



**Wichita-Sedgwick County Metropolitan Area Planning Department**

September 20, 2006

Sherry Sutera  
QuikTrip Corporation  
5725 Foxridge Drive  
Mission, KS 66202

Russ Ewy  
Baughman Company P.A.  
315 Ellis  
Wichita, KS 67211

**RE: CON2006-39 – Administrative adjustment to adjust the site plan for CON2006-17. Generally located south of Maple Street east of Illinois (3825 W. Maple)**

**Legal Description: Lots 4 through 12, 14, 16, 18, and 20, Block 3, Quincy Addition to Wichita, Sedgwick County, Kansas.**

Dear Applicants:

We have reviewed your request for an Administrative Adjustment to the approved site plan for CON2006-17. We understand that you desire to change the trash container location on the site plan.

Sec. V-D.14. of the Unified Zoning Code allows the Planning Director, with the concurrence of the Zoning Administrator, to approve minor adjustments to conditions of a Conditional Use as long as the adjustment does not have any of the negative impacts stated in Sec. V-1.6. We find that permitting a site plan adjustment as proposed meets the four conditions required by Section V-1.6 of the Unified Zoning Code as set out below:

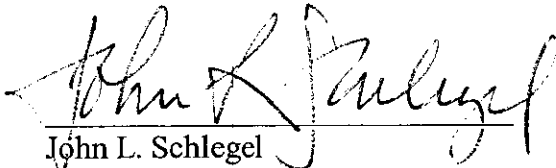
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The change in site plan will have no impact on the safety and convenience of vehicular and pedestrian circulation.
- 2) Impact on existing uses in surrounding areas: The trash container will be within a screened enclosure; therefore, the change in location should have no impact on existing uses in surrounding areas.
- 3) Compatibility with existing or permitted uses on abutting sites: The trash container will be screened

and landscape buffered from residences to the south; therefore, there should be no impact on existing or permitted uses on abutting sites.

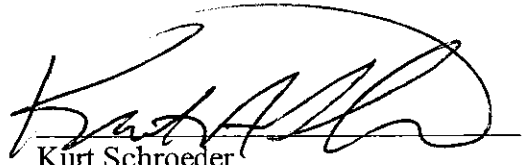
- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way; therefore, there should not be a negative impact on the public health, safety or welfare nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that an Administrative Adjustment to the approved site plan for CON2006-17 is hereby granted.

The "Development Application" sign should now be removed from the property.



John L. Schlegel  
Planning Director



Kurt Schroeder  
Superintendent of Central Inspections

Enclosure

cc: Kurt Schroeder, OCI  
Paul Hays, OCI



**QuikTrip.**

4705 South 129th East Ave.  
Tulsa, OK 74134-7008  
P.O. Box 3475  
Tulsa, OK 74101-3475  
(918) 615-7700

**GENERAL NOTES**

1. ALL UTILITIES SHOWN ON UTILITY SITE PLAN, SHEET C7.
2. SEE ELECTRICAL PLAN FOR SIGN LOCATIONS.
3. SEE POLLARD PLACEMENT PLAN SHEET C6 FOR POLLARD DIMENSIONS.
4. SEE STORM SEWER PLAN SHEET C5 FOR STORM INFORMATION.
5. ALL PAVING TO BE PORTLAND CEMENT CONCRETE UNLESS OTHERWISE NOTED.
6. SEE S2.1 FOR P.O.P. DETAILS.

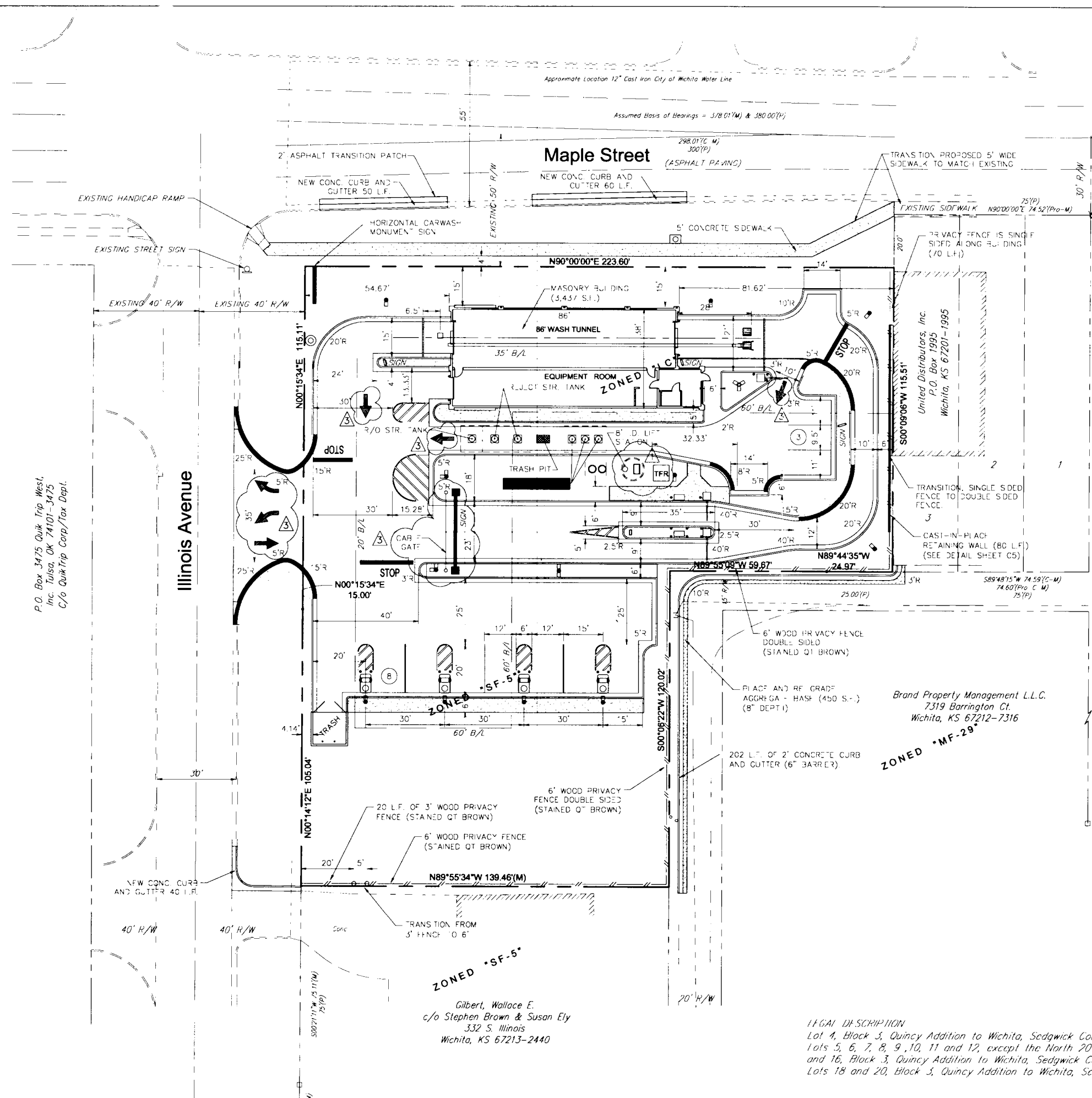
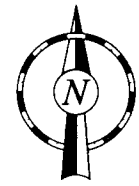
**LEGEND**

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- MOUNTABLE CURB W/PAVER
- MOUNTABLE CURB
- PARKING SPACE INDICATOR
- AREA LIGHT
- VACUUM ASSEMBLY
- SIGN

**SITE PLAN NOTES**

1. SEE COPY OF PLAT FOR BOUNDARY AND FINAL PLAT DIMENSIONS, EASEMENT LOCATIONS, AND BUILDING SETBACK LINES.
2. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
3. CONTRACTOR TO FIELD VERIFY LAYOUT AND DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO ARCHITECT AND/OR ENGINEER.
4. CONFLICTS BETWEEN THESE DRAWINGS AND ANY OTHER DRAWINGS AND/OR THE SPECIFICATIONS BETWEEN CIVIL DRAWINGS AND ARCHITECTURAL PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO CONSTRUCTION.
5. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY BAUGHMAN COMPANY, P.A.
6. PERSONS USING THIS DRAWING SHOULD CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF SURVEY.
7. ALL DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
8. UNLESS OTHERWISE NOTED, CURB RADIUS IS 20' TO FACE OF CURB.
9. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF WICHITA SPECIFICATIONS FOR UTILITY AND STREET CONSTRUCTION.
10. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING, INSPECTION, AND/OR TESTING AS NECESSARY FOR ALL WORK.

McComas Avenue



P.O. Box 3475 Quik Trip West, Inc. Tulsa, OK 74101-3475  
C/o QuikTrip Corp./Tox Dept.

Illinois Avenue

Maple Street

Brand Property Management L.L.C.  
7319 Barrington Ct.  
Wichita, KS 67212-7316

ZONED \*MF-29\*

Gilbert, Wallace E.  
c/o Stephen Brown & Susan Ely  
332 S. Illinois  
Wichita, KS 67213-2440

**LEGAL DESCRIPTION**

Lot 4, Block 3, Quincy Addition to Wichita, Sedgwick County, Kansas TOGETHER WITH Lots 5, 6, 7, 8, 9, 10, 11 and 12, except the North 20 feet thereof, and Lots 14 and 16, Block 3, Quincy Addition to Wichita, Sedgwick County, Kansas TOGETHER WITH Lots 18 and 20, Block 3, Quincy Addition to Wichita, Sedgwick County, Kansas.

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3	GATE & ARROWS	08/08
2	NOTE #5	08/08
1	8' LIFT STATION LOC.	07/25
No.	Revision	Date

**POE & ASSOCIATES, INC.**  
1307 East Central, Suite 202, Wichita, Kansas 67202  
Phone (316) 862-4244, Fax (316) 862-4444

**SITE PLAN**

DRAWN BY: JRB	SHEET
DESIGNED BY: HIRA	<b>C2</b>
CHECKED BY: TRA	
ISSUE DATE: 7-13-06	OF 9

ILLINOIS AVENUE AND MAPLE STREET WICHITA, KS  
QuikTrip Store No. 396CW