

# EDGE WATER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS We, Baughman Company, P.A., Surveyors in aforesaid  
 Sedgwick County) county and state do hereby certify that we have surveyed and platted "EDGE  
 WATER ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying  
 plat is a true and correct exhibit of the property surveyed, described as follows:  
 That part of Government Lot 1 and that part of the SE1/4 of the NE1/4 of Sec.  
 27, Twp. 26-S, R-1-W of the 6th P. M., Sedgwick County, Kansas, described as  
 beginning at the SE corner of said NE1/4; thence North along the East line of  
 said NE1/4, 300 feet; thence West parallel with the South line of said NE1/4, 130  
 feet; thence North parallel with the East line of said NE1/4, 150 feet; thence  
 East parallel with the South line of said NE1/4, 130 feet; thence North along the  
 East line of said NE1/4, 650 feet; thence West parallel with the South line of  
 said NE1/4, 208 feet; thence North parallel with the East line of said NE1/4, 208  
 feet; thence East parallel with the South line of said NE1/4, 208 feet; thence  
 North along the East line of said NE1/4, 325.99 feet, more or less, to a point  
 700 feet South of the NE corner of said Government Lot 1; thence West parallel  
 with the North line of said Government Lot 1, 311.14 feet; thence North parallel  
 with the East line of said NE1/4, 420 feet; thence East parallel with the North  
 line of said Government Lot 1, 311.14 feet; thence North along the East line of  
 said NE1/4, 280 feet to the NE corner of said Government Lot 1; thence West  
 along the North line of said Government Lot 1, 893.93 feet, more or less, to a  
 point 417.42 feet East of the NW corner of said Government Lot 1; thence South  
 parallel with the West line of said Government Lot 1, 208.71 feet; thence West  
 parallel with the North line of said Government Lot 1, 417.41 feet to a point on  
 the West line of said Government Lot 1; thence South along the West line of said  
 Government Lot 1 and the West line of the SE1/4 of said NE1/4 to the SW corner  
 of the SE1/4 of said NE1/4; thence East to the place of beginning, EXCEPT that  
 part taken for highway purposes in Deed Book 1377, Page 307, and EXCEPT that  
 part described as beginning at the SE corner of said NE1/4; thence North along  
 the East line of said NE1/4, 300 feet; thence West parallel with the South line of  
 said NE1/4, 130 feet; thence North parallel with the east line of said NE1/4, 150  
 feet; thence West parallel with the South line of said NE1/4, 78 feet; thence  
 South parallel with the East line of said NE1/4, 450 feet to the South line of  
 said NE1/4; thence East along the South line of said NE1/4, 208 feet to the  
 place of beginning, and EXCEPT that part taken for highway purposes in Deed  
 Book 1377, Page 307, TOGETHER with Government Lot 2 and the SW1/4 of the  
 NE1/4 of Sec. 27, Twp. 26-S, R-1-W of the 6th P.M., Sedgwick County, Kansas,  
 EXCEPT that part taken for State Highway purposes in District Court Case No.  
 C-8172-66 along the south, TOGETHER with that part of Government Lots 3 and  
 6 and that part of the SE1/4 of the NW1/4 of Sec. 27, Twp. 26-S, R-1-W of the  
 6th P.M., Sedgwick County, Kansas lying within the following described tract of  
 land: The E1/2 of the E1/2 of the NW1/4 of Sec. 27, Twp. 26-S, R-1-W of the  
 6th P.M., Sedgwick County, Kansas, EXCEPTING as it may affect the above  
 described tract, the following described property: A tract of land in the SE1/4 of  
 the NW1/4 of Sec. 27, Twp. 26-S, R-1-W described as follows: Beginning at the  
 SE corner of said Quarter Section; thence North along the East line of said  
 Quarter Section, 227.3 feet, said East line having a bearing of N00°18'W; thence  
 S89°46'W, 514.4 feet; thence N87°22'W, 300.4 feet; thence S89°46'W to a point  
 on the west line, 237.7 feet North of the SW corner of the SE1/4 of the NW1/4;  
 thence S00°24'E, 237.7 feet along said West line to the south line of said Quarter  
 Section; thence N89°58'E along said South line to the place of beginning, and  
 EXCEPT that part of said Government Lots 3 and 6 lying within the following  
 described tract of land: A tract in the NW1/4 of Sec. 27, Twp. 26-S, R-1-W of  
 the 6th P.M., Sedgwick County, Kansas described as beginning at the NW corner  
 of the E1/2 of the E1/2 of said NW1/4; thence south along the West line of said  
 E1/2 of the E1/2 of said NW1/4, 386.25 feet; thence east parallel with the North  
 line of said NW1/4, 244.55 feet; thence north parallel with the West line of the  
 E1/2 of the E1/2 of said NW1/4, 386.25 feet to a point on the North line of  
 said NW1/4; thence west, 244.55 feet to the point of beginning, TOGETHER with  
 that part of Government Lot 5, Sec. 27, Twp. 26-S, R-1-W of the 6th P.M.,  
 Sedgwick County, Kansas described as follows: Beginning at the SW corner of  
 said Government Lot 5; thence N01°18'49"W along the west line of said  
 Government Lot 5, 257.48 feet; thence S52°42'55"E, 239.48 feet to the P.C. of a  
 curve to the left; thence southeasterly and easterly along said curve, having a  
 central angle of 37°51'14" and a radius of 240.00 feet, an arc distance of 158.56  
 feet, (having a chord length of 155.69 feet bearing S71°38'32"E), to the P.T. of  
 said curve, said P.T. also being 60.00 feet normally distant north of the south line  
 of said Government Lot 5; thence N89°25'51"E parallel with the south line of said  
 Government Lot 5, 978.82 feet; thence N89°06'08"E parallel with the south line of  
 said Government Lot 5, 1000.28 feet to a point 311.00 feet normally distant west  
 of the east line of said Government Lot 5; thence S00°41'04"E parallel with the  
 east line of said Government Lot 5, 60.00 feet to a point on the south line of  
 said Government Lot 5; thence S89°06'08"W along the south line of said  
 Government Lot 5, 1000.23 feet to a deflection corner in said south line; thence  
 S89°25'51"W along the south line of said Government Lot 5, 1312.02 feet to the  
 point of beginning, all being subject to road rights-of-way of record.

Existing public easements and dedications  
 being vacated by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Michael D. Conrey, Surveyor  
 Michael G. Conrey

Know all men by these presents that we, the  
 undersigned, have caused the land in the surveyors certificate to be platted into  
 Lots, Blocks, Streets, and Reserves to be known as "EDGE WATER ADDITION",  
 Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as  
 indicated for the construction and maintenance of all public utilities. The drainage  
 easements are hereby granted as indicated for drainage purposes. The drainage  
 and utility easements are hereby granted as indicated for the construction and maintenance of all public utilities.  
 The pedestrian access easements are hereby granted as indicated for pedestrian access purposes and  
 no fences or other obstructions shall be constructed or placed on or within these  
 easements. The utility and pedestrian access easement is hereby granted as  
 indicated for the construction and maintenance of all public utilities and for  
 pedestrian access purposes and no fences or other obstructions shall be  
 constructed or placed on or within this easement. The wall easements are hereby  
 granted as indicated for the construction and maintenance of private screening  
 walls and utility main lines and service lines shall be allowed to cross these  
 easements. The streets are hereby dedicated to and for the use of the public.  
 The contingent street dedication within Reserve "J" shall become effective in the  
 event that the City of Wichita determines a need for the right-of-way for any  
 street related purposes. The contingent street dedication within said Reserve "J"  
 shall be a covenant running with the land and shall be binding on all heirs and  
 subsequent owners of all parts of said property covered by said contingent street  
 dedication. Reserves "A", "B", and "C" are hereby reserved for entry monuments,  
 landscaping, drainage purposes, open space, utilities, and streets. The public shall  
 not bear the cost of any repair or replacement of improvements within said  
 Reserves "A", "B", and "C" adversely affected by street construction, repair, or  
 maintenance. Reserve "D" is hereby reserved for entry monuments, open space,  
 landscaping, drainage purposes, screening walls, and sidewalks. Reserve "E" is  
 hereby reserved for entry monuments, open space, landscaping, drainage purposes,  
 screening walls, sidewalks, and pipelines as confined to easement. Reserve "F" is  
 hereby reserved for open space, landscaping, drainage purposes, gazebos, entry  
 monuments, lakes, screening walls, and sidewalks. Reserve "G" is hereby reserved  
 for open space, landscaping, drainage purposes, gazebos, entry monuments, lakes,  
 screening walls, utilities as confined to easements, sidewalks, and pipelines as  
 confined to easement. Reserve "H" is hereby reserved for open space, landscaping,  
 gazebos, lakes, sidewalks, utilities as confined to easements, and drainage  
 purposes. Reserve "I" is hereby reserved for open space, landscaping, sidewalks,  
 drainage purposes, utilities as confined to easements, playgrounds, swimming  
 pools and related facilities, recreational areas, gazebos, and parking. Reserve "J"  
 is hereby reserved for open space, landscaping, sidewalks, berms, drainage  
 purposes, and a contingent street dedication. Reserve "K" is hereby reserved for  
 open space, landscaping, drainage purposes, screening walls, and pipelines as  
 confined to easement. Reserves "A", "B", "C", "D", "E", "F", "G", "H", "I", "J",  
 and "K" shall be owned and maintained by the homeowners association for the  
 addition. Access controls shall be as depicted on the face of the plat and are  
 hereby granted to the City of Wichita, Kansas. The Minimum Building Pad  
 Elevations for the lowest opening to the structures shall be as indicated on the  
 face of the plat.

R & R Realty, LLC,  
 a Kansas limited liability company

Jay W. Russell, Manager  
 Ritchie Associates, Inc., Manager  
 Kevin M. Mullen, President

State of Kansas) SS The foregoing instrument acknowledged before me,  
 Sedgwick County) this 8TH day of MAY, 2007, by Jay W. Russell, Manager of  
 R & R Realty, LLC, a Kansas limited liability company, on behalf of the  
 limited liability company.

JUDITH M. TERHUNE  
 Notary Public - State of Kansas  
 My Appt. Expires 11-7-09

Judith M. Terhune, Notary Public  
 JUDITH M. TERHUNE

My App't. Exp. 11-7-09

State of Kansas) SS The foregoing instrument acknowledged before me,  
 Sedgwick County) this 11TH day of May, 2007, by Kevin M. Mullen, President of  
 Ritchie Associates, Inc., as Manager of R & R Realty, LLC, a Kansas limited  
 liability company, on behalf of the limited liability company.

ANGIE M. SIZEMORE  
 Notary Public - State of Kansas  
 My Appt. Expires 7-25-07

Angie M. Sizemore, Notary Public  
 ANGIE M. SIZEMORE

My App't. Exp. 7-25-07

We, the undersigned holders of a mortgage on the  
 above described property, do hereby consent to this plat of "EDGE WATER  
 ADDITION", Wichita, Sedgwick County, Kansas.

Legacy Bank

BRUCE MALLOY, (Title)

State of Kansas) SS The foregoing instrument acknowledged be-  
 fore me, this 15TH day of May, 2007, by Bruce Malloy,  
 J.P. of Legacy Bank, on behalf of the bank.

LISA A. PISKA  
 NOTARY PUBLIC  
 STATE OF KANSAS  
 My App. Exp. 12-31-2009

My App't. Exp. 01-12-2009

LISA A. PISKA, Notary Public

This plat of "EDGE WATER ADDITION", Wichita,  
 Sedgwick County, Kansas has been submitted to and approved by the  
 Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita,  
 Kansas.

Dated this day of , 2007.  
 Wichita-Sedgwick County Metropolitan Area Planning Commission

Darrell A. Downing, Chair

John L. Schlegel, Secretary

This plat approved and all dedications  
 shown hereon accepted by the City Council of the City of Wichita,  
 Kansas, this day of , 2007.

Carl Brewer, Mayor

Karen Sublett, City Clerk

Reviewed in accordance with K.S.A. 58-2005  
 on this day of , 2007.

Tricia L. Robello, L.S. #1246  
 Deputy County Surveyor  
 Sedgwick County, Kansas

Entered on transfer record this day  
 of , 2007.

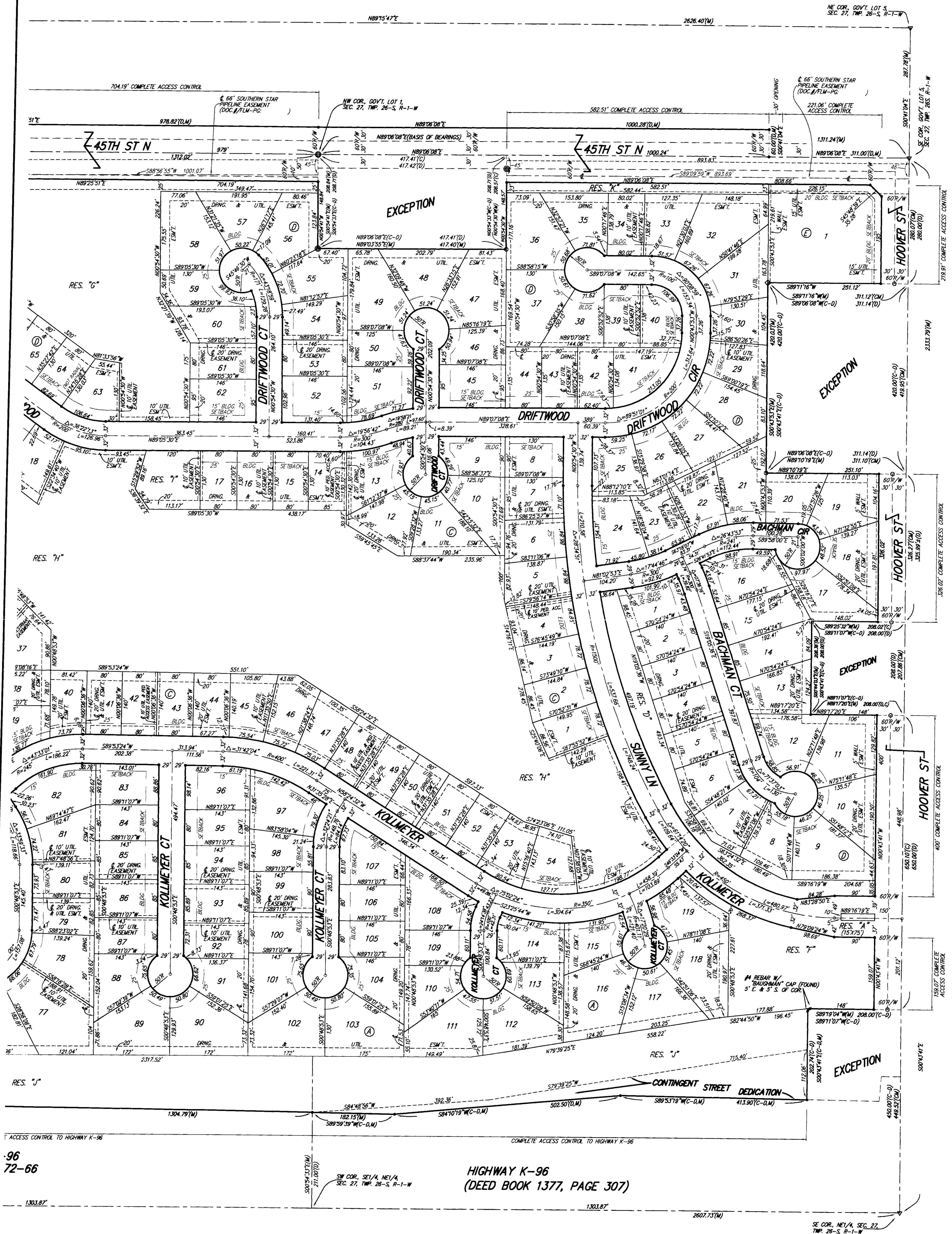
Don Brace, County Clerk

State of Kansas) SS This is to certify that this plat has been  
 Sedgwick County) filed for record in the office of the Register of Deeds, this day  
 of , 2007 at o'clock M, and is duly recorded.

Bill Meek, Register of Deeds

Tonya Buckingham, Deputy

# EDGE WATER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- #4 REBAR W/ "BAUGHMAN" CAP (SET)
- STONE (FOUND)
- 3/4" IRON (FOUND)
- 1/2" IRON (FOUND)
- #5 REBAR W/ "MUNICIPAL ENG." CAP (FOUND)
- #4 REBAR W/ "SAVOY" CAP (FOUND)
- #4 REBAR W/ "TILTS" CAP (FOUND)
- #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- CROSS (FOUND)
- #4 REBAR W/ "GARBER" CAP (FOUND)
- #5 REBAR IN STONE (FOUND)

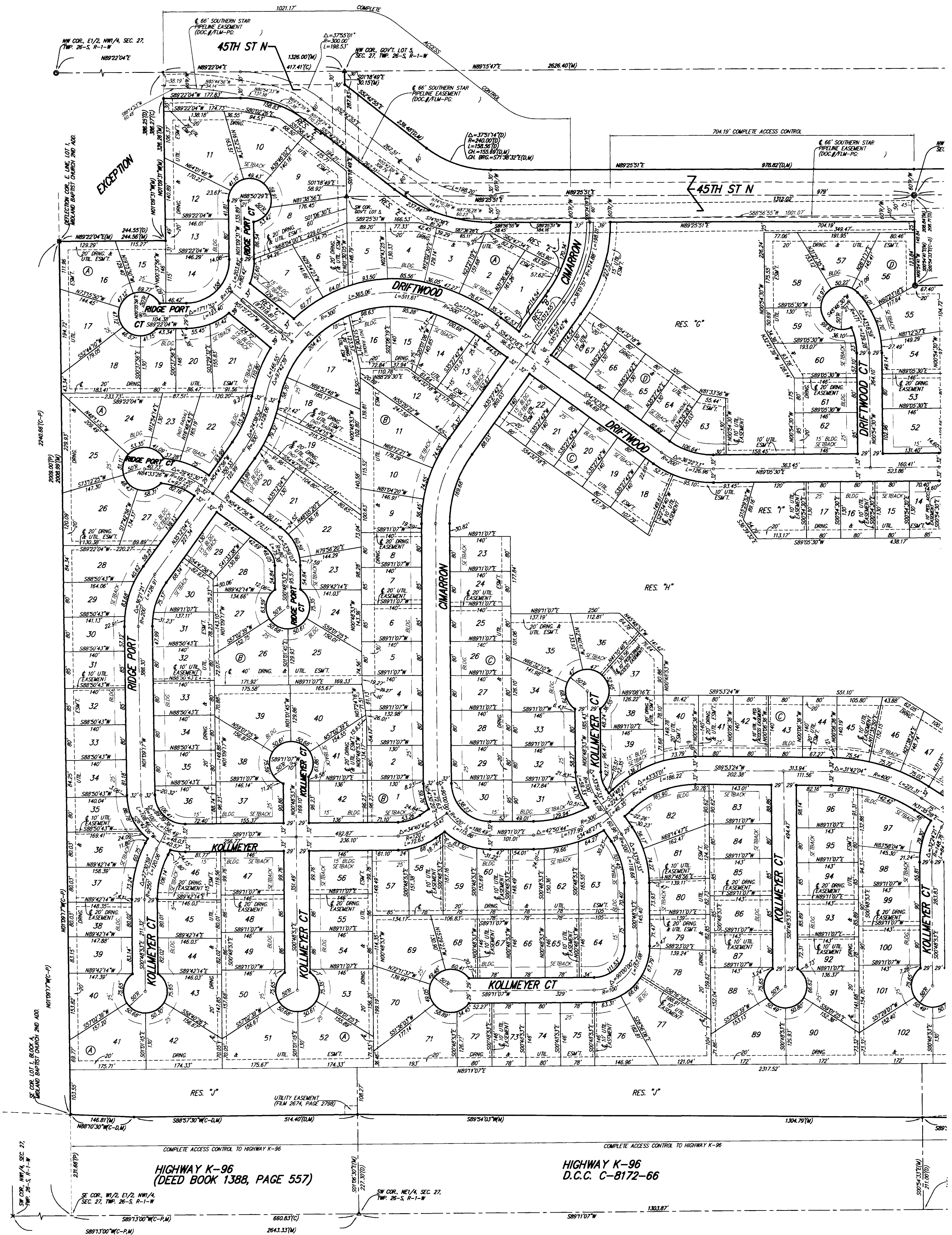
(M) = MEASURED  
(D) = DESCRIBED  
(P) = PLATTED  
(C) = CALCULATED  
(CM) = CALCULATED PER MEASURED INFO  
(C-D) = CALCULATED PER DESCRIBED INFO  
(C-P) = CALCULATED PER PLATTED INFO

| MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES |       |           |
|----------------------------------------------------------------------|-------|-----------|
| LOT                                                                  | BLOCK | ELEVATION |
| 118-119                                                              | A     | 1336.0    |
| 1-6, 10-25                                                           | C     | 1333.1    |
| 35-38, 40-54                                                         | C     | 1333.1    |
| 56-67                                                                | D     | 1333.1    |

BENCHMARK:  
HOOPER AND 45TH ST. NORTH  
COW BENCHMARK NE CORNER OF INTERSECTION  
10.20 FT SSE OF PP  
58.80 FT SSE OF PP ON NW CORNER  
63.50 FT NE OF GAS LINE MARKER  
28.50 FT EAST OF CENTERLINE  
14.50 FT NORTH OF CENTERLINE  
ELEVATION 1335.29 (NGVD 29)

PAGE 3 OF 3

# EDGE WATER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- = #1 REBAR W/ "BAUGHMAN" CAP (SET)
- △ = STONE (FOUND)
- = 3/4" IRON (FOUND)
- = 1/2" IRON (FOUND)
- ◇ = #5 REBAR W/ MUNICIPAL ENG. CAP (FOUND)
- ◇ = #4 REBAR W/ "SAVOY" CAP (FOUND)
- = #4 REBAR W/ "TILES" CAP (FOUND)
- = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- × = CROSS (FOUND)
- ▽ = #4 REBAR W/ "BARBER" CAP (FOUND)
- = #5 REBAR IN STONE (FOUND)

- (M) = MEASURED
- (D) = DESCRIBED
- (C) = CALCULATED
- (CM) = CALCULATED PER MEASURED INFO
- (C-D) = CALCULATED PER DESCRIBED INFO
- (C-P) = CALCULATED PER PLATTED INFO

| LOT          | BLOCK | ELEVATION |
|--------------|-------|-----------|
| 118-119      | A     | 1336.0    |
| 1-6, 10-25   | C     | 1333.1    |
| 35-38, 40-54 | C     | 1333.1    |
| 56-67        | D     | 1333.1    |

BENCHMARK:  
HOOPER AND 45TH ST. NORTH  
COW BENCHMARK NE CORNER OF INTERSECTION  
10.20 FT SSE OF PP  
58.80 FT ESE OF PP ON NW CORNER  
85.50 FT NE OF GAS LINE MARKER  
28.50 FT EAST OF CENTERLINE  
14.50 FT NORTH OF CENTERLINE  
ELEVATION 1335.29 (NGVD 29)