



Wichita-Sedgwick County Metropolitan Area Planning Department

September 27, 2007

US Road Freight Express
C/o Mark Dugan
PO Box 9070
Wichita, Kansas, 67277-0020

Re: BZA2007-51: Zoning Administrative Adjustment to reduce the parking requirement by 25%, from 22 to 19, in "LI" Limited Industrial zoning, generally located on the northwest corner of Maize Road & State Highway K-42.

Legal Description: Lot 1, Block A, Harvest Ridge Commercial Addition to Wichita, Sedgwick County, Kansas.

Dear Applicant,

We have reviewed your Zoning Adjustment request to reduce the parking requirement on the above-referenced property. From reviewing your application we understand that you propose to add a 6,720-square foot maintenance garage on the site, currently occupied by a 7,200-square foot truck terminal/warehouse. Your plan indicates 19 parking spaces, a 25% reduction of the 22 spaces required by the Unified Zoning Code (UZC).

Sec. V-I.2.i. of the Unified Zoning Code allows an adjustment to reduce the parking requirement when the conditions required by Sec. V-I.6. of the Code are met. We find that the reduction of the parking requirement as proposed meets the four conditions required by Sec. V-I.6. of the Code as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed reduction in parking requirement should not have a detrimental impact on the safety and convenience of vehicular and pedestrian circulation in the vicinity of the application area. Sufficient parking should be available for the anticipated need, and the parking does not interfere with public right-of-way.
- 2) Impact on existing uses in surrounding areas: The proposed reduction in parking should not

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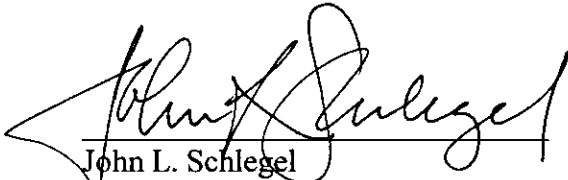
impact existing uses in surrounding areas, as all parking for this project should be adequately provided on the site.

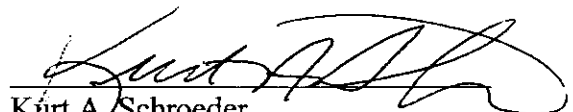
- 3) Compatibility with existing or permitted uses on abutting sites: A reduction of 25% of the parking requirement should not compromise existing or permitted uses on abutting sites, as all parking for this project should be adequately provided on the site.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public right of way or utility easements; therefore there should be no impact on the public's safety, health or welfare.

Our signatures below indicate that an administrative adjustment to reduce parking by 25%, from 22 to 19 spaces is hereby granted for the aforementioned property subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) The parking area shall be paved and marked.
- 3) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare the Zoning Adjustment null and void.

The "Development Application" sign should now be removed from the property.


John L. Schlegel
Planning Director


Kurt A. Schroeder
Superintendent of Central Inspection

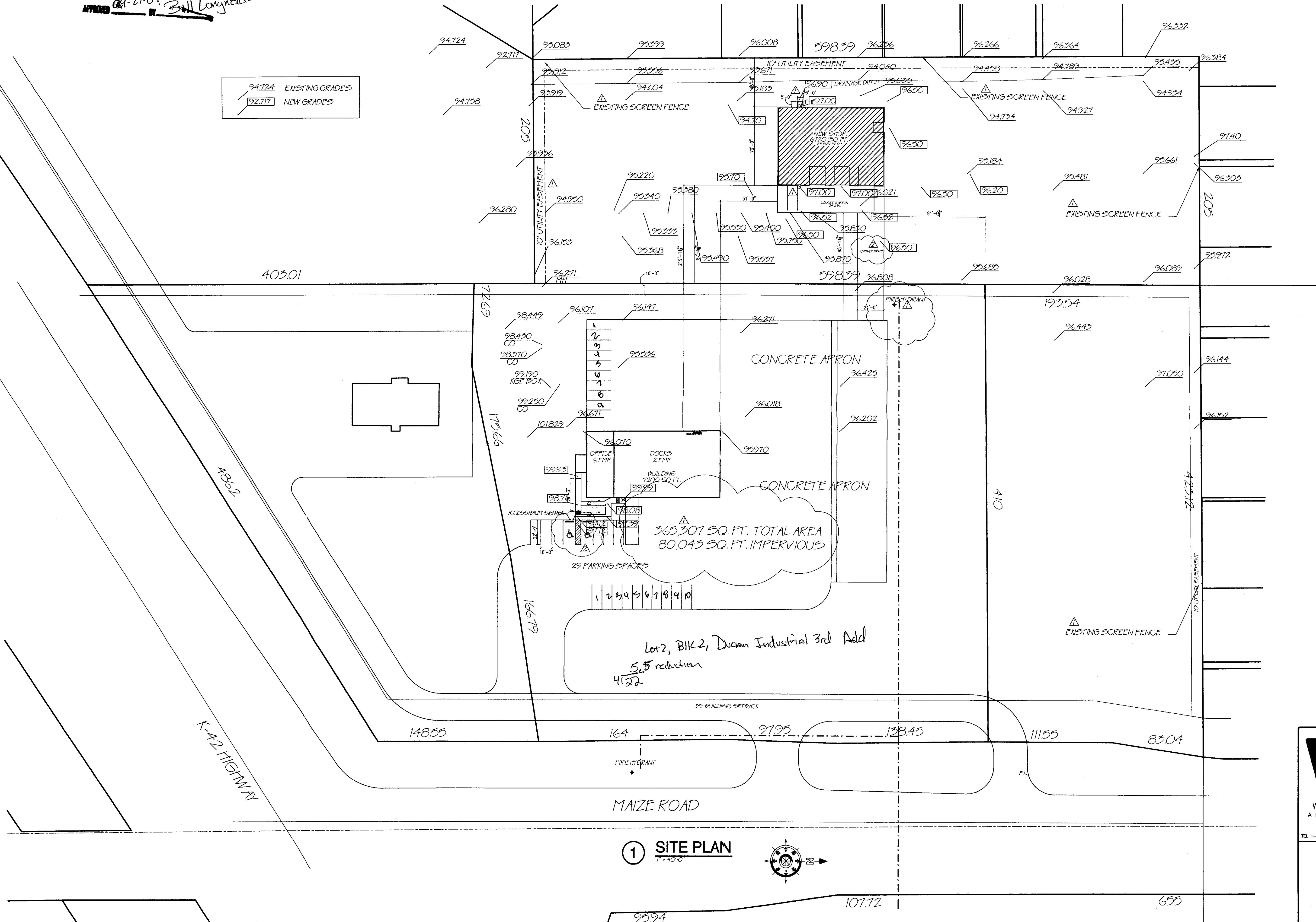
Enclosure

cc: Kurt Schroeder, OCI
Paul Hays, OCI
Randy Sparkman, OCI

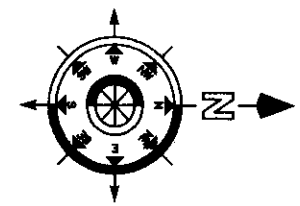
SITE PLAN

APPROVED 09-27-07 Bill Longmeyer

94.724 EXISTING GRADES
92.717 NEW GRADES



1 SITE PLAN
1"=40'-0"



EVANS
EVANS BUILDING CO., INC.
WICHITA, KANSAS 67277
9801 W. YORK

**A NEW ADDITION FOR
US ROAD**
WICHITA, KS
K-42 & MAIZE RD.

PROPERTY
OF
EVANS BUILDING COMPANY, INC.
UNLAWFUL TO REPRODUCE
Wichita City License No. 26
Sedgwick Co. License No. 00046

WILLIAM E. WOLF
LICENSED
PROFESSIONAL ARCHITECT
KANSAS
2991
9-14-07

W
WOLF & ASSOCIATES
ARCHITECTURE
12225 DOVE HILL CT.
DERBY, KANSAS 67037
TEL 1-316-7781110 CELL 1-316-305-6811

REVISIONS		
NO.	DATE	DWN
1	8/15/07	EL
2	9/14/07	EL

DATE : 08/03/07
DR. BY : EL
CK. BY :

PROJECT NO.
07-141
SHEET
SA 1