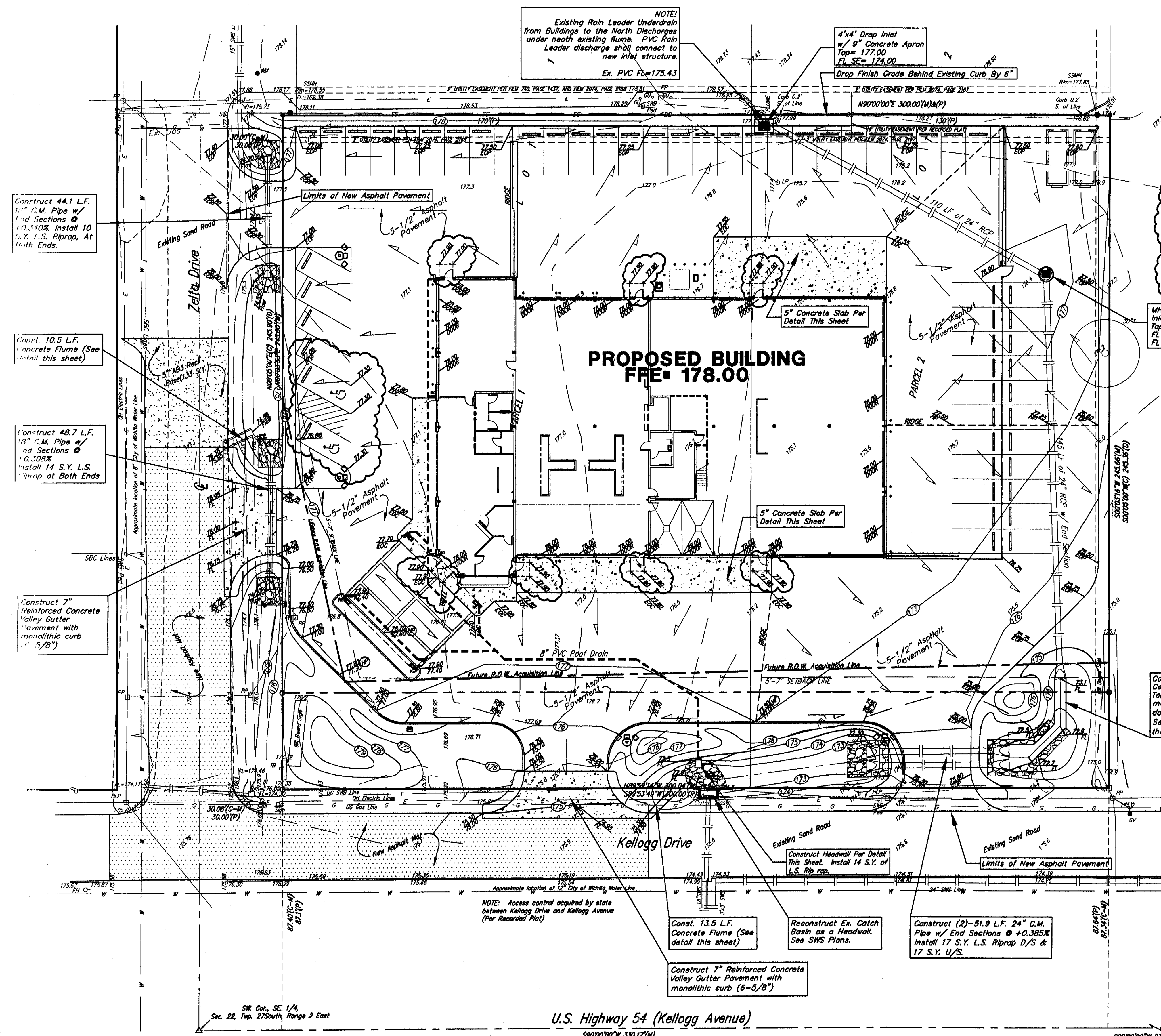




LEGAL DESCRIPTION:

Parcel #1:
Lot 1, Block A, Reynolds Addition to Wichita, Sedgwick County,
Kansas, EXCEPT the north 298 feet thereof.
Parcel #2:
Lot 2, Block A, Reynolds Addition to Wichita, Sedgwick County,
Kansas, EXCEPT the north 298 feet thereof.

BENCHMARK:

RR Spike in Light Pole 6' West and 37' South of NW Corner of
Property.
Elev= 177.77 (City Datum)

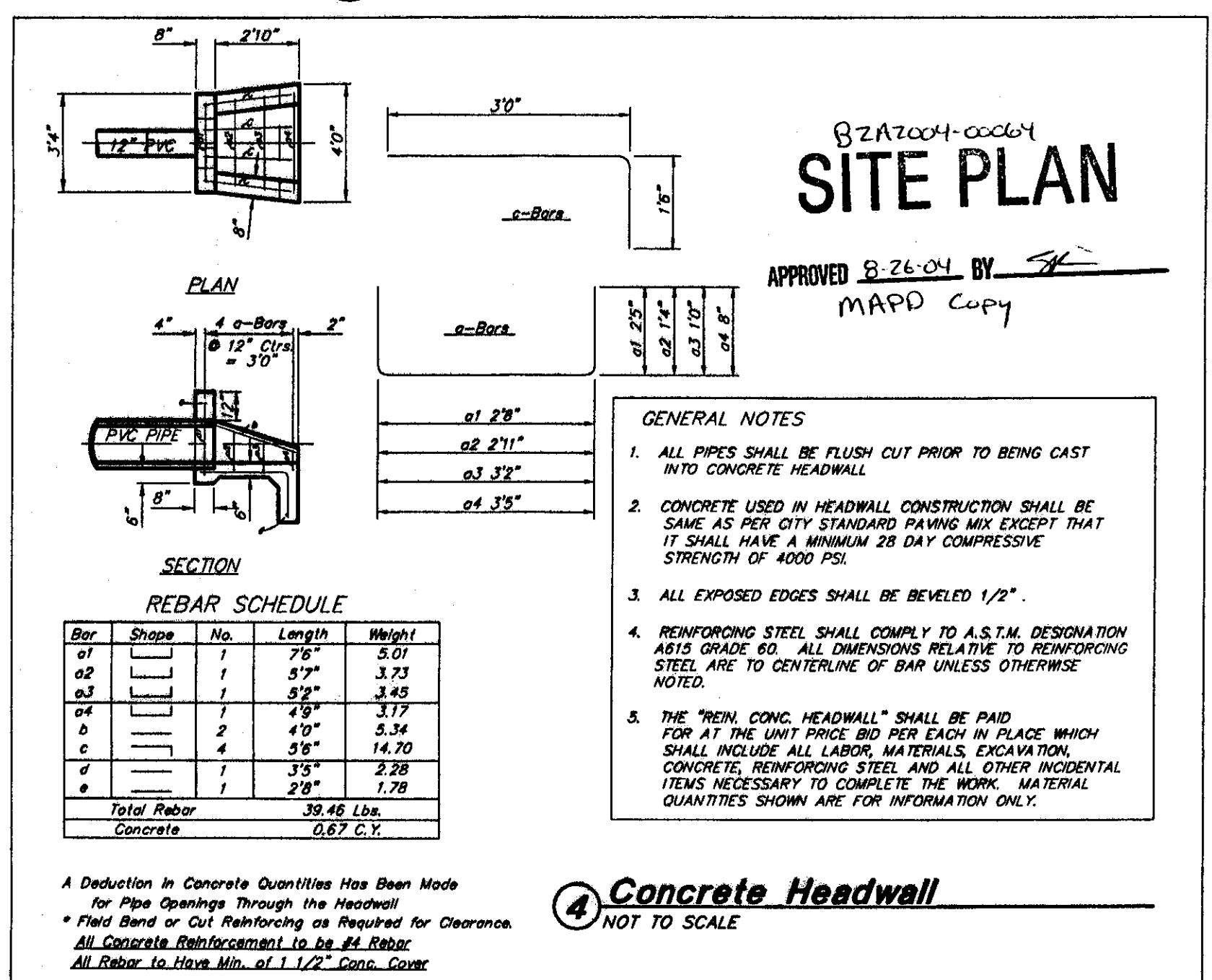
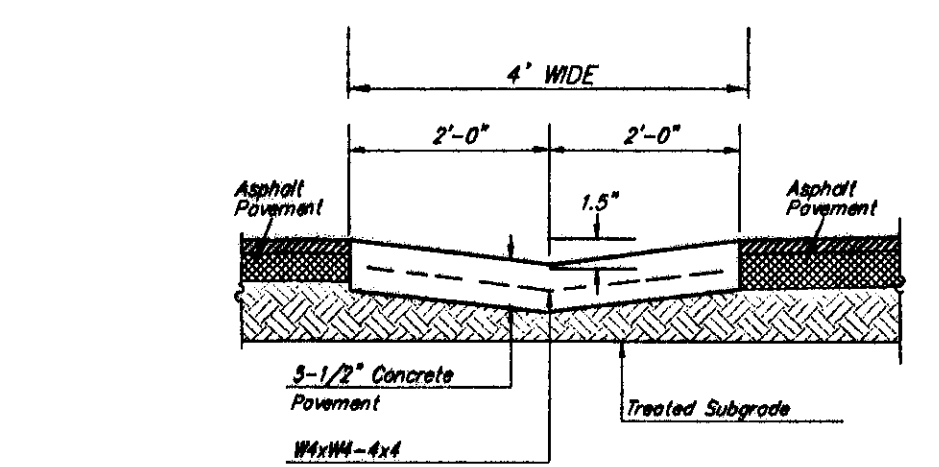
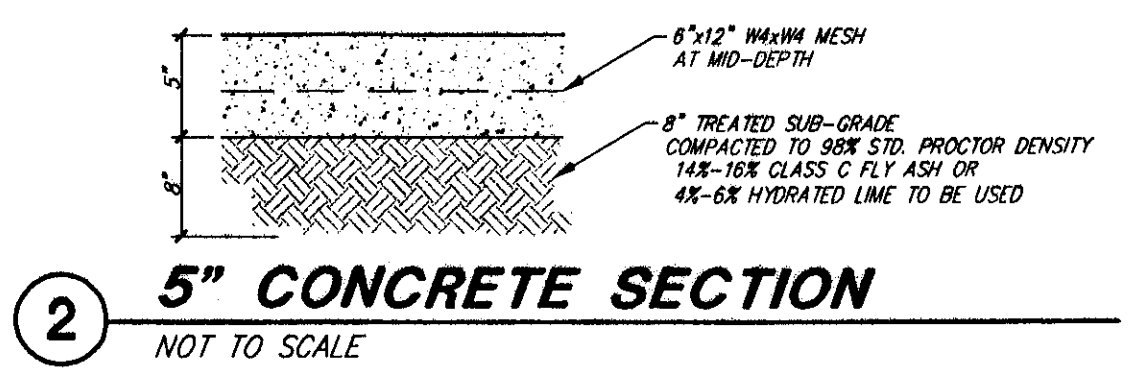
SITE INFORMATION:

PARKING PROVIDED: 25 STALLS TOTAL, INCLUDING 2 ACCESSIBLE
(PLUS 30 STALLS FOR VEHICLE STORAGE W/IN FENCE)
TOTAL SITE AREA: 73,693.90 SQ.FT.
1.69 ACRES
IMPERVIOUS AREA: 63,218.20 SQ.FT.
1.45 ACRES
85.8% OF TOTAL SITE
NOTE: Area Calculations are based on current property
lines and do not factor any future ROW acquisitions.

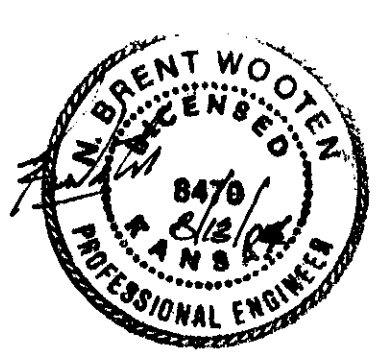
MH Structure w/ Grate
Inlet Top
Top= 176.75
FL SW= 173.80
FL NW= 173.60

GRADING NOTES:

- Contractor shall be required to provide notice to Kansas One
Call at 687-2470 a minimum of two (2) working days prior to
any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an
emergency:
Kansas Gas Service (Gas).....1-888-482-4350
Aquila Energy (Gas).....1-800-303-0357
Westar Energy (Electric).....383-8650
Cox Communications (Cablevision).....262-4270
SBC (Phone).....268-2245/1-800-286-8313
City of Wichita Water Dept. (Water).....268-4563/268-4908
City of Wich. Sewer Maint. (San. Sewer).....268-4024/262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
City of Wich. Traffic Maint. (Trsf. Control).....268-4034/268-4203
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....529-6600/1-800-324-9696
Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans,
represent the best information obtainable for design. Location
information has been obtained from the various utility
companies and is either from company record drawings or
company provided field locations. The Contractor will be
required to work around existing utilities which do not conflict
with proposed construction.
- Traffic affected by the construction on this project shall be
handled in accordance with the latest edition of the Local
Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to
construction of this project.
- All disturbed areas shall be seeded with Kansas Premium
Fescue at the rate of 5-8 lbs. per 1000 sq ft. Fertilizer
(13-13-13) shall be applied at the rate of 100 lbs. per acre.
- Signage and striping shall be installed in accordance with Local
City Specifications and Codes. Striping shall be painted
markings in conformance with the latest edition of the
Standard Specifications for State Road and Bridge Construction
by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade
to be prepared per Soils Report.



FOX COLLISION - EAST WICHITA SITE GRADING



Baughman Company, P.A.
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



Wilson Darnell Mann P.A.
105 N. Washington, Wichita, Kansas 67202
ph 316.262.4700 fx 316.262.0002
www.wdmdesign.com

FOX COLLISION EAST WICHITA

PRINTS ISSUED
July 1, 2004 Permit Set
August 8, 2004 Construction Drawings

WDM No. _____ draw: BDT
checked: NBW

Site Grading Plan



FILE COPY

Wichita-Sedgwick County Metropolitan Area Planning Department

August 26, 2004

Todd Fox
Zelta at Kellogg LLC
4247 S. Peoria
Tulsa, OK 74133

Re: BZA2004-00064: Zoning Adjustment to reduce the front setback along Zelta from 15' to 13'7" to allow the permitted 8' encroachment for an open, unenclosed carport to be 5'7" from the property line.

Legal Description: Lots 1 and 2, Block A, except the north 298 feet thereof, Reynolds Addition, Wichita, Sedgwick County, Kansas. Located at the northeast corner of Kellogg and Zelta (12012 W. Kellogg).

Dear Mr. Fox:

We have reviewed your request for an Administrative Adjustment to reduce the front setback along Zelta. From reviewing your application, we understand that that you propose to construct a body shop on the property that will have an open, unenclosed carport attached to the southwest corner of the building. We further understand that upon acquisition of right-of-way for the Kellogg freeway project, the open unenclosed carport will be set back only 5'7" from the front property line along Zelta. When property is acquired for right-of-way, Section III-E.2.e.(7) of the Unified Zoning Code reduces the 20' front setback required by the property's "GC" General Commercial zoning to 15'. Additionally, Section III-E.2.e.(1)(i) of the Unified Zoning Code permits an open, unenclosed carport to encroach up to 8' into the required 15' front setback. Therefore, you are requesting to reduce the front setback from 15' to 13'7" so that the permitted 8' encroachment for the open, unenclosed carport can be 5'7" feet from the front property line

Section V-I.2.a. of the Unified Zoning Code allows an adjustment to reduce the setbacks by up to 20 percent when the conditions of Section V-I.6. are met. We find that the reduction of the setback as proposed meets the four conditions required by Section V-I.6. of the Unified Zoning Code as set out below:

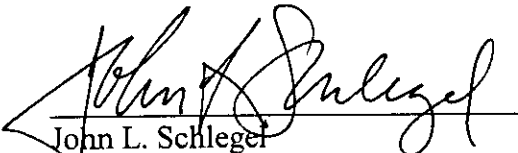
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed encroachment should have no impact on the safety and convenience of vehicular and pedestrian circulation in the vicinity because vehicles will be able to drive through the carport.

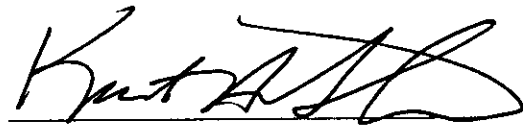
- 2) Impact on existing uses in surrounding areas: There should be no negative impact on the existing uses in surrounding areas as a result of the reduction of the front setback, as the setback encroachment is for a carport only and sufficient separation between buildings and the right-of way is maintained.
- 3) Compatibility with existing or permitted uses on abutting sites: The proposed carport is compatible with existing and permitted uses on abutting sites, and the additional 1'5" encroachment into the front setback should not reduce the compatibility of the improvements with abutting sites.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way; therefore, there should not be a negative impact on the public health, safety or welfare nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that a Zoning Adjustment to reduce the front setback along Zelta from 15' to 13'7" for the aforementioned property is hereby granted, subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) The setback reduction shall apply only to the open, unenclosed carport illustrated on the approved site plan. All other structures or additions on the subject property shall conform to the setbacks permitted by the Unified Zoning Code unless a separate Zoning Adjustment or Variance is granted.
- 2) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The "Development Application" sign should now be removed from the property.


John L. Schlegel
Planning Director


Kurt A. Schroeder
Superintendent of Central Inspection

Enclosure

cc: Robert W. Kaplan, Kaplan, McMillan & Harris, 430 N. Market, Wichita, KS 67202
Kurt Schroeder, Office of Central Inspection
Paul Hays, Office of Central Inspection
Randy Sparkman, Office of Central Inspection
J.R. Cox, Office of Central Inspection