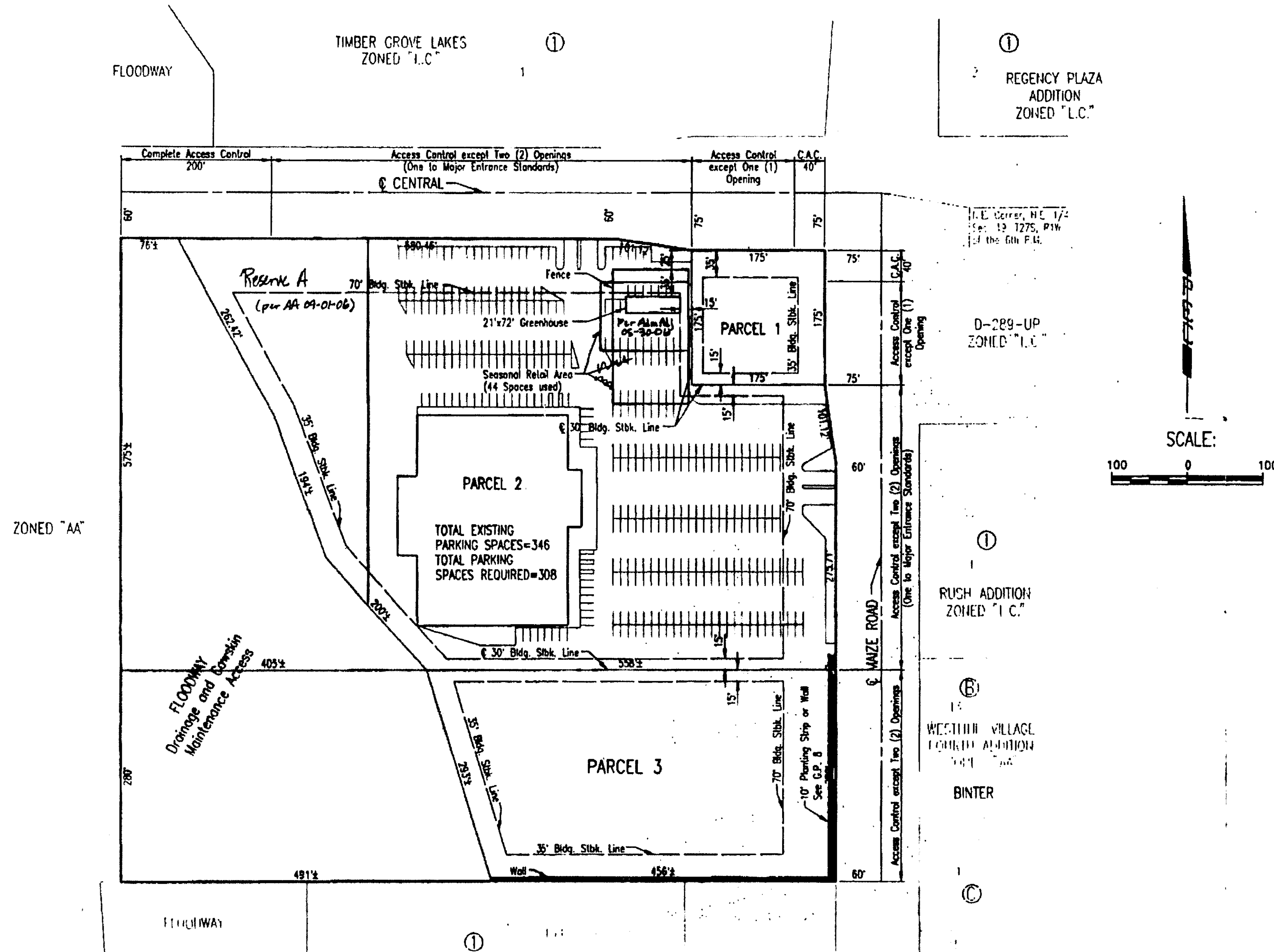


MAIZE ROAD DEVELOPMENT

COMMUNITY UNIT PLAN DP-129
AMENDED DECEMBER 7, 1999



GENERAL

TOTAL GROSS AREA = 21.3 ACRES ±
TOTAL NET AREA = 12.53 ACRES ± (EXCLUSIVE OF PUBLIC STREET R/W AND THE FLOODWAY)

GENERAL PROVISIONS

1. ACCESS CONTROL: ACCESS TO CENTRAL SHALL BE LIMITED TO THREE (3) OPENINGS, ONE (1) OPENING TO PARCEL ONE AND TWO (2) OPENINGS TO PARCEL TWO. ONE (1) OPENING TO PARCEL TWO SHALL BE CONSTRUCTED TO MAJOR ENTRANCE STANDARDS. ACCESS TO MAIZE ROAD SHALL BE LIMITED TO FIVE (5) OPENINGS, ONE (1) OPENING TO PARCEL ONE, TWO (2) OPENINGS TO PARCEL TWO, AND TWO (2) OPENINGS TO PARCEL THREE. ONE (1) OPENING TO PARCEL TWO SHALL BE CONSTRUCTED TO MAJOR ENTRANCE STANDARDS.

THAT PORTION OF THE MAJOR ENTRANCE ON PUBLIC RIGHT-OF-WAY WILL BE GUARANTEED AT THE TIME OF PLATTING. THAT PORTION OF THE MAJOR ENTRANCE ON PRIVATE PROPERTY WILL BE A REQUIREMENT AT THE TIME OF BUILDING PERMIT(S) FOR PARCEL TWO (2).

ADDITIONAL ACCESS CONTROLS ARE AS INDICATED ON THE PLAN.

2. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
3. DRAINAGE: THE FLOODWAY, AS INDICATED, IS FOR THE CONSTRUCTION OF A STORM WATER RETENTION-DETENTION SYSTEM. ALL PARCELS SHALL BE GRADED TO DRAIN TO THIS SYSTEM. THE OWNERSHIP AND MAINTENANCE OF THE FLOODWAY SHALL BE THE RESPONSIBILITY OF PARCELS TWO AND THREE.

4. BUILDING SETBACKS: MINIMUM BUILDING SETBACKS SHALL BE AS INDICATED ON THE PLAN. IN THE EVENT THAT CONTIGUOUS PARCELS ARE DEVELOPED UNDER THE SAME OWNERSHIP, THE SETBACK BETWEEN PARCELS WILL NOT BE REQUIRED.

5. PARKING RATIO SHALL BE IN ACCORDANCE WITH THE ZONING CODE OF THE CITY OF WICHITA. *Adm. Adjustment 05-30-06 reduced parking for Parcel 2 by 15%.*
6. SIGN REGULATIONS: ADVERTISING SIGNS SHALL BE IN ACCORDANCE WITH THE SIGN CODE OF THE CITY OF WICHITA. NO BILLBOARD ADVERTISEMENTS SHALL BE ALLOWED. ADMINISTRATIVE ADJUSTMENT DATED 06-03-14 REDUCED SIGN SPACING ON MAIZE ROAD TO 112.5'.

7. APPROPRIATE FIRE LANE EASEMENTS FOR PARCELS TWO AND THREE WILL BE DEFINED PRIOR TO THE ISSUANCE OF BUILDING PERMIT(S). SAID FIRE LANE SHALL BE HARD SURFACED TWENTY-FOUR (24) FEET MINIMUM IN WIDTH AND CONSTRUCTED WITH A 3-1/2-INCH ASPHALT BASE WITH 1-1/2 INCH ASPHALT SURFACE, OR THE EQUIVALENT THEREOF. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANE, ALTHOUGH THEY MAY BE USED FOR PASSENGER LOADING AND UNLOADING.

8. SCREENING AND LANDSCAPING: THE PLANTING STRIPS, AS INDICATED IN PARCELS TWO AND THREE, SHALL CONSIST OF TREES, GRASS, AND LOW SHRUBBERY NOT LESS THAN TEN (10) FEET IN WIDTH AND SHALL BE OF SUCH A TYPE AND MAINTAINED IN SUCH A MANNER AS TO NOT CONSTITUTE A TRAFFIC HAZARD. FAILURE TO PROPERLY MAINTAIN THE PLANTING STRIP SHALL BE CONSIDERED A VIOLATION OF THE C.U.P., AFTER A JOINT DETERMINATION BY THE DIRECTOR OF PLANNING AND SUPERINTENDENT OF CENTRAL INSPECTION.

A SOLID OR SEMI-SOLID WALL AT LEAST FIVE (5) FEET, BUT NOT MORE THAN EIGHT (8) FEET HIGH, CONSTRUCTED OF BRICK, STONE, MASONRY, ARCHITECTURAL TILE OR OTHER SIMILAR MATERIAL SHALL BE INSTALLED WHERE PARCEL THREE ADJUTS THE RESIDENTIAL DISTRICT TO THE SOUTH AS INDICATED ON THE PLAN.

THE 5 FOOT TO 8 FOOT WALL REQUIRED ALONG THE WEST LINE OF PARCELS TWO AND THREE MAY BE WAIVED BY THE DIRECTOR OF PLANNING, PROVIDED THAT THE EXISTING TREES ALONG THE WEST AND SOUTH SIDES OF THE FLOODWAY ARE RETAINED. IF THE TREES ARE REMOVED, THE WALL SHALL BE CONSTRUCTED. A MASONRY WALL SHALL BE REQUIRED AROUND ALL SERVICE AREAS EVEN IF THE TREES ARE RETAINED. *Adm. Adj. (5-4-10) waived wall requirement for the north 2,228,471 sq ft parcel 2.*

A WALL, AS DESCRIBED ABOVE, SHALL BE INSTALLED ALONG THE EAST PROPERTY LINE OF PARCEL THREE, AS INDICATED ON THE PLAN, WHEN THE SERVICE AREA, STORAGE AREA, OR REAR OF THE COMMERCIAL OR OFFICE STRUCTURES FACES A RESIDENTIAL DISTRICT. APPROPRIATE STREET TREES (AS APPROVED BY THE CITY FORESTER) SHALL BE PLANTED NO FARTHER APART THAN FIFTY (50) FEET ON CENTERS IN THE PUBLIC PARKING AREA BETWEEN THE CURB AND WALL AND SHALL BE MAINTAINED BY THE OWNER(S) OF THE ADJACENT PARCELS.

9. A LANDSCAPE PLAN PREPARED BY A LANDSCAPE ARCHITECT FOR THE PLANTING STRIPS, INDICATING THE TYPE, LOCATION, AND SPECIFICATION OF PLANT MATERIAL, AND METHOD OF PROVIDING WATER TO THE PLANT MATERIAL, SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF BUILDING PERMIT(S) FOR PARCELS TWO AND THREE.

A LANDSCAPE PLAN SHOWING THE LOCATION AND SIZE OF ALL EXISTING TREES TO BE RETAINED IN THE FLOODWAY SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS IN PARCELS TWO AND THREE. AFTER REVIEWING THE LANDSCAPE PLAN, THE DIRECTOR OF PLANNING MAY REQUIRE THAT ADDITIONAL LANDSCAPE MATERIAL BE PLANTED TO ALIGN THE EXISTING TREES IN THE FLOODWAY AND/OR TO REPLACE TREES THAT HAVE DIED OR BEEN REMOVED.

A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED IN THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN PLANTED.

10. ACCEL/DECEL LANES: A CONTINUOUS ACCEL/DECEL LANE ALONG THE NORTH LINE OF PARCEL TWO AND THE EAST LINE OF PARCELS TWO AND THREE SHALL BE GUARANTEED AT THE TIME OF PLATTING.
11. THE SEASONAL NURSERY AND GARDEN CENTER IN PARCEL 2 SHALL BE LOCATED IN A TEMPORARY STRUCTURE AND SHALL OPERATE FOR NO MORE THAN 120 DAYS DURING A CALENDAR YEAR. PRIOR TO UTILIZATION OF THE OUTDOOR GARDEN AREA, THE APPLICANT SHALL ANNUALLY SUBMIT A REPORT TO THE ZONING ENFORCEMENT DIVISION OF THE OFFICE OF CENTRAL INSPECTION THAT DEMONSTRATES COMPLIANCE WITH THE APPROVED SITE PLAN (SEE RESTRICTED AREA) AND CONDITIONS SPECIFIED HEREIN. See *Adm. Adjustment 05-30-06* reducing area of seasonal outdoor garden area from 17,900 S.F. to 9,430 S.F.

PARCEL DESCRIPTIONS

PARCEL ONE

PROPOSED USES - SERVICE STATION, FINANCIAL OFFICE, PERSONAL SERVICES, RESTAURANTS (THAT DO NOT INCLUDE CARRYOUT FOOD SERVICES AS THEIR PRINCIPAL BUSINESS), AND RETAIL SALES AS PERMITTED BY THE ZONING DISTRICT.
NET AREA - 0.7 ACRES (30,600 S.F.)
MAXIMUM BUILDING COVERAGE - 30% OR 9,180 SQUARE FEET
FLOOR AREA RATIO - 30%
MAXIMUM GROSS FLOOR AREA - 9,180 SQUARE FEET
MAXIMUM BUILDING HEIGHT - 35 FEET
MAXIMUM NUMBER OF BUILDINGS - ONE

PARCEL TWO

PROPOSED USE - SHOPPING CENTER AND ASSOCIATED T.B.A. STORES, FINANCIAL OFFICE, PERSONAL SERVICES, RETAIL SALES AS PERMITTED BY THE ZONING DISTRICT, AND NURSERIES AND GARDEN CENTERS AS PER SEC. III-D.6.2 OF THE UNIFIED ZONING CODE. (SEE PLAN FOR RESTRICTED AREA)
NET AREA - 6.09 ACRES (265,050 S.F.) *97,120*
MAXIMUM BUILDING COVERAGE 30% OR 142,575 SQUARE FEET
FLOOR AREA RATIO - 40%
MAXIMUM GROSS FLOOR AREA - 142,575 SQUARE FEET
MAXIMUM BUILDING HEIGHT - 55 FEET
MAXIMUM NUMBER OF BUILDINGS - TWO

PARCEL THREE

PROPOSED USE - SHOPPING CENTER, FINANCIAL OFFICES, PERSONAL SERVICES, AND RETAIL SALES AS PERMITTED BY THE ZONING DISTRICT.
NET AREA - 3.23 ACRES (140,700 S.F.)
MAXIMUM BUILDING COVERAGE - 30% OR 42,000 SQUARE FEET
FLOOR AREA RATIO - 40%
MAXIMUM GROSS FLOOR AREA - 56,280 SQUARE FEET
MAXIMUM BUILDING HEIGHT - 55 FEET
MAXIMUM NUMBER OF BUILDINGS - TWO

NOTE: SEE MAP FOR ADMINISTRATIVE ADJUSTMENTS MADE TO THE C.U.P. ON MAY 4, 1990

RESERVE A (Per AA 09-01-06)

PURPOSE - FLOODWAY RESERVE, DRAINAGE, RECREATION, PATHWAY AND SIMILAR USE
NET AREA - 6.09 ± ACRES

MAPD Copy 2 of 2

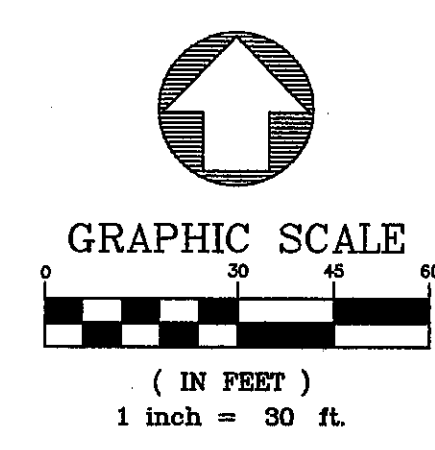
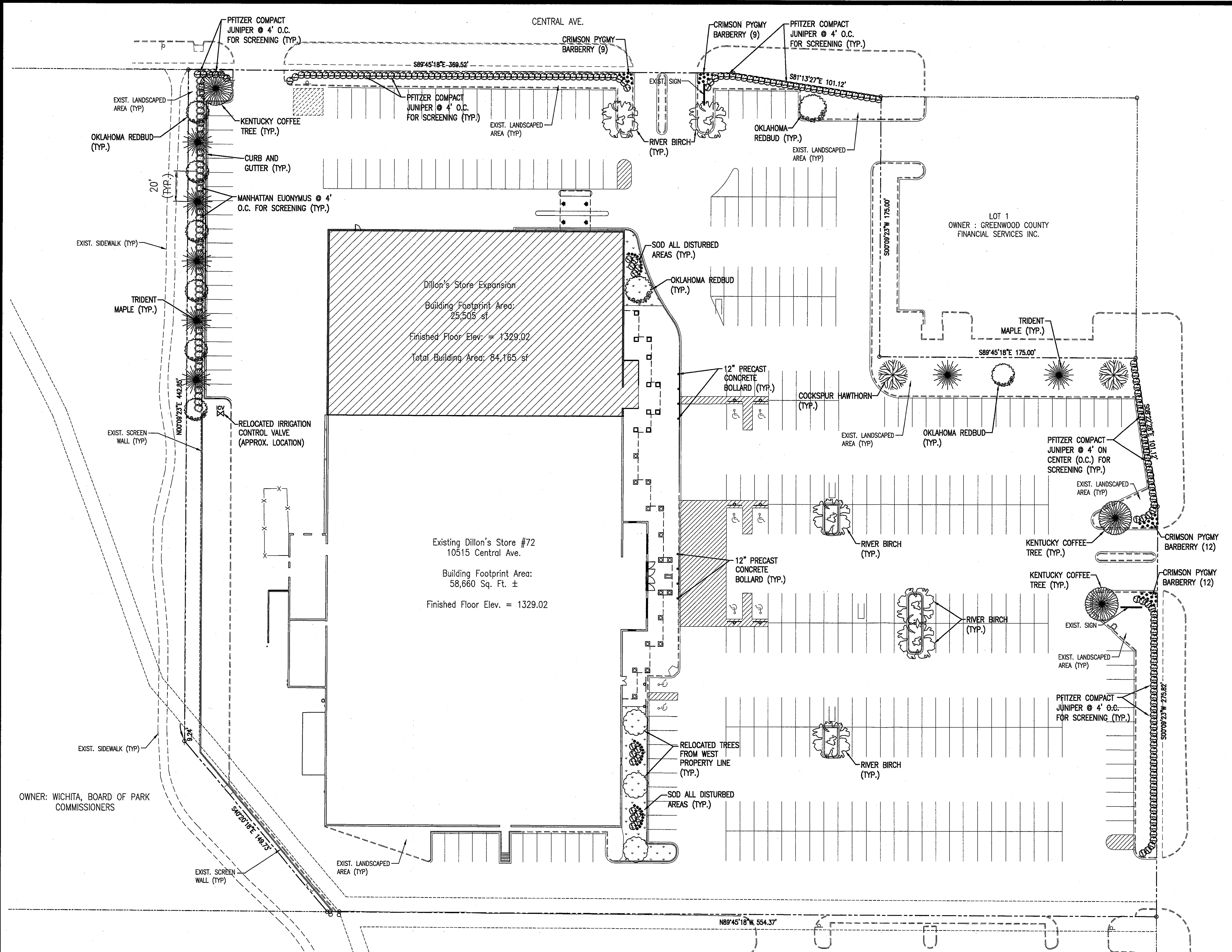
DP-129 AMENDMENT #1

Per AA 04-20-00; 05-30-06; 09-01-06

APPROVED CUP

MAPC 12/16/99 DM

ADMINISTRATIVE ADJUSTMENT 06-03-14

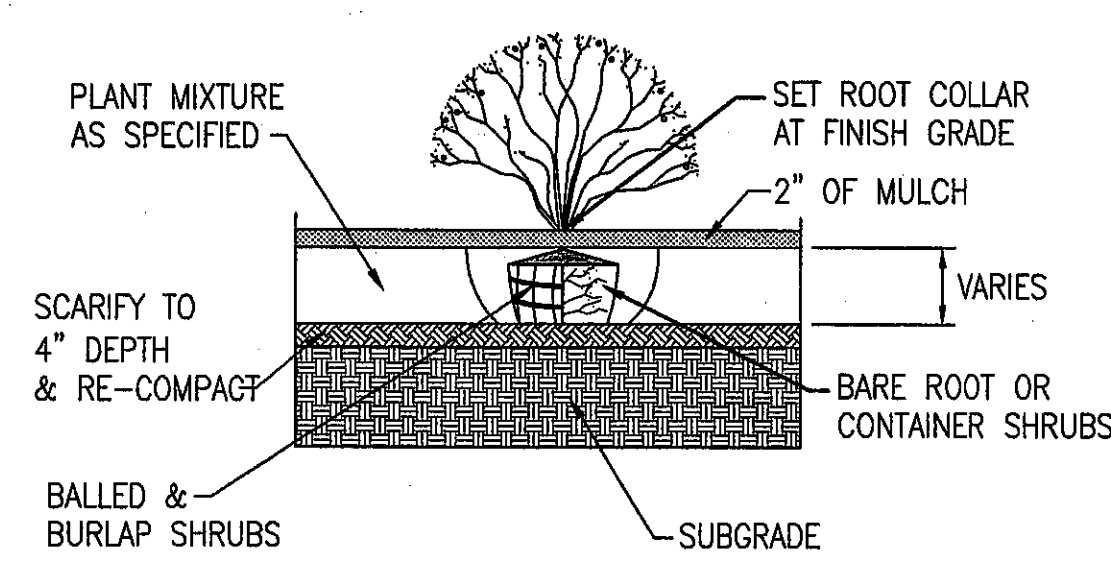


- LANDSCAPING LEGEND**
- | | | | |
|--|---------------------|--|-------------------------|
| | RELOCATED TREE | | RIVER BIRCH |
| | SOD DISTURBED AREAS | | KENTUCKY COFFEE TREE |
| | OKLAHOMA REDBUD | | PFITZER COMPACT JUNIPER |
| | TRIDENT MAPLE | | MANHATTAN EUONYMUS |
| | COCKSPUR HAWTHORN | | CRIMSON PYGMY BARBERRY |

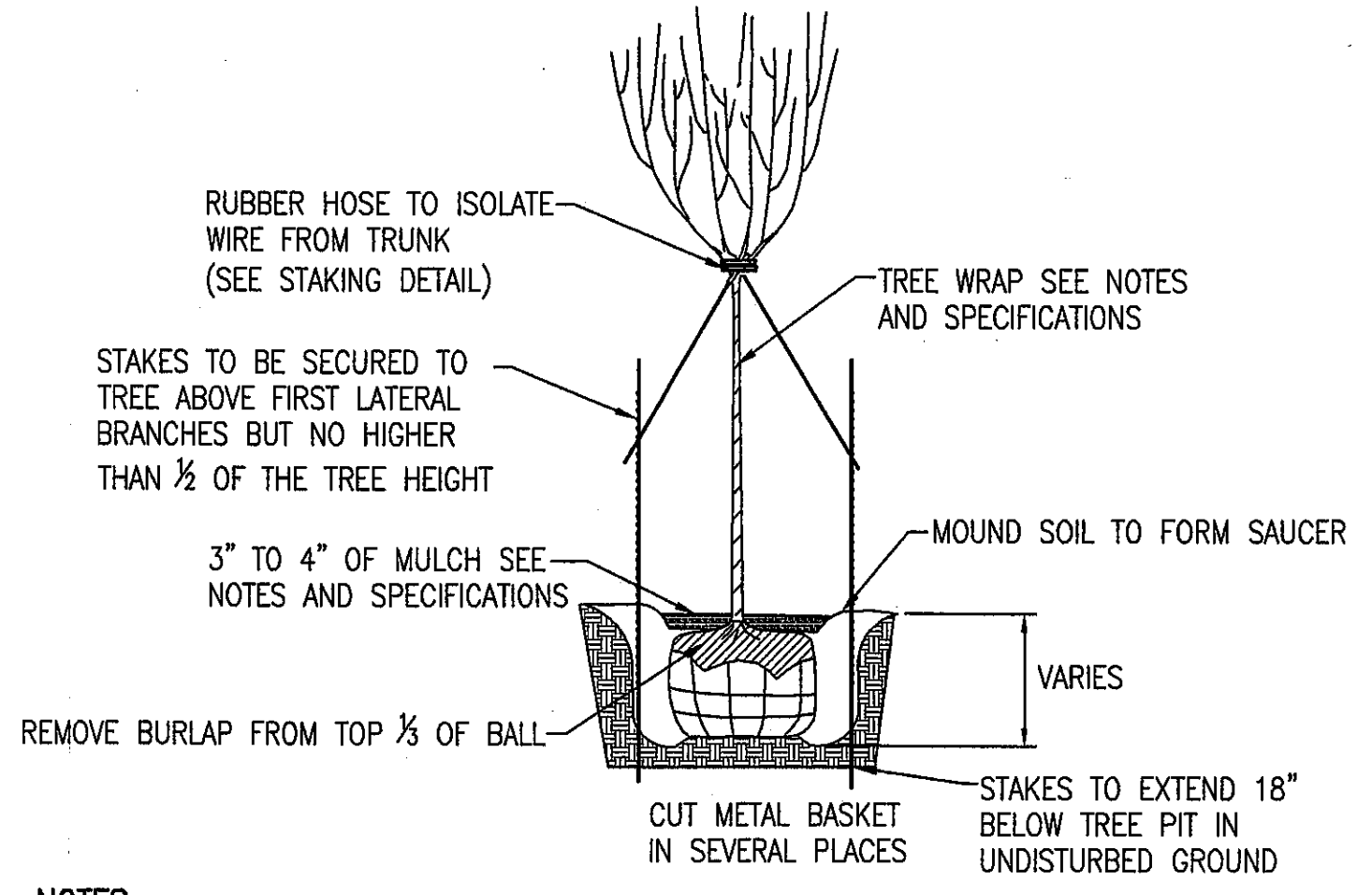
COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
PFITZER COMPACT JUNIPER	JUNIPERUS CHINENSIS PFITZERIANA COMPACTA	172	18" HEIGHT
OKLAHOMA REDBUD	CERCIS RENIFORMIS 'OKLAHOMA'	9	1" CALIPER
TRIDENT MAPLE	ACER BUERGERANUM	7	1.5" CALIPER
COCKSPUR HAWTHORN	CRATAEGUS CRUSGALLI	2	1" CALIPER
CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGI ATRO. 'NANA'	42	2" CALIPER
RIVER BIRCH	BETULA NIGRA	6	2" CALIPER
KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICA	3	2" CALIPER
MANHATTAN EUONYMUS	EUONYMUS PATENS 'MANHATTAN'	57	18" HEIGHT

	Required	Provided
Landscape Street Yard	9,694 sf	24,300 sf
Shade Tree Equivalent	20 trees	18.5 trees
Shade Trees	-	9 trees
Ornamental Trees	-	10 trees
Shrubs	-	45 shrubs
Parking Lot Trees	17 trees	8 trees

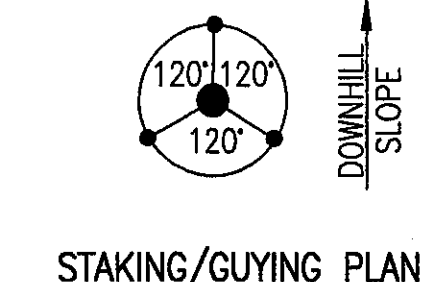
DP-129 Parcel 2
LANDSCAPE PLAN
DATE: 08/04/2006
MADE Com 1.0.02



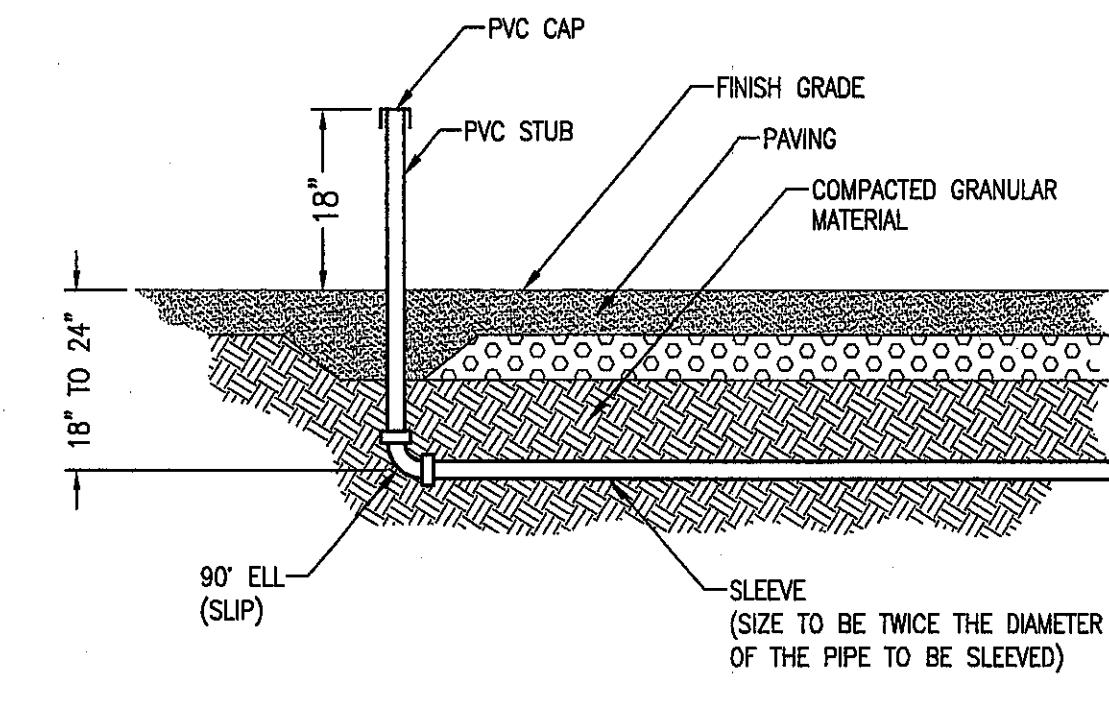
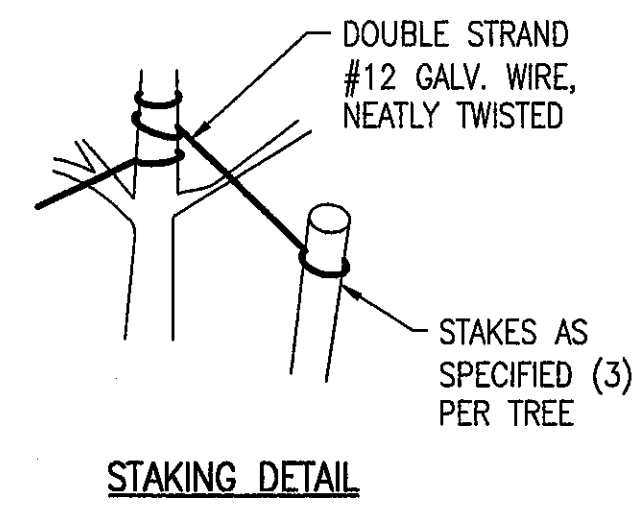
1 TYPICAL SHRUB PLANTING
SCALE: NTS



2 TYPICAL TREE PLANTING
SCALE: NTS



3 TREE STAKING AND GUYING
SCALE: NTS



4 SLEEVE BEDDING DETAIL
SCALE: NTS

- NOTES:**
- INSTALL IRRIGATION CONDUIT WITH A MINIMUM COVER OF 18" WHERE NEEDED.
 - SLEEVING SHALL BE MINIMUM SCHEDULE 40, ASTM D1785, RIGID, UNPLASTICIZED POLYVINYL CHLORIDE PIPE.
 - INSTALL SLEEVES PRIOR TO COMMENCEMENT OF PAVING. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVE PLACEMENT WITH GENERAL CONTRACTOR.
 - MAINTAIN 6" SEPARATION BETWEEN CONDUITS.
 - TRENCHES SHALL BE BACKFILLED WITH SAND AND COMPACTED IN LAYERS OF 95% COMPACTION. USE A MINIMUM OF 6" BELOW THE PIPE AND 3" ABOVE THE PIPE.
 - ALL SLEEVES SHALL BE A MINIMUM OF TWICE THE DIAMETER OF THE PIPE TO BE SLEEVED.

REVISIONS:

PROJECT #: 21513.00
DATE: AUG 4, 2006
DRAWN BY: ATP
DESIGNER: ATP
CHECKED BY: CLM

Planning Architecture
Engineering Management
6776 Lenox Center Court
Memphis, TN 38116
901.726.0810
901.272.6811 fax

Pickering Firm
Incorporated

DILLONS STORE # 072
EXPANSION
10515 W CENTRAL AVENUE
WICHITA, KANSAS 67212

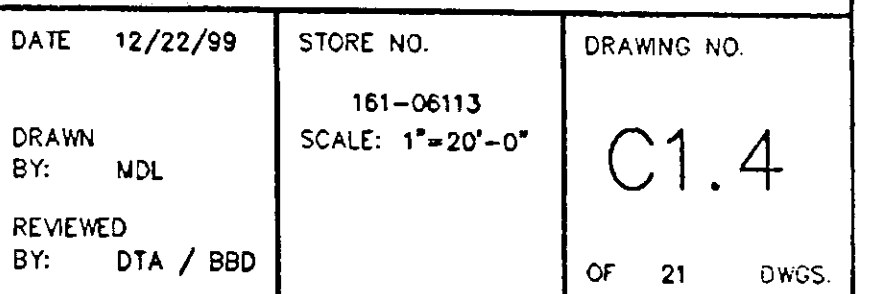
Dillon's

THE KROGER CO.
GENERAL OFFICE
1014 VINE STREET
CINCINNATI, OHIO 45202

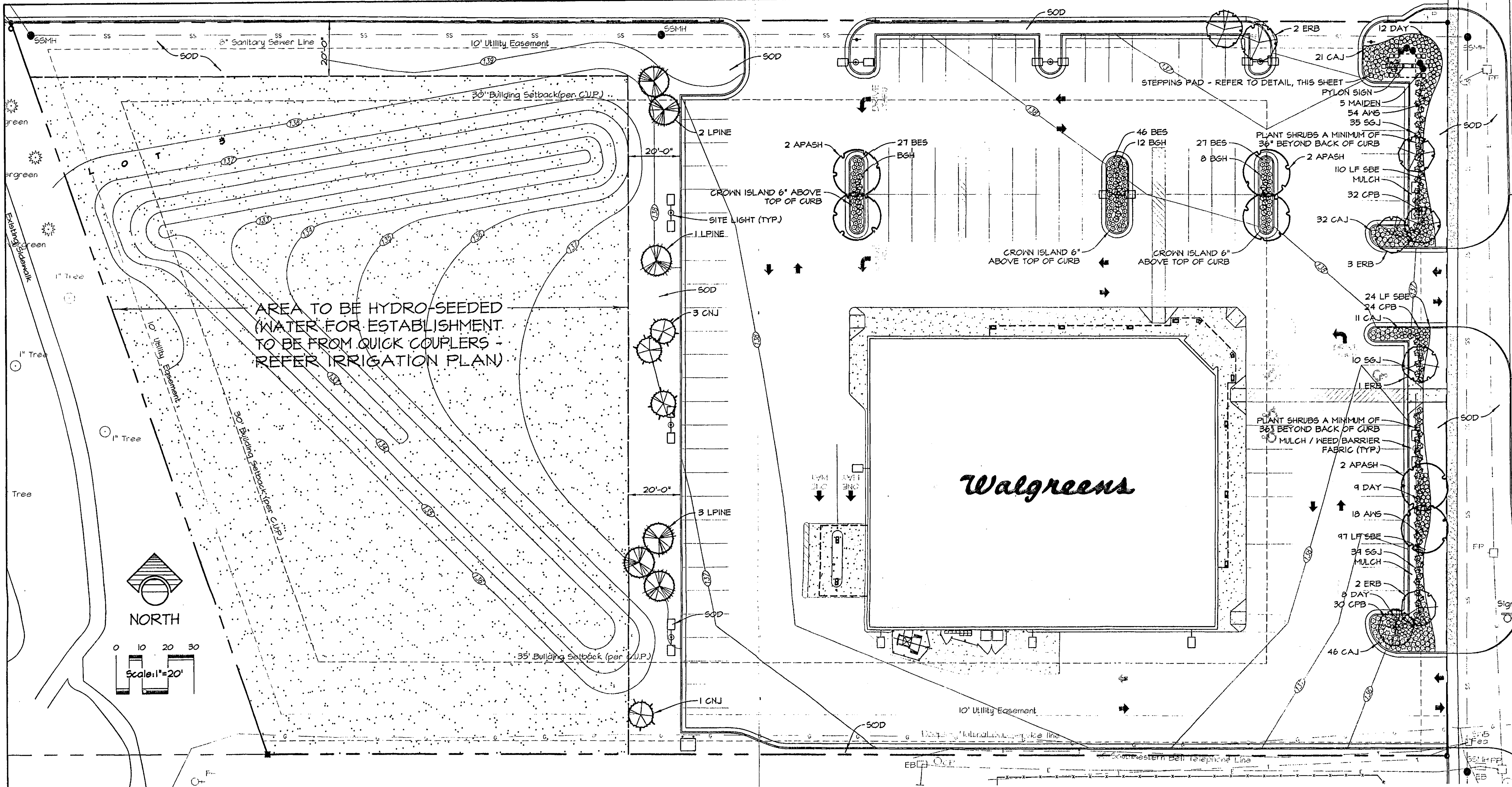
SCALE: 1/4" = 1'-0"

SHEET NUMBER:
L1.1

DESCRIPTION:
LANDSCAPE PLAN



\\COM\Walgreens\Wichita, KS\Maize & Central\wal-wichita-maize-central.dwg Wed Dec 22 17:34:55 1999 Alaback Design Associates



THE FOLLOWING NOTES ARE A PARTIAL SUMMARY ONLY OF LANDSCAPE SPECIFICATIONS. REFER TO WRITTEN SPECIFICATIONS SECTIONS 02810-IRRIGATION SYSTEM, 02435-SODDING AND SEEDINGS, AND 02450-PLANT MATERIAL AND OPERATIONS.

GENERAL NOTES

CALL KANSAS ONE-CALL AT 1-800-344-1233 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

LAWN

SOD AREAS WITHIN THE PROPERTY LINES AND OR CURB LINES AS INDICATED ON THE PLANS WITH HYBRID TALL FESCUE SOLID SLAB SOD AS INDICATED IN SPECIFICATIONS, SECTION 02435. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION AND NOT INDICATED FOR OTHER PLANTINGS SHALL BE SODDED. A PORTION OF THE SITE SHALL BE HYDRO-SEEDDED, PER SPECIFICATION 02435. REFER TO PLANS FOR LIMITS OF SEEDDED AREA.

APPLY FERTILIZER ACCORDING TO TIME OF INSTALLATION.

MAY 1 - AUGUST 1. APPLY A 16-8-8 FERTILIZER AT A RATE OF SIX (6) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

SEPTEMBER 1 - APRIL 30. APPLY MILORGANITE 6-2-0 FERTILIZER AT A RATE OF TEN (10) POUNDS PER 1,000 SQUARE FEET OF LAWN AREA. FERTILIZER SHALL BE APPLIED PRIOR TO SODDING LAWN AREA.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING TO A SMOOTH, EVEN SURFACE.

ALL LAWN AREAS ARE TO BE GRADED TO SMOOTH EVEN SURFACE FREE OF BUMPS AND DEPRESSIONS.

LANDSCAPE NOTES

ALL SHRUB, GROUNDCOVER, AND SEASONAL PLANTING AREAS SHALL RECEIVE SOIL PREPARATION/AMENDMENTS PER SPECIFICATION 02450. ROTO-TILL AMENDMENTS INTO SOIL TO A DEPTH OF TEN (10) INCHES UNTIL SOIL AND AMENDMENTS ARE A SMOOTH, EVEN MIXTURE.

MIX SIERRA 17-6-12 PLUS MINORS INTO THE TOP TWO (2) INCHES OF SOIL IN THE PLANTING BEDS AT A RATE OF FIVE (5) POUNDS PER 100 SQUARE FEET.

EACH TREE SHALL RECEIVE THREE CUBIC FEET OF BACK TO EARTH SOIL CONDITIONER AND ONE CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY FOUR (4) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE SMALLER THAN TWO INCHES IN CALIPER. APPLY SIX (6) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE HAVING A TRUNK TWO INCHES IN CALIPER OR LARGER. EQUALLY SPACE TABLETS SIX (6) INCHES OUTSIDE THE BURLAP AND FOUR (4) INCHES BELOW FINISH GRADE.

APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS PRIOR TO MULCHING, PER SPECIFICATION 02450. ALL PLANTING BEDS TO HAVE WEED BARRIER FABRIC OVER ENTIRE PLANTING AREA.

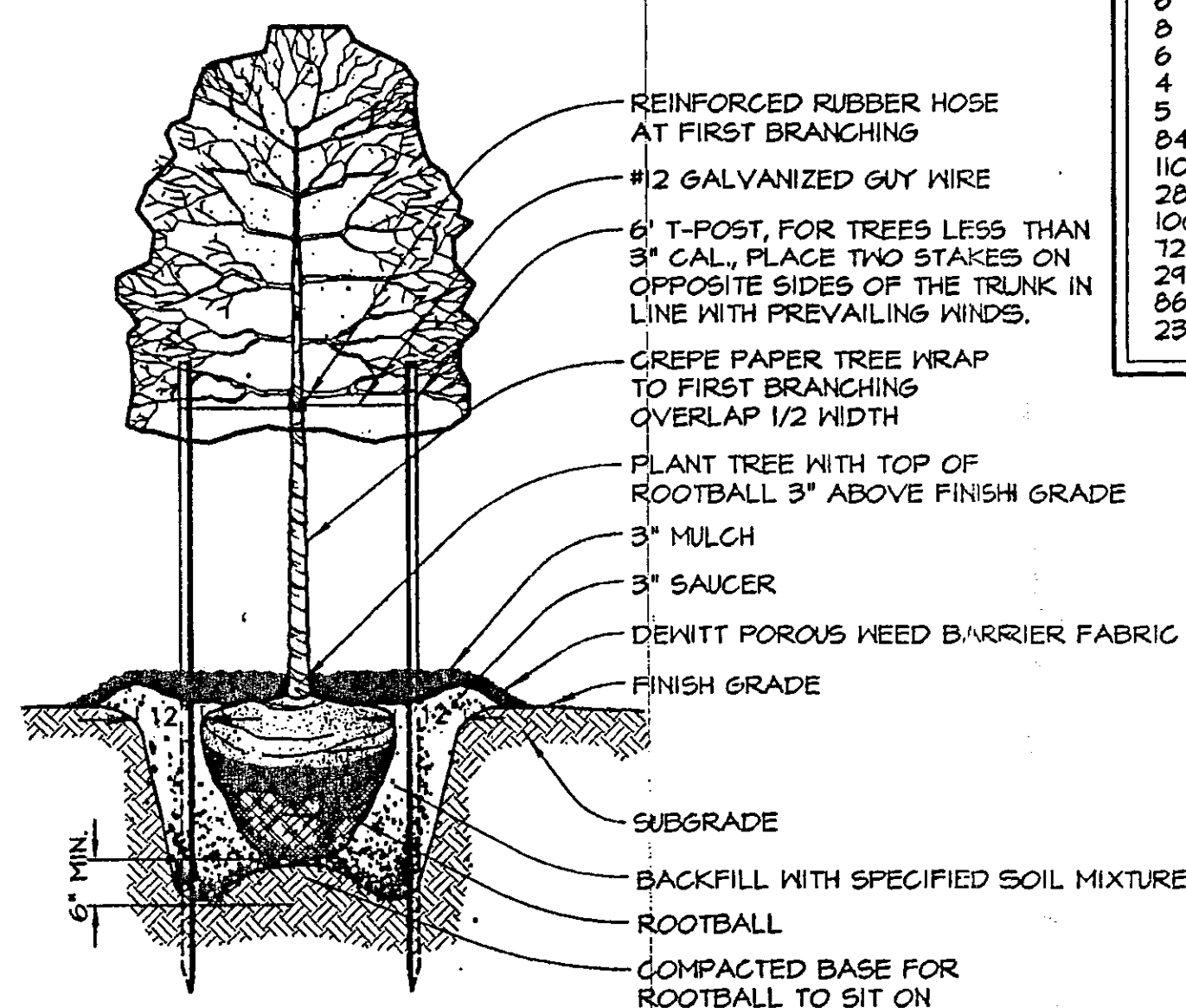
MULCH ALL PLANTING BEDS AND TREE WELLS WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF THREE INCHES.

PLANT TREES THREE (3) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND PULL BACK THE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL. PLANT SHRUBS TWO (2) INCHES ABOVE FINISHED GRADE. CROWN ISLANDS 6" ABOVE TOP OF CURB OR AS DIRECTED ON DRAWING. ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF THE PLANTING BEDS. ADJUST TREE/SHRUB BED LOCATIONS FOR FINAL GRADES / DRAINAGE SWALES.

PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF THE PLANTING BEDS.

IRRIGATION NOTES

SEE SHEET C1.4 FOR DETAILED IRRIGATION SYSTEM DESIGN.

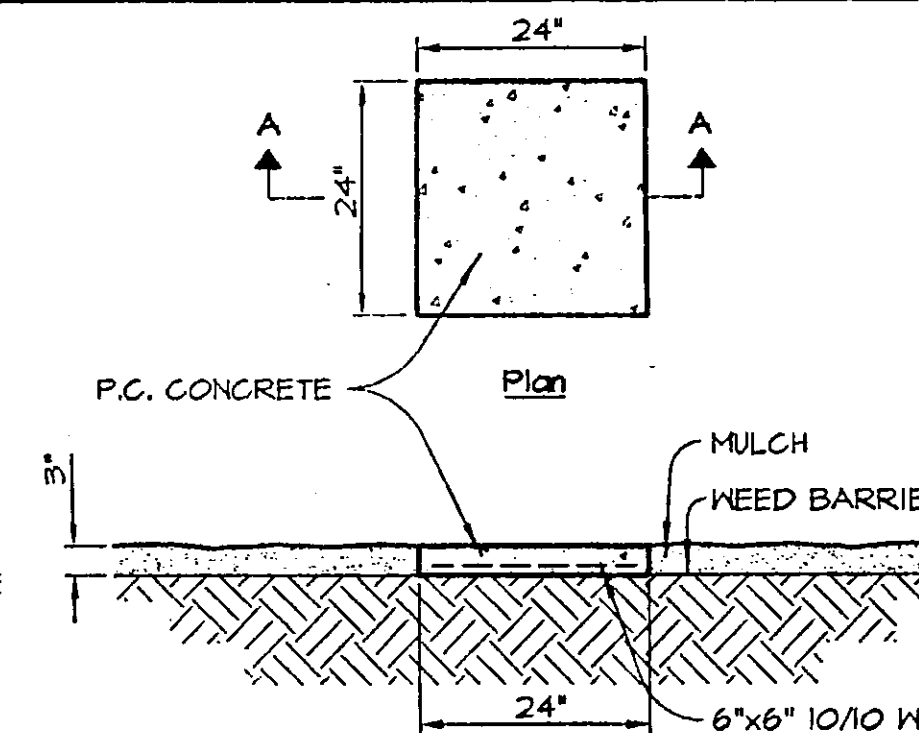


TREE PLANTING DETAIL

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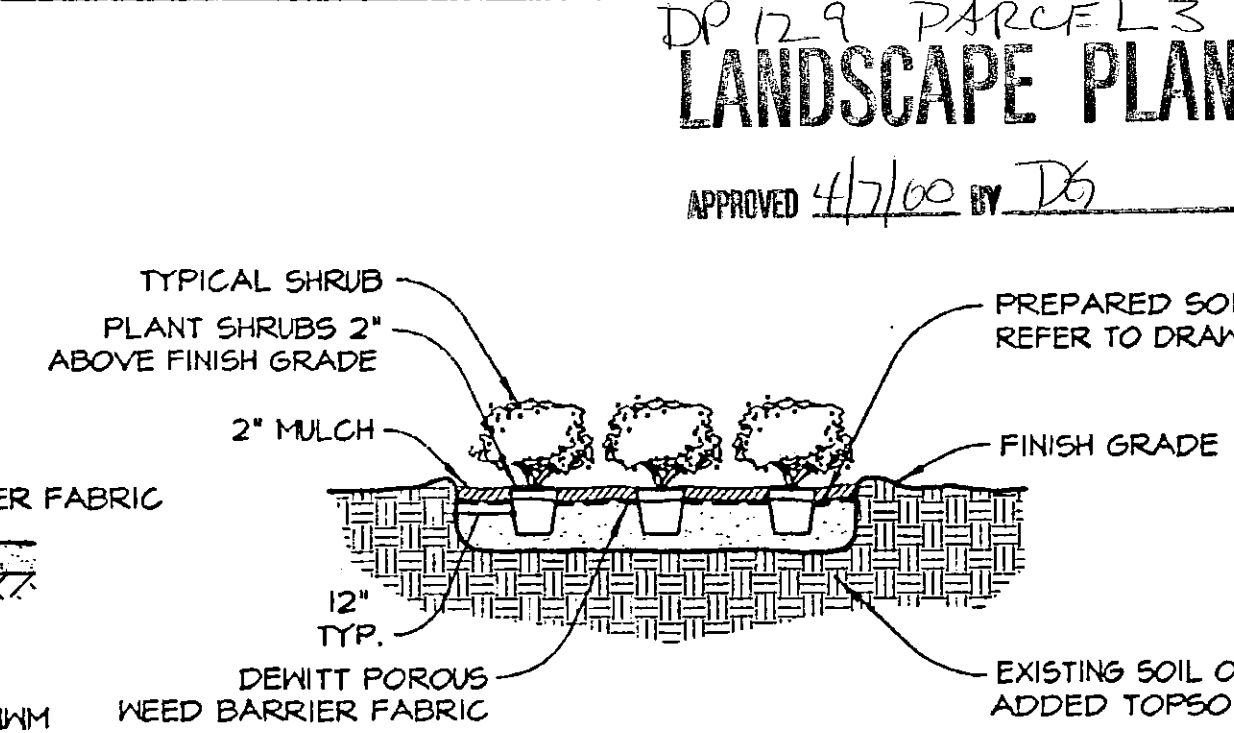
PLANT MATERIAL SCHEDULE

QTY.	TAG	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS	SPACING
6	APASH	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2 1/2" CAL., 10'-12' HT. B4B, FULL	AS SHOWN
0	ERB	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL., 10'-12' HT. B4B, FULL	30' O.C.
0	LPINE	LIMBER PINE	PINUS FLEXILIS	6'-7' HT., FULL TO GROUND	24" O.C.
4	CNJ	CANAERT JUNIPER	JUNIPERUS VIRGINIANA 'CANAERT'	6'-7' HT., FULL TO GROUND	24" O.C.
5	MAIDEN	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	5 GALLON, FULL	18" O.C.
04	SGJ	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	5 GALLON, FULL	18" O.C.
10	CAJ	COMPACT ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'FLUMOSA COMPACTA'	5 GALLON, FULL	18" O.C.
28	BGH	BLUE GIRL HOLLY	ILEX X MESERVEAE 'BLUE GIRL'	3 GALLON, FULL	18" O.C.
100	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA GOLDSTURM STRAIN	1 GALLON, FULL	18" O.C.
72	AVS	ANTHONY WATERER SPIRAEA	SPIRAEA JAPONICA 'ANTHONY WATERER'	2 GALLON, FULL	18" O.C.
24	DAY	STELLA D'ORO DAYLILY	HEMEROCALIS SPP. 'STELLA D'ORO'	1 GALLON, FULL	15" O.C.
06	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	2 GALLON, FULL	15" O.C.
231	SBE	STEEL BED EDGING (LF)	4" X 3/16" RYERSON OR APPROVED EQUAL		



STEPPING STONE DETAIL

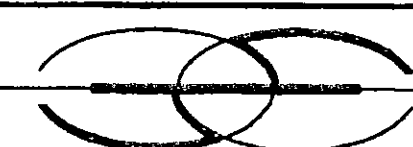
NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE

Walgreens
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
708-940-2500
DEERFIELD, IL 60015



TIMOTHY M. GALLUP
Architect of Record

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TULSA, OK 74105
(918) 742-1463
FAX (918) 742-1479
kna@blackandwhite.com

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☒ WALGREENS CONSULTANT
☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☒ WALGREENS CONTRACTOR
☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE

NEW.....
REMODELING...
RELOCATION...
OTHER.....

BUILDING

NEW.....
EXISTING.....
NEW SHELL ONLY

LEGAL DESCRIPTION

LOT 3, BLOCK 1, CENTRAL-MAIZE 2nd ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS.

CITY OF WICHITA LANDSCAPE REQUIREMENTS

AVERAGE LOT DEPTH = 505 FT.
SQUARE FOOTAGE FACTOR = 20

STREET YARD LANDSCAPE AREA REQUIREMENTS

MAIZE ROAD
280 TOTAL LINEAR FEET
X 20 (SQ. FT. FACTOR) =

5600 SQ. FT. OF LANDSCAPED STREET YARD REQUIRED
XX SQ. FT. OF LANDSCAPED STREET YARD PROVIDED

STREET YARD TREE PLANTING REQUIREMENTS

1 SHADE OR 2 ORNAMENTAL TREES PER 500 SQUARE FEET

MAIZE ROAD - 5600/500 = 11.2(12) TREES REQUIRED
12 TREES PROVIDED
(4 SHADE, 8 ORNAMENTAL, 40 SHRUBS)

PARKING LOT TREES

1 SHADE TREE OR 2 ORNAMENTAL TREES PER 20 SPACES

PARKING SPACES - 116

TREES REQUIRED = 6
TREES PROVIDED = 1
2 SHADE TREES
10 EVERGREEN TREES

NO.	DATE	BY	DESCRIPTION	CONST.

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF KANSAS AS SUBSCRIBED BY MY HAND AND SEAL.



PROJECT NAME
MAIZE RD. & CENTRAL AVE. WICHITA, KANSAS

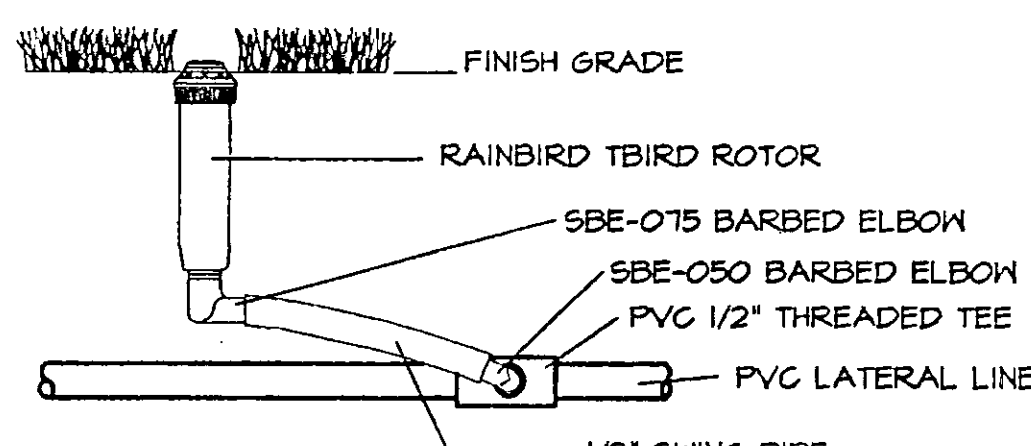
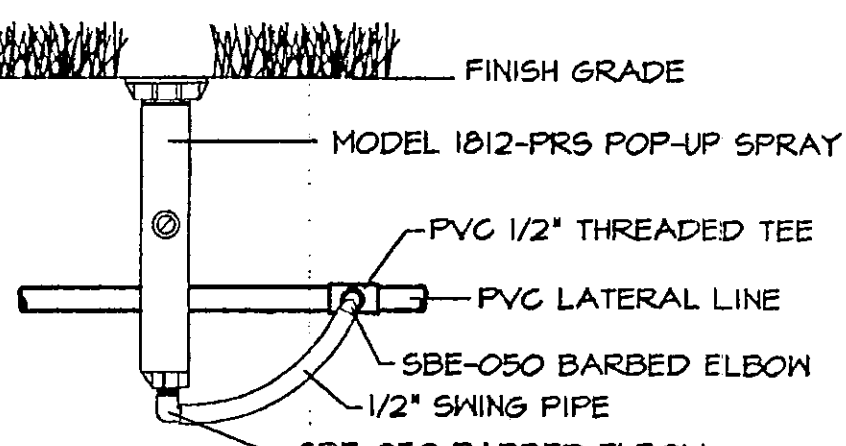
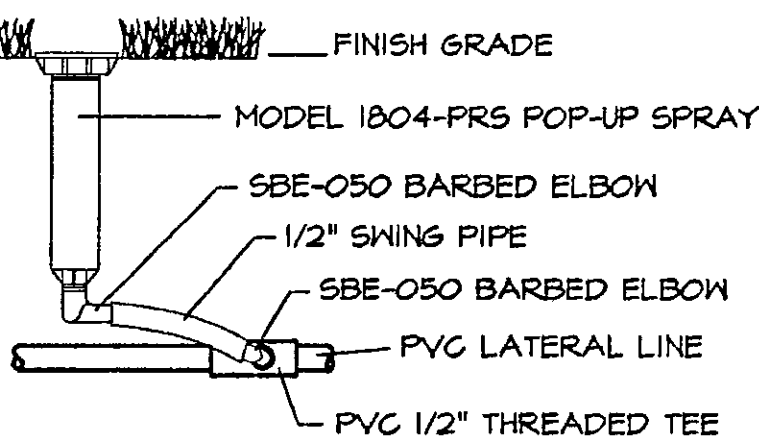
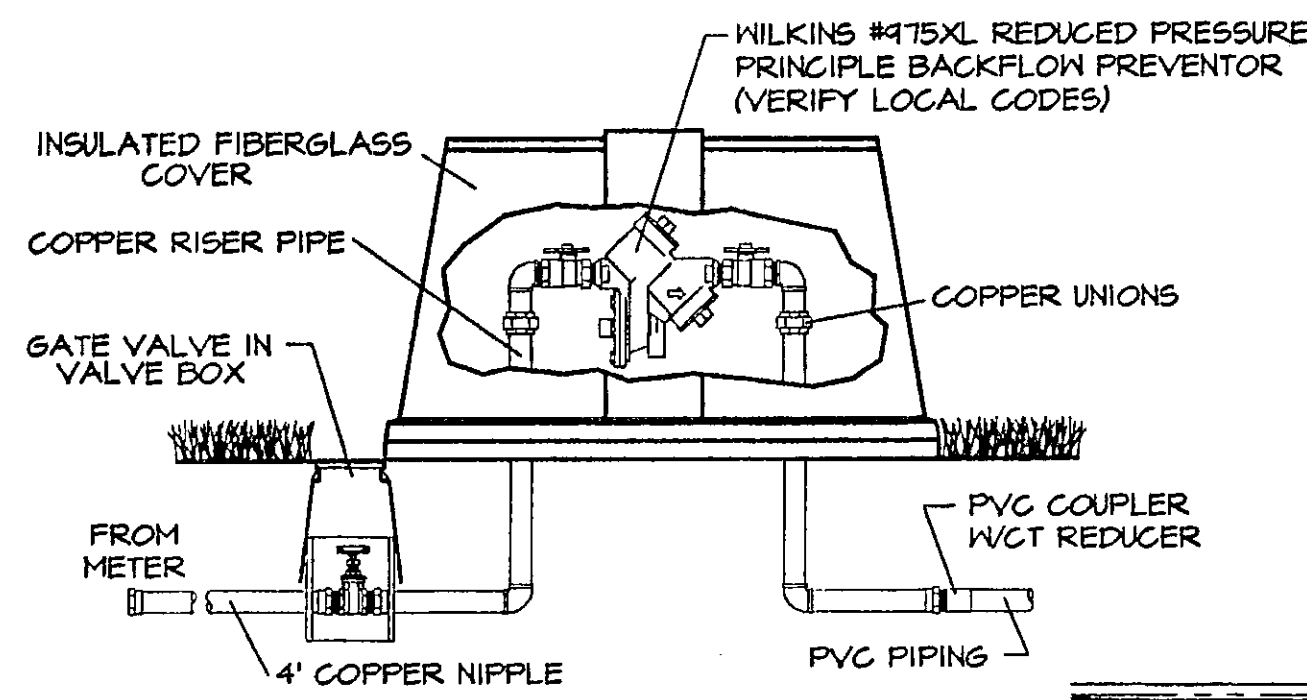
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DRAWING TITLE

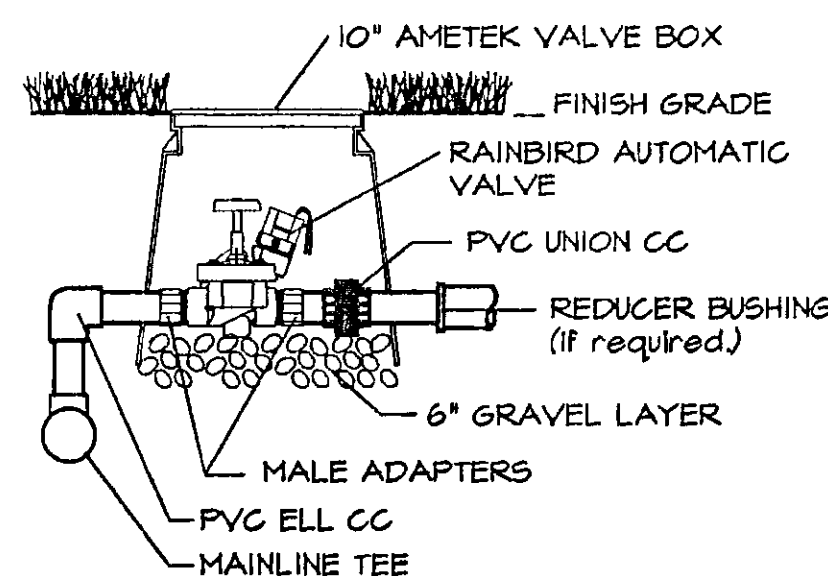
LANDSCAPE PLAN

DATE 12/22/99	STORE NO. 161-06113	DRAWING NO. C1.3
DRAWN BY: QT/BBB	SCALE: 1"=20'-0"	OF 21 DWGS.
REVIEWED BY: DTA / BBB		

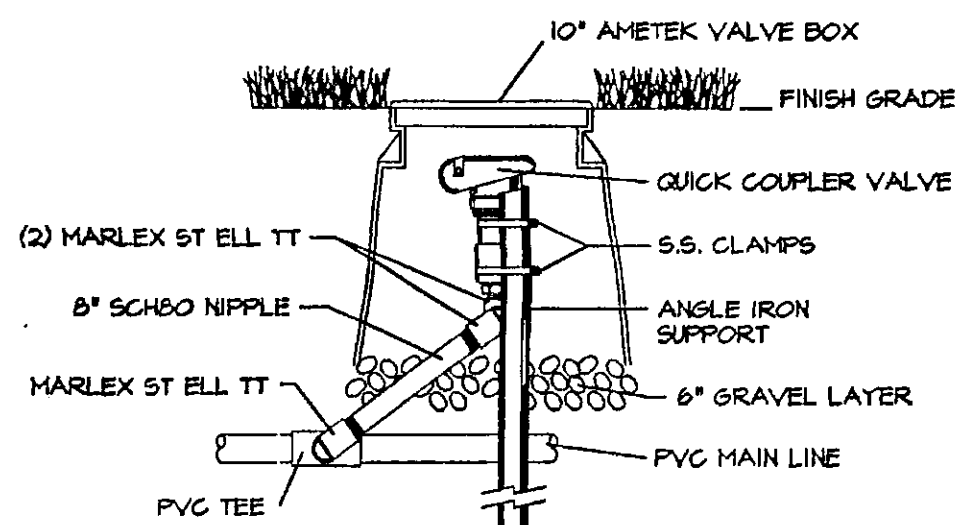
\\COM\Walgreens\Wichita\Central\Wichita-Maize-Central.dwg Wed Dec 22 17:34:55 1999 Alaback Design Associates



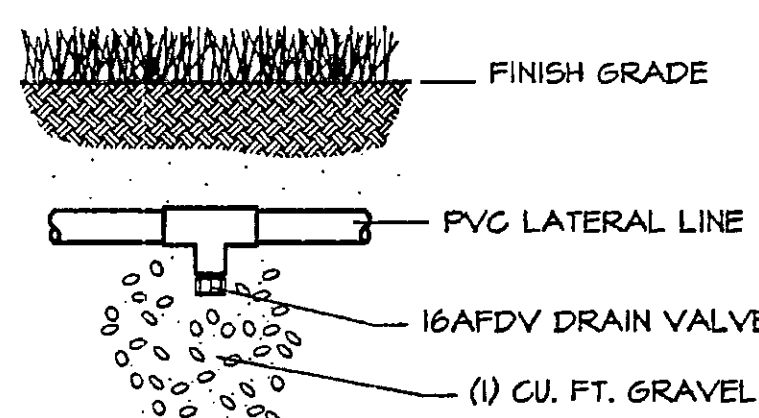
4 INSTALLATION DETAIL
RPA BACKFLOW ASSY.



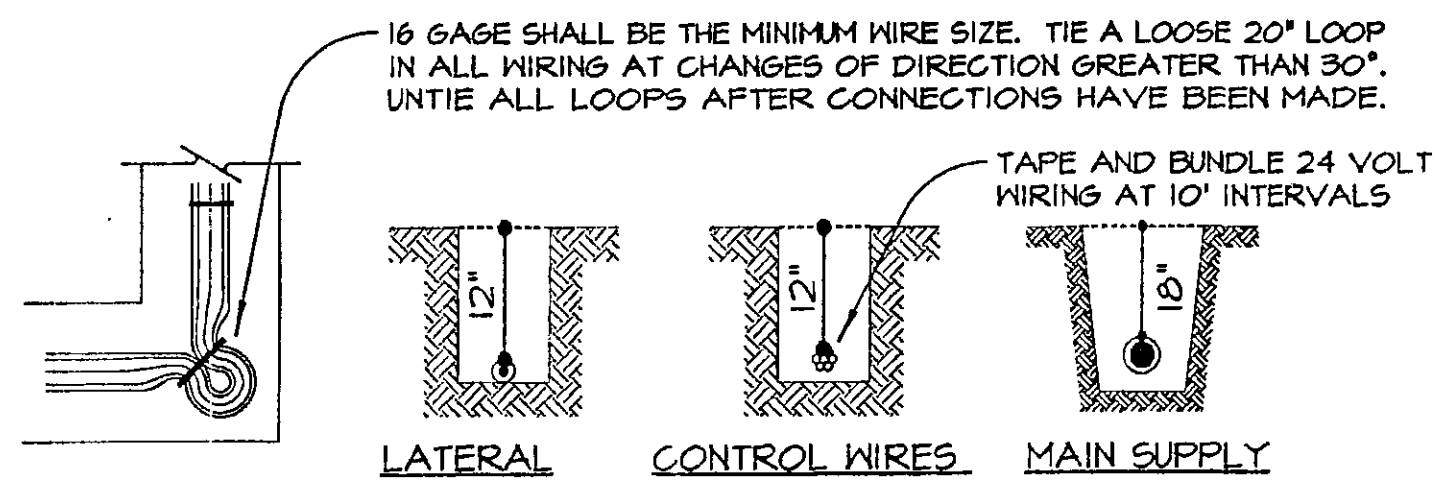
5 INSTALLATION DETAIL
ZONE VALVE ASSY.



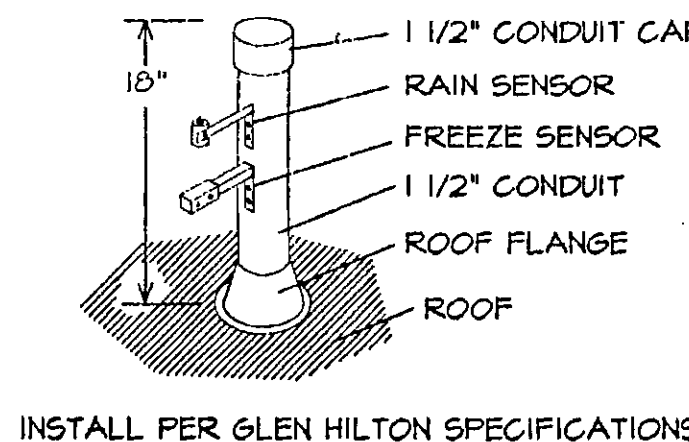
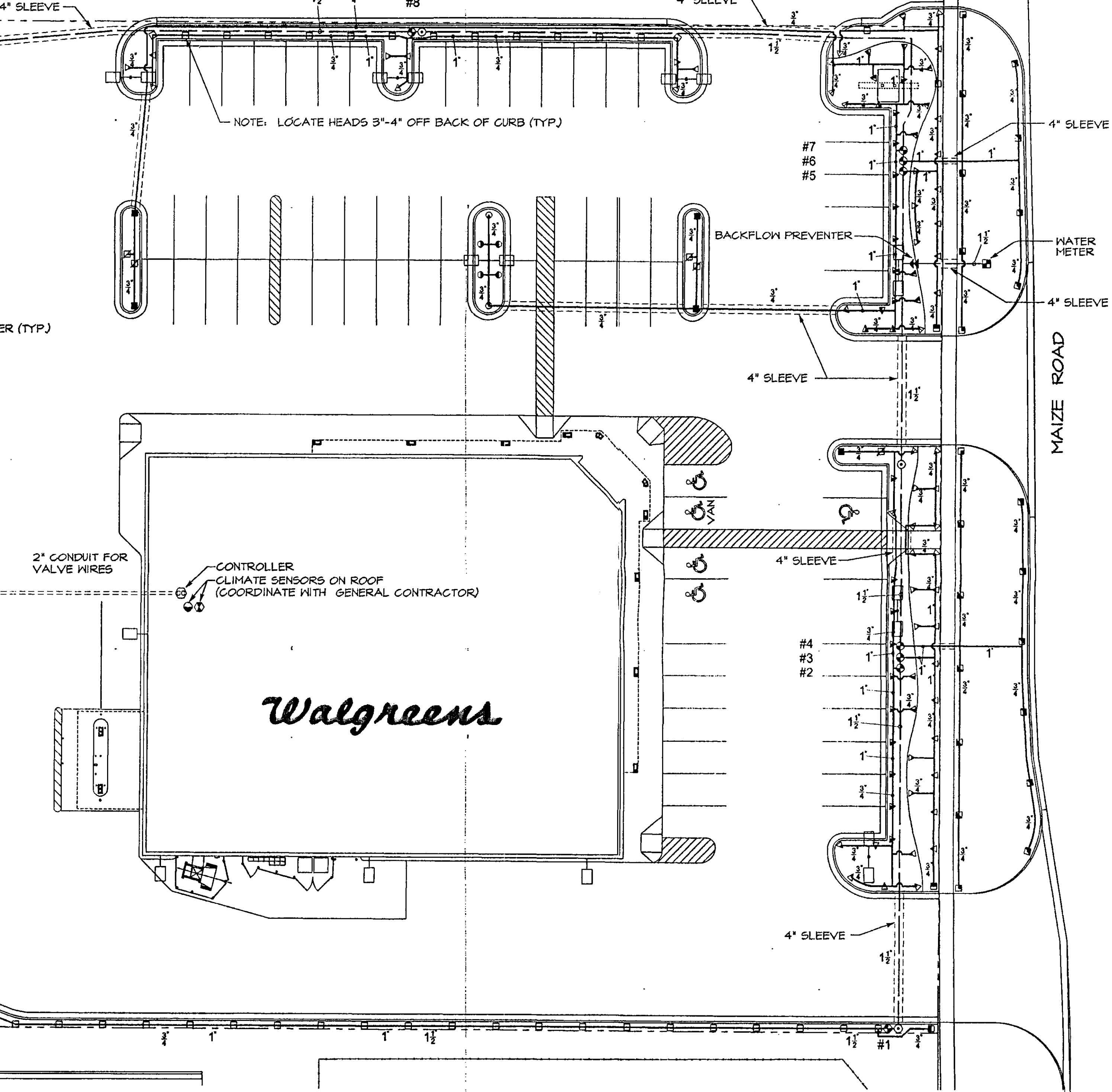
6 INSTALLATION DETAIL
QUICK COUPLING VALVE



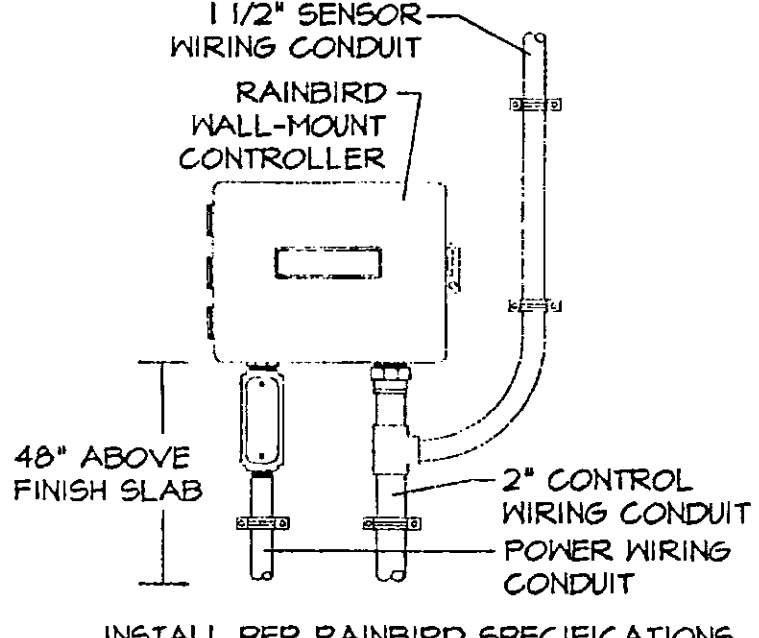
7 INSTALLATION DETAIL
AUTO FILTER DRAIN



8 INSTALLATION DETAIL
MAINLINE, LATERAL AND WIRING



9 INSTALLATION DETAIL
AUTO SHUTOFF SENSOR



10 INSTALLATION DETAIL
INDOOR CONTROLLER

IRRIGATION EQUIPMENT LEGEND

- 1 1/2" WATER METER W/28gpm @75psi REQUIRED.
- 1 1/2" WILKINS #475XL 1" BACKFLOW PREVENTOR ASSY.
- 4 1/2" RAINBIRD 100FEB 1" ZONE VALVE W/FLO CONTROL
- 1 1/2" RAINBIRD ESP-12MC (12) STATION CONTROLLER
- 1 1/2" GLEN HILTON #502 - AUTO RAIN SHUTOFF SENSOR
- 1 1/2" GLEN HILTON #401 - AUTO RAIN SHUTOFF SENSOR
- 6 1/2" RAINBIRD 3RC QUICK COUPLING VALVE (PROVIDE 3 KEY)

- 12 1/2" RAINBIRD 1804-FRS W/10H POP-UP TURF SPRAY
- 38 1/2" RAINBIRD 1804-FRS W/10H POP-UP TURF SPRAY
- 3 1/2" RAINBIRD 1804-FRS W/15est POP-UP TURF SPRAY
- 37 1/2" RAINBIRD 1804-FRS W/15est POP-UP TURF SPRAY

- 2 1/2" RAINBIRD 1812-FRS W/2Q POP-UP SHRUB SPRAY
- 4 1/2" RAINBIRD 1812-FRS W/8H POP-UP SHRUB SPRAY
- 7 1/2" RAINBIRD 1812-FRS W/10H POP-UP SHRUB SPRAY
- 32 1/2" RAINBIRD 1812-FRS W/10H POP-UP SHRUB SPRAY
- 5 1/2" RAINBIRD 1812-FRS W/15est POP-UP SHRUB SPRAY
- 5 1/2" RAINBIRD 1812-FRS W/15est POP-UP SHRUB SPRAY

- 1 1/2" RAINBIRD T-4-PC-T22-65 POP-UP TURF ROTOR
- 31 1/2" RAINBIRD T-4-PC-T22-13 POP-UP TURF ROTOR

- CLASS 200 PVC LATERAL PIPING
- SCHEDULE 40 PVC MAINLINE PIPING
- SCHEDULE 40 4" PVC SLEEVING

THE FOLLOWING NOTES ARE A PARTIAL SUMMARY ONLY OF IRRIGATION SPECIFICATIONS. REFER TO WRITTEN SPECIFICATIONS SECTIONS 0210-IRRIGATION SYSTEM

GENERAL IRRIGATION NOTES

CALL KANSAS ONE-CALL AT 1-800-344-7233 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

TRENCHING OPERATIONS SHALL NOT OCCUR UNDER THE DRIPLINE OF EXISTING TREES UNLESS ABSOLUTELY NECESSARY. IF CONDITIONS DO NOT ALLOW FOR TRENCHING TO BE DIRECTED AROUND DRIPLINE, THE TRENCHING SHALL BE DONE RADIAL WITH THE EXISTING TREE TRUNK.

CONTRACTOR SHALL CAREFULLY VERIFY A MINIMUM RESIDUAL WATER PRESSURE OF 75PSI @28GPM ADJACENT TO THE WATER METER LOCATION. IF THE MINIMUM WATER PRESSURE IS LESS THAN 75 PSI, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH AND SHALL RECEIVE OWNER'S APPROVAL PRIOR TO BEGINNING INSTALLATION OPERATIONS.

GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS SHOWN ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN INSTALLATION OF SYSTEM. STAKE LOCATION OF SLEEVE WITH T-POSTS AND FLAGS.

GENERAL CONTRACTOR SHALL SUPPLY A 2" CONDUIT FROM THE CONTROLLER LOCATION TO THE LANDSCAPE AREA AS SHOWN FOR VALVE WIRES AND AN 1 1/2" CONDUIT FROM THE CONTROLLER LOCATION TO THE SENSOR(S) LOCATION ON THE ROOF (SEE DETAIL).

GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING J-BOX (POWER) TO THE METER AND CONTROLLER. IRRIGATION CONTRACTOR SHALL HARD WIRE TO J-BOX.

GENERAL CONTRACTOR SHALL SUPPLY METER AS SHOWN ON DRAWING.

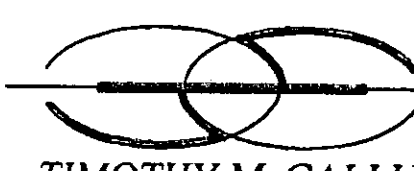
THE IRRIGATION DESIGN IS DIAGRAMMATIC. THE INTENT OF THE DRAWINGS IS TO SHOW THE GENERAL LAYOUT AND LOGIC OF THE SYSTEM. SCALED MEASUREMENTS MAY NOT BE ACCURATE. ACTUAL LOCATIONS AND QUANTITIES OF PIPE AND FITTINGS MAY VARY DUE TO FIELD ADJUSTMENTS FOR EXISTING AND NEW TREES AND OTHER OBSTRUCTIONS TO PROVIDE THE PROPER AND INTENDED COVERAGE.

CONTRACTOR SHALL INSURE THAT THE IRRIGATION MAIN LINE AND VALVES ARE INSTALLED WITHIN THE PROPERTY LINES. ANY LINES SHOWN OUTSIDE OF NORMAL INSTALLATION CORRIDORS ARE FOR PRESENTATION PURPOSES ONLY. SLEEVES UNDER ALL ROADWAYS AND WALKS SHALL BE SCHEDULE 40 PVC AND SIZED AS SHOWN ON THE DRAWING.

CONTRACTOR SHALL INSTALL SPECIFIED BACKFLOW PREVENTOR AND PROTECTIVE HOUSING (IF SPECIFIED) AT THE LOCATION SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CLOSELY FOLLOWING THESE CONTRACT DRAWINGS, THE IRRIGATION SPECIFICATIONS, AND THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL IMMEDIATELY CONSULT WITH THE OWNER WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN ANY OF THE ABOVE STATED DOCUMENTS.

Walgreens

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
708-940-2500



TIMOTHY M. GALLUP
Architect of Record

9 East 4th Street • Suite 1000 • Tulsa, Oklahoma 74103
(918) 584-8855 • (918) 584-2880 FAX
csg@webhouse.net (e-mail)



ALABACK DESIGN ASSOCIATES
LANDSCAPE ARCHITECTS

2202 E. 97th ST.
SUITE 500
TULSA, OK 74106
(918) 745-1400
FAX (918) 742-1470
Total: 546 sq. ft. of office space

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT
☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☐ WALGREENS' CONTRACTOR
☒ LANDLORD'S CONTRACTOR (TURKEY CONSTRUCTION)

STORE BUILDING

NEW.....
REMODELING...
RELOCATION...
OTHER.....

LEGAL DESCRIPTION

LOT 3, BLOCK 1, CENTRAL-MAIZE 2nd ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS.

ZONE VALVE INFORMATION

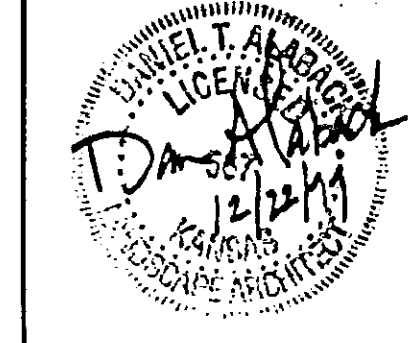
ZONE #1 = 28gpm	ZONE #6 = 10gpm
ZONE #2 = 14gpm	ZONE #7 = 21gpm
ZONE #3 = 16gpm	ZONE #8 = 23gpm
ZONE #4 = 16gpm	ZONE #9 = 14gpm
ZONE #5 = 12gpm	

NO.	DATE	BY	DESCRIPTION	CONST.
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REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF KANSAS AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME
**MAIZE RD. & CENTRAL AVE.
WICHITA, KANSAS**

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DRAWING TITLE

IRRIGATION PLAN

DATE 12/22/99	STORE NO.	DRAWING NO.
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DRAWN BY: MCL	161-06113	C1.4
REVIEWED BY: DTA / BBD	SCALE: 1"=20'-0"	

OF 21 DWGS.