.8884





APPROVED *SK*
8-9-18

DP-330 Arch Rev per GP#4

Parcel 4

Page 2 of 3

CHICKEN MAX

Fox Ridge Plaza

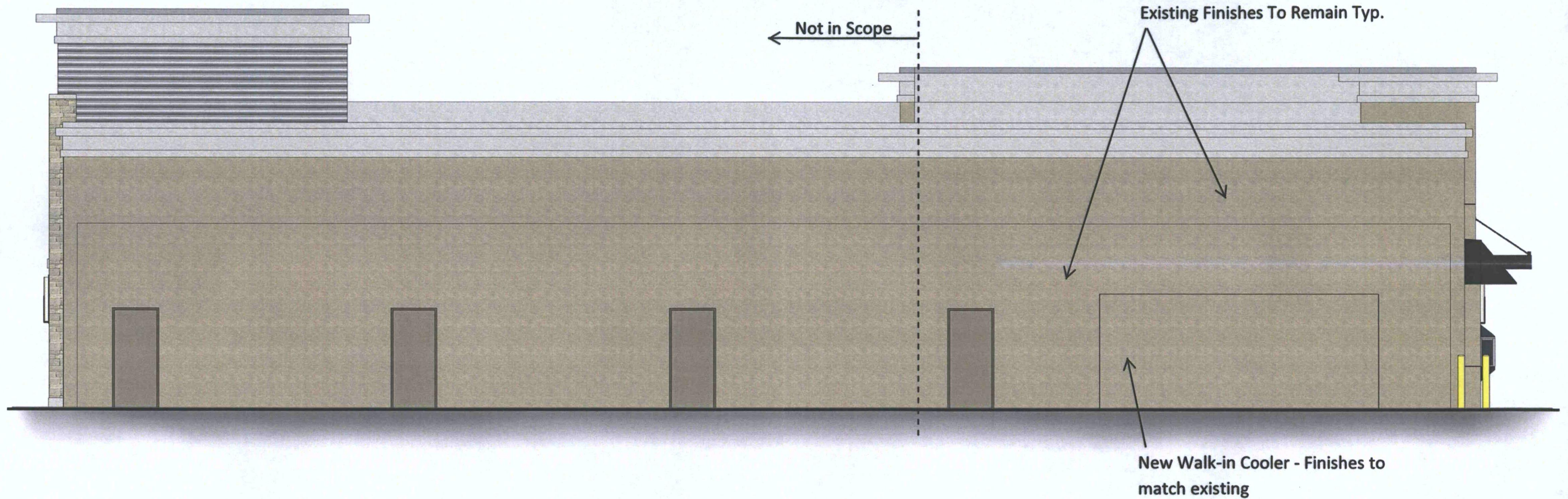
DATE: 08-03-2018
SCALE: N.T.S.

NORTH ELEVATION

GHA ARCHITECTURE / DEVELOPMENT

14901 QUORUM DRIVE, SUITE 300
DALLAS, TX 75254 (972) 239.8884

GH A



APPROVED *SK 8-9-18*
DP-330 Arch Rev per GP#4
Parcel 4
Page 3 of 3

CHICKEN MAX
Fox Ridge Plaza

DATE: 08-03-2018
 SCALE: N.T.S.
 EAST ELEVATION

GHA ARCHITECTURE / DEVELOPMENT

14901 QUORUM DRIVE, SUITE 300
 DALLAS, TX 75254 (972) 239.8884

GH A



Wichita-Sedgwick County Metropolitan Area Planning Department

March 14, 2017

Schellenberg Properties, LLC
Attn.: Marv Schellenberg
7926 W. 21st Street North
Wichita, KS 67205

Baughman Company, P.A.
Attn: Russ Ewy
315 Ellis
Wichita, KS 67211

RE: CUP2017-09 – City Administrative Adjustment to CUP DP-330 to reflect boundary changes between Parcel 3 and Parcel 4 on property located east of Maize Road, approximately 1/3 mile south of 37th Street North

Legal Description:

Lot 3: LOT 3 & TH PT LOT 8 BLOCK 1 BEG SW COR LOT 3 TH ELY 250 FT NELY 42.43 FT S 58 FT WLY 280 FT TO PT W LI FOX RIDGE ADD NLY 28 FT TO BEG FOX RIDGE PLAZA ADDITION; and

Lot 4: LOT 4 EXC BEG NW COR LOT 4 TH E 250 FT SELY 42.43 FT S 5.44 FT NWLY 42.43 FT W 250 FT N 5.44 FT TO BEG BLOCK 1 FOX RIDGE PLAZA ADDITION

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-330, to reflect boundary changes between Parcel 3 and Parcel 4 to accommodate a parcel split and area calculation to reflect a boundary shift.

Parcel 3:

Net Area:	0.91 Acres (41,493 Sq. Ft.)
Maximum Building Coverage:	14,523 Sq. Ft.
Maximum Gross Floor Area:	14,523 Sq. Ft.

Parcel 4:

Net Area:	1.22 Acres (55,551 Sq. Ft.)
Maximum Building Coverage:	19,443 Sq. Ft.
Maximum Gross Floor Area:	19,443 Sq. Ft.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

City Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

T 316.268.4421 F 316.268.4390

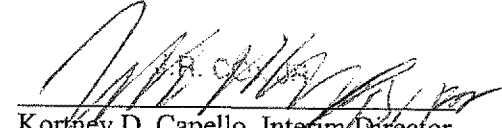
www.wichita.gov

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



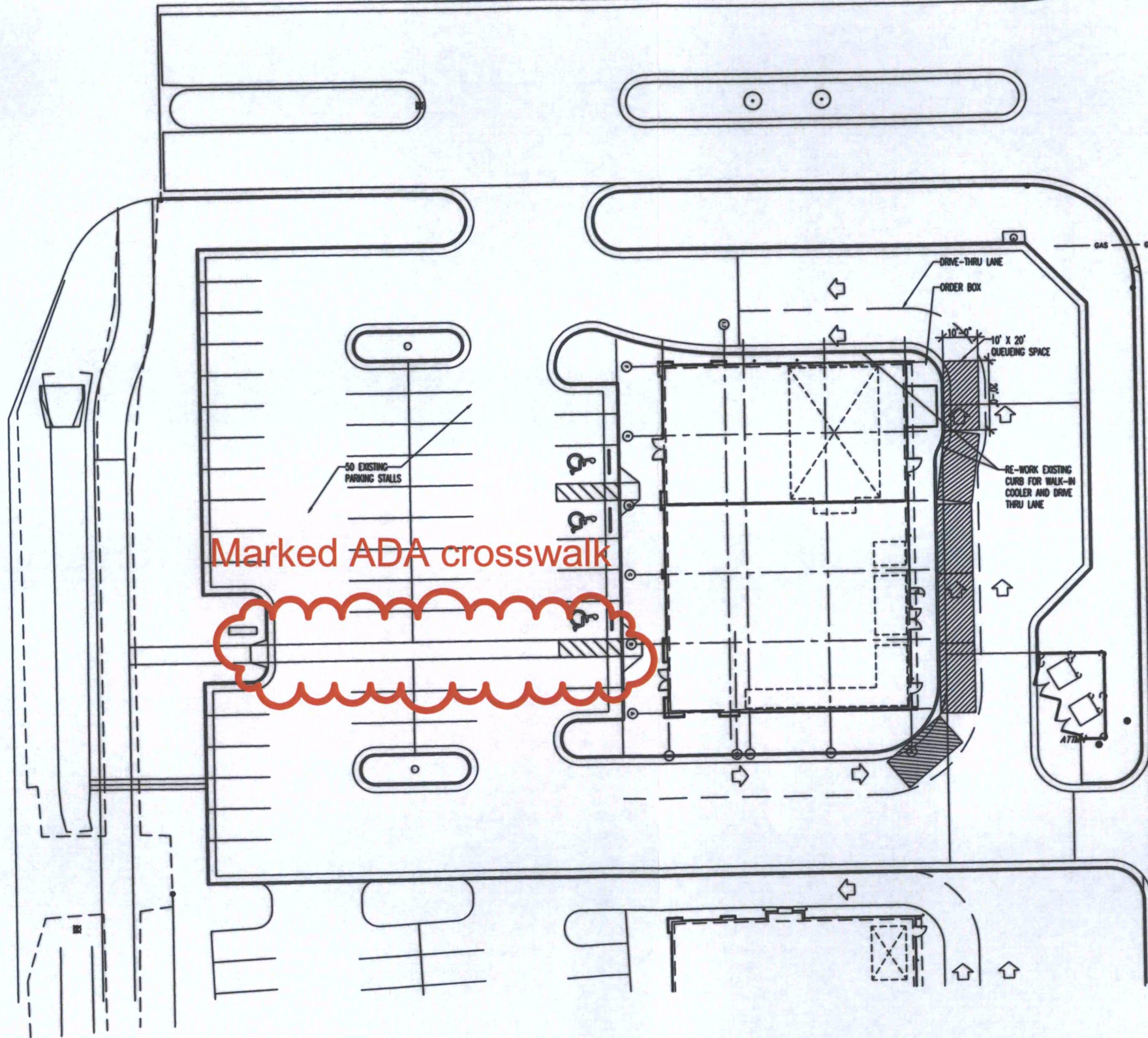
Dale Miller, Director
Metropolitan Area Planning Department



Korney D. Capello, Interim Director
Metropolitan Area Building and Construction
Department

cc: MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Liaison District V

PRINTED BY: JMM
 PRINTED DATE: 08/11/18
 LAYER: 0101
 1-4-2018
 1-4-2018
 1-4-2018
 1-4-2018



01 SITE PLAN
 SCALE: 1/16" = 1'-0"

Parcel 4
APPROVED

DP-330 Ped Circ per GP#15F

SK 9-10-18

GHA
 Architecture / Development
 14001 Quorum Drive
 Suite 300
 Dallas Texas 75244
 Ph: 972 552-0504
 Fax: 972 552-0504



CHECK N MAX
 FOX RIDGE DEVELOPMENT
 9550 MAIZE ROAD
 SUITE 200
 WICHITA, KS 67205



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY
 ALL EXISTING CONDITIONS AND
 DIMENSIONS-NOTIFY ARCHITECT
 OF ANY DISCREPANCIES PRIOR TO
 BEGINNING CONSTRUCTION

NO REVISION

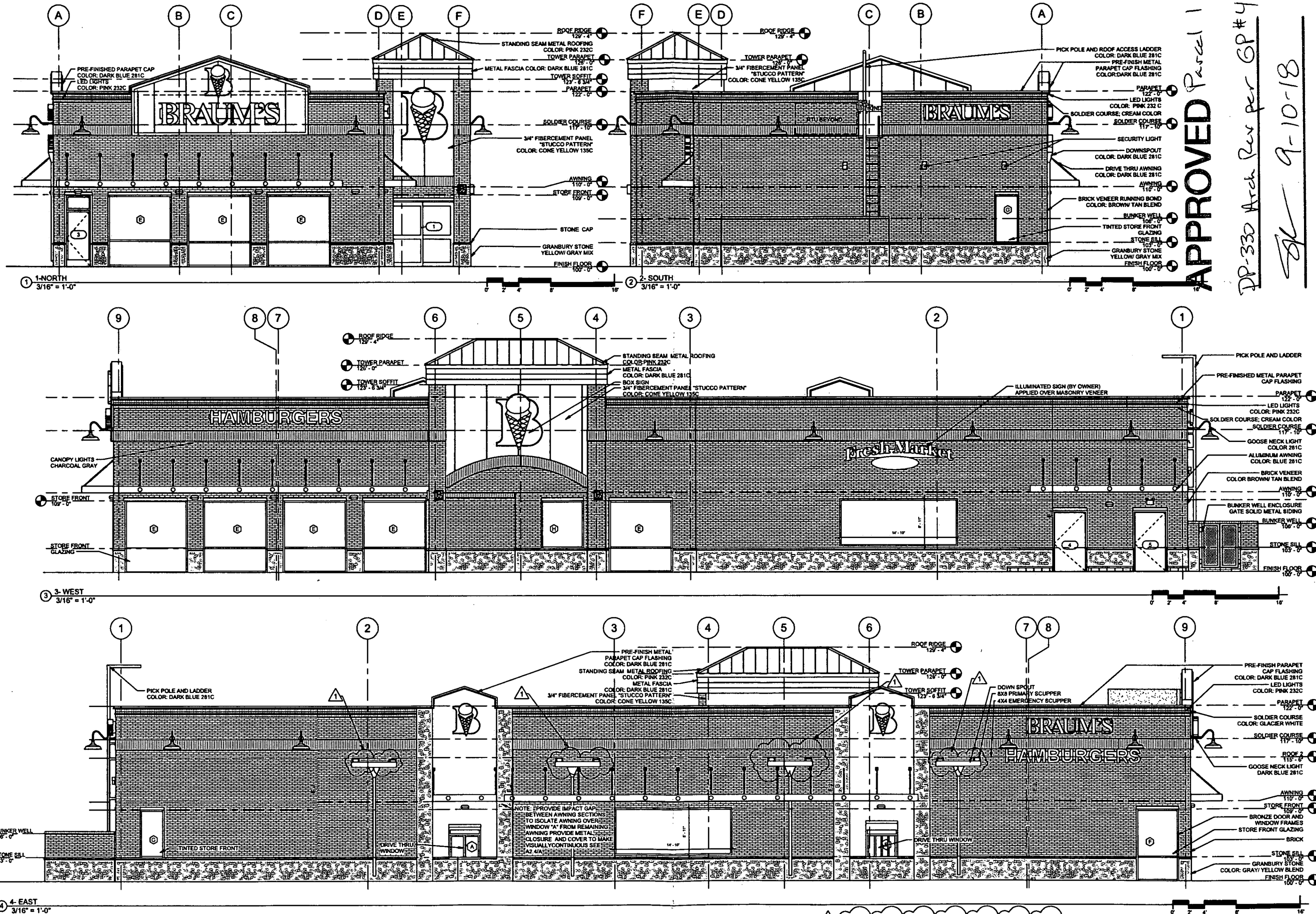
PROJECT NUMBER
180269
 SHEET NAME
SITE PLAN

SHEET NUMBER
AS101

PERMIT RESUBMITTAL 08.08.18
 ISSUE FOR PERMIT 06.27.18

7/3/2018 11:22:40 AM

USER:V:\BRAUMS\BRAUMS_XL\4.3.18 SITE WORK.dwg



APPROVED Parcel 1

DP-330 Arch Rev per GP#4

9-10-18

Elliott Architects Inc.

PHONE:	(405) 735-9710
ADDRESS:	315 ELLIS WICHITA, KS 67211
CONSULTANT:	BAUGHMAN COMPANY P.A.
DISCIPLINE:	CIVIL
STRUCTURAL:	P.E.C.
MECHANICAL:	P.E.C.
ELECTRICAL:	P.E.C.
PLUMBING:	P.E.C.

PROJECT: 21805

DATE: 5/15/18

REVISIONS #/DATE

#	DATE	#	DATE
1	6/20/18	6	
2		7	
3		8	
4		9	
5		10	

SHEET: **A3.1**

EXTERIOR ELEVATIONS

BRAUMS STORE MODEL "XL"

34TH AND MAIZE ROAD
WICHITA, KANSAS



Wichita-Sedgwick County Metropolitan Area Planning Department

May 2, 2016

Tier 1 LLC, attn. Marv Schellenberg
1313 N. Webb Rd. Ste. 230
Wichita, KS 67206

MKEC Engineering, Inc. attn. Joey Deneke
411 N. Webb Rd.
Wichita, KS 67206

RE: CUP2016-17 -City CUP Administrative Adjustment to DP-330 to change parcel boundaries and areas associated with a lot split (LSP2016-16); and to clarify screening and landscaping language; generally located southeast of Maize Road and 37th Street North.

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-330, the Fox Ridge Plaza Community Unit Plan (CUP). We understand that you are adjusting Parcel boundaries and areas for Parcels 2 – 10/Reserve consistent with lot split LSP2016-16. We understand that you are adjusting Parcels 7, 8 and 9 based on ownership and parcel configuration. We understand that the CUP graphics are simplified for clarity with no impact on development controls. And, we understand that General Provisions 7 and 8 are adjusted to clarify lighting and screening due to reconfiguration of Parcels 7, 8 and 9 with no reduction of development standards.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

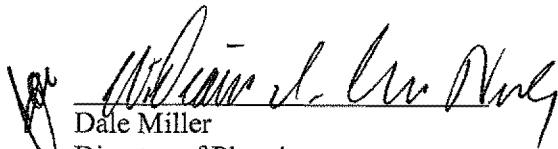
Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

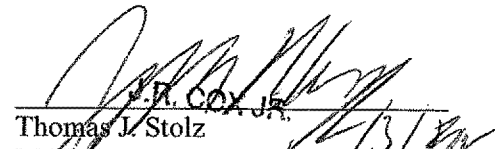
The “Development Application” signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

City Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

T 316.268.4421 F 316.268.4390

www.wichita.gov


Dale Miller
Director of Planning


Thomas J. Stolz
MABCD Director

cc: JR Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Service Representative District V

August 28, 2016

Tier 1 LLC
Attn: Marv Schellenberg
1313 N. Webb Rd., Suite 230
Wichita, KS 67206

MKEC Engineering, Inc.
Attn: Brian Lindebak
411 N. Webb Rd.
Wichita, KS 67206

RE: CUP2016-34 – City CUP Administrative Adjustment to CUP DP-330 Fox Ridge Plaza, to adjust boundaries between Parcel 1 and Parcel 2 containing 2.39 acres. The property is generally located northeast of Maize Road and Silver Fox Street.

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-330, to reflect an adjusted boundary between Parcel 1 and Parcel 2. Proposed modifications are as follows:

1. Parcel #1
Gross Area: 1.309 acres or 57,029 sq. ft.
Maximum Gross Floor Area: 35% or 19,960 sq. ft.
2. Parcel #2
Gross Area: 1.076 acres or 46,891 sq. ft.
Maximum Gross Floor Area: 35% or 16,412 sq. ft.
3. Update CUP document to reflect status of property as shown in this CUP DP-330 Administrative Adjustment.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The “Development Application” sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

Dale Miller, Director
Metropolitan Area Planning Department

Kyle J. McLaren, Interim Director
Metropolitan Area Building and Construction
Department

cc: Kyle J. McLaren, MABCD
J.R. Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Liaison District V



Wichita-Sedgwick County Metropolitan Area Planning Department

REVISED 3/30/2015

February 27, 2015

MKEC Engineering, Inc.
Attn: Brian Lindebak
411 N. Webb Rd
Wichita, KS 67206

RE: CUP2015-01 – City CUP Administrative Adjustment to CUP DP-330, to adjust General Provisions # 1, #2, #3.A, #7.D, #8.D, #10, #14, #15 and add Provision #15.E as shown on associated Lot Split LSP2015-00003 for Fox Ridge Plaza Community Unit Plan DP-330. The property is generally located on the northeast corner of Silver Fox Street and North Maize Road.

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-330, to adjust General Provisions as shown on associated Lot Split LSP2015-00003, approved February 11, 2015. Proposed modifications as follows:

1. Area: 34.391 acres was revised to **34.394** acres.
2. Parcel Descriptions:

Summary:

Total allowable buildings = 24 was revised to **70** and deleted text (*excepting accessory structures*).

Total allowable floor ratio = .32 was revised to **.34**

Minimum Building Setbacks:

Added: ***Abutting Reserve =0'***

Adjusted areas per Lot Split for Parcel 7, 8, and added 9 and 10.

Adjusted Maximum Building Heights

Old Parcels 7 and 8 = 52 feet for hotel or Office 35 feet for all other occupied structures

Now Parcels 7, 8, and 9 = **40 feet**

Adjusted Maximum Building Coverage on Parcels 7, 8, and 9

Old Parcel 7 30% Now Parcel 7 = **25%**

Adjusted Maximum Buildings on Parcels 7, 8, and 9

Old Parcel 7 = 6 Now Parcel 7 = **40 * includes all habitable and inhabitable buildings.**

Old Parcel 8 = 6 Now Parcel 8 = **9 * includes all habitable and inhabitable buildings.**

Now Parcel 9 = **9 * includes all habitable and inhabitable buildings.**

- 3A. revised "Additionally, the following uses are prohibited within the south 100 feet of Parcels 1, 7, and 9."

7.D. Deleted reference to Parcel 8.

8.D. Deleted reference to 34th Street replaced with **Silver Fox Street** and deleted reference to Parcel 8 replaced with 7

City Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

T 316.268.4421 F 316.268.4390

www.wichita.gov

10. Added last sentence: *Parcel 10 / Reserve is reserved for those uses specified on the associated Lot Split.*

14.F. Added reference to revised Parcels 7, 8, 9 under the "Small Tenant Monuments" "Allowed Locations"

Added reference to *Parcel 10 / Reserve* under the "Large Development Identification/Tenant Pylons"

14.G Added reference and ", *except Parcel 10 / Reserve.*"

15.B. Deleted reference to 34th Street replaced with *Silver Fox Street*

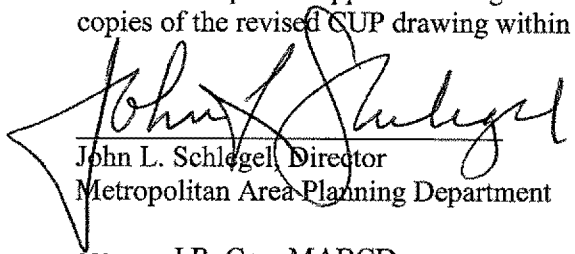
15.E. Add the provision E. to the to transportation improvements:

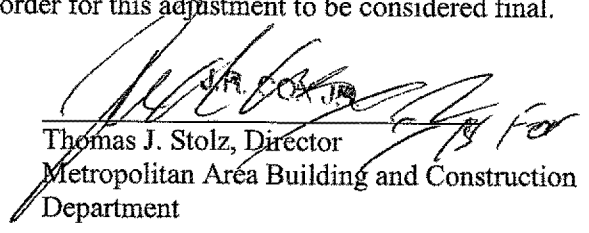
E. A plan for a pedestrian walk system shall be a requirement of the C.U.P. The Walk system shall link proposed building with the entrances and sidewalks along Maize Road and Silver Fox Street and shall be assured by required submission and approval of circulation plans by the Director of Planning prior to issuing building permits.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


John L. Schlegel, Director
Metropolitan Area Planning Department


Thomas J. Stolz, Director
Metropolitan Area Building and Construction
Department

cc: J.R. Cox, MABCD
Jeff Longwell, CM District V
Case Bell, Community Liaison District V

January 17, 2012

Hampton Lakes, LLC
Marv Schellenberg
7926 W. 21st Street
Wichita, Kansas 67205

RE: ZON2010-00038 and CUP2011-00042- City zone change from SF-5 Single-Family Residential to LC Limited Commercial and Creation of the Fox Ridge Plaza DP-330 Commercial Community Unit Plan ("CUP") generally located 1,900 feet south of 37th Street North, east of North Maize Road.

Dear Ladies and Gentlemen:

At its regular meeting on **January 10, 2012**, the Wichita City Council considered the above captioned request. The action of the Council was to **APPROVE** the request, and subject to the following conditions:

- A. **APPROVE** the zone change (ZON2011-00038) to LC Limited Commercial subject to platting within one year.
- B. **APPROVE** the Community Unit Plan (DP-330), subject to the conditions of the CUP attached hereto and the following conditions:
 1. General Provision 17 shall add the following: "Drainage requirements and improvements shall be determined at the time of platting. If necessary, the CUP development plan shall be adjusted or amended to reflect final drainage requirements."
 2. Any costs associated with the relocation of the intersection of 34th Street and Maize shall be the applicant's responsibility.
 3. General Provision 4 shall add the following: "Predominate exterior building materials shall be masonry."
 4. The second sentence of General Provision 8 D shall be amended as follows: "If so, a double row of evergreens shall be placed upon a 6 to 9 foot tall earthen berm along the south line of 34th Street." The following requirement shall also be added to General Provision 8 D, "In addition to the required evergreens, the berm is also to be planted with native grasses similar to those used in the existing Fox Ridge neighborhood reserve located adjacent to the CUP's proposed berm."
 5. The applicant shall submit four revised copies of the CUP to the Metropolitan Area Planning Department within 60 days after approval of this case by the Governing Body, or the request shall be considered denied and closed.

6. The applicant(s) shall record a document with the Register of Deeds indicating that this tract (referenced as DP-330) includes special conditions for development on this property.

If you have any questions concerning this application, please contact our office at 268-4421.

Sincerely,

Dale Miller
Current Plans Manager
Current Plans Division

DM:mc

Copies to: Thomas Luther, 10128 W. Westlakes Ct., Wichita, KS 67205
MKEC Engineering Consultants, Inc, C/O Gene Rath, 411 N. Webb Rd, Wichita,
KS 67206
USD #266, Bruce Nicholson, 11611 W. 49th Street N., Maize, Kansas 67101
WCC V, Jeff Longwell, Mail Stop 1-13
N.A. V, Megan Buckmaster, Mail Stop 1-135
Julianne Kallman, Engineering, Mail Stop 1-71