

PLANT LIST

Quan.	Common Name	Botanical Name	Size	Cond.
12	London Plane	Platanus acerfolia	8'-10' ht.	Cont.
19	Moraine Honeylocust	Gt. i. "Moraine"	8'-10' ht.	"
10-4	Sweetgum	Liq. styraciflua	8'-10' ht.	"
4	Little Leaf Linden	Filia cordata	8'-10' ht.	"
14	Scotch Pine	Pinus sylvestris	4'-5' ht.	B & B
14	Canaert Juniper	Jun. vir. "Canaert"	4'-5' ht.	B & B
11	White Flowering Crab	Koeh-paniculata	5'-6' ht.	Cont.
13	Goldenrain Tree	Cercis canadensis	5'-6' ht.	"
4	Redbud	Cercis canadensis	5'-6' ht.	"
4	Bradford Pear	Pyrus calleryana	5'-6' ht.	"
13	Radiant Crab	Prunus cerasifera	5'-6' ht.	"
13	Radiant Crab	Malus "Radiant"	5'-6' ht.	"
7	Forsythia	Fer. int. "Lynwood Gold"	10' ht.	Cont.

4.18. SUGGESTED HOSE TAP LOCATIONS (13 THUS)

LANDSCAPE PLAN APPROVED SUBJECT TO PROVISION OF WATER AND GROUND COVER IN THE PLANTING STRIPS FOR PARCEL NO. 1-C OF THE COMOTARA AMENDED C.U.P. (DP-46)
 JMS
 date

Partially Approved by Parcel 1-B plan approved 5/26/74

site landscape plan

LANDSCAPE DESIGN BY
 JON M. RIGOLD
 LANDSCAPE ARCHITECT
 1100 AMULLEN
 WICHITA, KANSAS

239 Patton
 Wichita, Kansas 67211
 (316) 783-0261

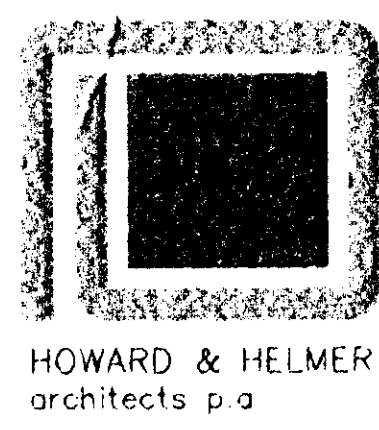
REGISTERED ARCHITECT
 Keith Parker Associates
 1330

STATE OF KANSAS

Keith Parker Associates Inc.

STEWART AND BUILDING 15'
 PHASE ONE
 COMMERCIAL/OFFICE CENTER FOR
COMOTARA
 PROJECT WICHITA, KANSAS

6 JUNE 1974
 C.U.P. PERIODIC
 LANDSCAPE PLAN

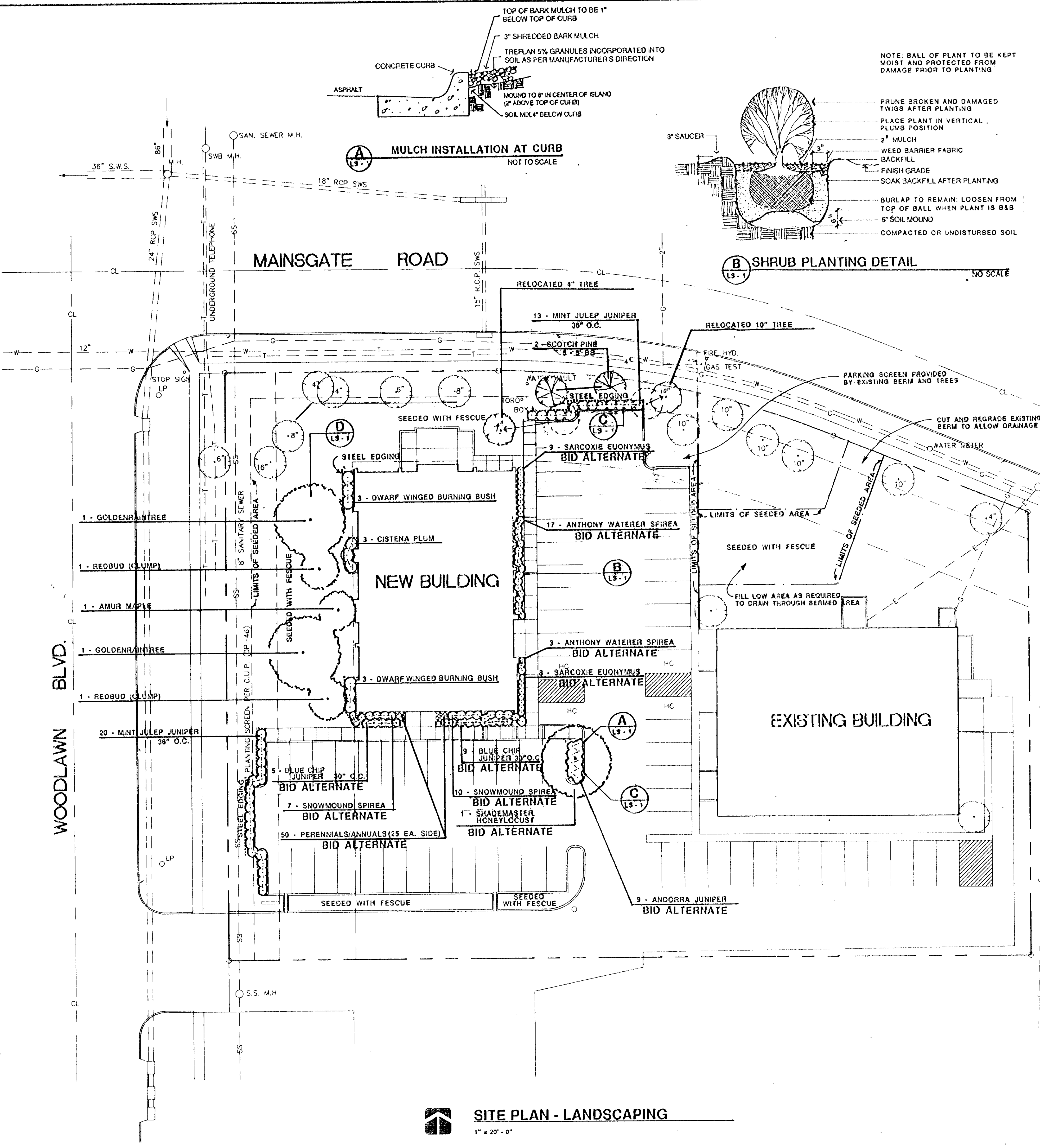


3500 North Rock Road
Building #200 Wichita, KS 67226
(316) 834-1111 fax (316) 834-1018

project no.
92167
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OFFICE BUILDING FOR
DR. REED AND DR. OSIO
LOT 4, COMOTARA VILLAGES
WICHITA, KANSAS

sheet
LS - 1
of



SITE PLAN - LANDSCAPING
1" = 20' - 0"

DP-46 PARCEL 1-B
LANDSCAPE PLAN
APPROVED 5/26/91 BY RU

LANDSCAPE CALCULATIONS:

113.48' x 20' = 2250 SF. STREET YARD REQUIRED
13000± SF. STREET YARD PROVIDED

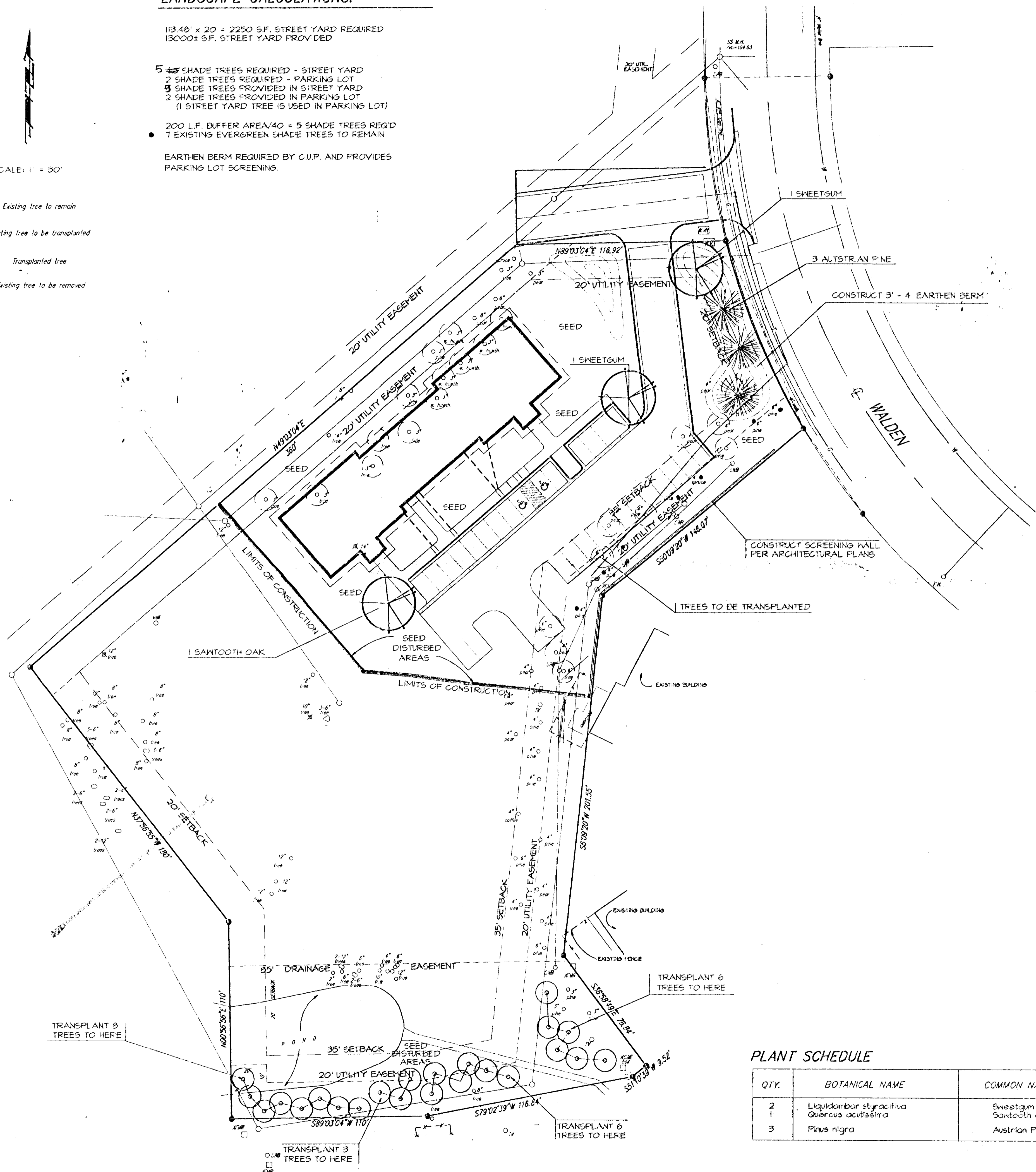
- 5 SHADE TREES REQUIRED - STREET YARD
- 2 SHADE TREES REQUIRED - PARKING LOT
- 5 SHADE TREES PROVIDED IN STREET YARD
- 2 SHADE TREES PROVIDED IN PARKING LOT
- (1 STREET YARD TREE IS USED IN PARKING LOT)

- 200 L.F. BUFFER AREA/40' = 5 SHADE TREES REQ'D
- 7 EXISTING EVERGREEN SHADE TREES TO REMAIN

EARTHEN BERM REQUIRED BY C.U.P. AND PROVIDES PARKING LOT SCREENING.

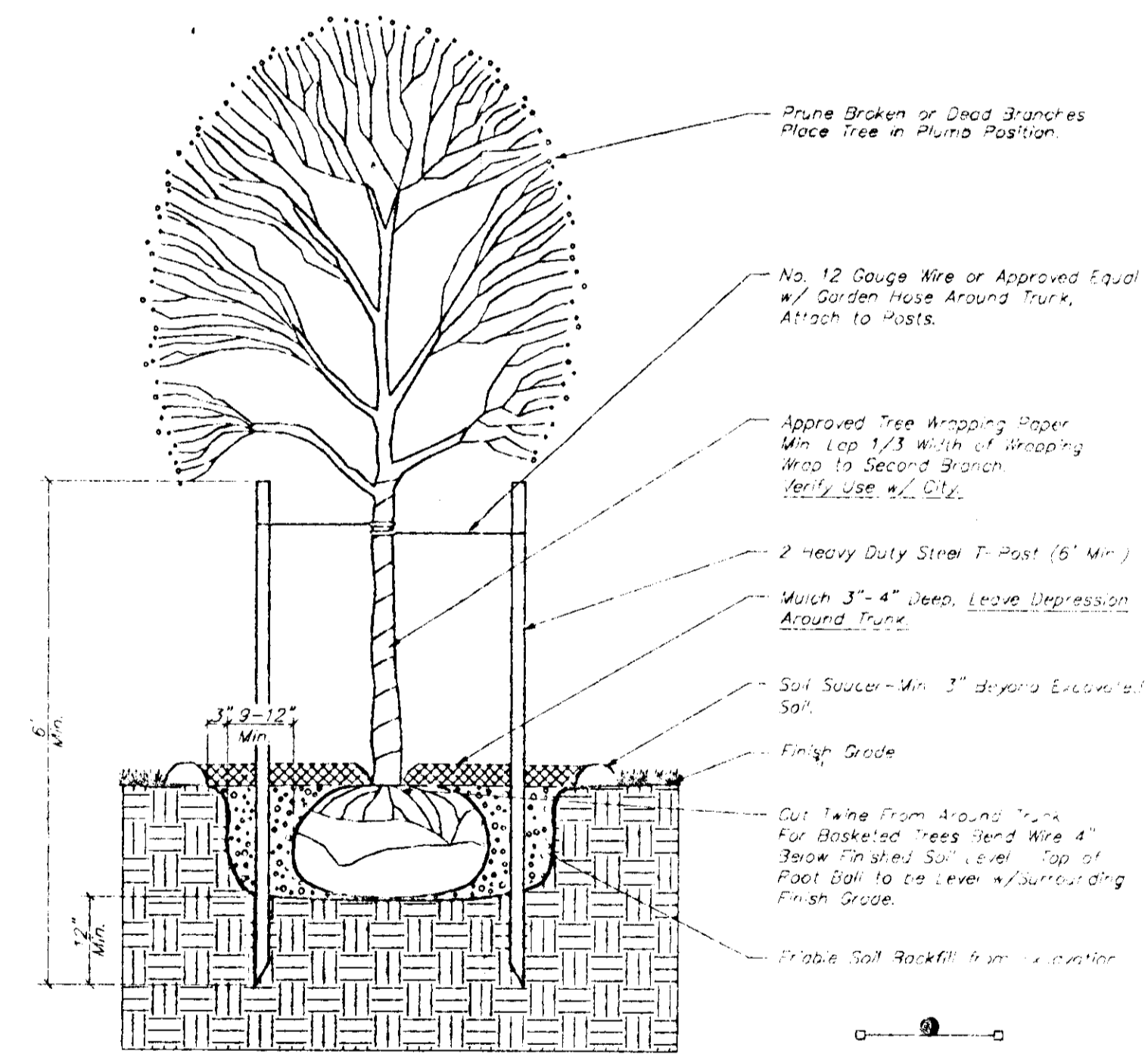
SCALE: 1" = 30'

- Existing tree to remain
- Existing tree to be transplanted
- Transplanted tree
- ✕ Existing tree to be removed



PLANTING NOTES:

1. All landscape work shall be done in accordance with industry standards.
2. All areas called out on the plan as "Seed" shall be seeded and fertilized as follows:
SEED--
Kansas Premium Fescue Blend 6-8#/1000 sq ft.
(equal parts of Olympic II, Bonanza, Apache, and Monarch varieties.)
FERTILIZER--
16-20-8 ratio 4#/1000 sq ft.
3. Trees with broken leaders will not be accepted.
4. Mulch all tree saucer wells with 4" of mulch. Mulch material to be shredded cypress mulch.
5. Berms to be created with on-site soil. The top 8" shall be fertile, friable topsoil. If topsoil is unavailable on-site, topsoil shall be hauled on site. It shall be free of trash or other matter toxic to plant growth.
6. Plant materials to be watered by a quick coupler system. Couplers to be spaced so that 100' hose can reach the farthest plantings.
7. Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
8. Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.



TREE PLANTING & STAKING DETAIL

Deciduous Trees Larger than 2" Cal. No Scale
Evergreen Trees Larger than 8' Height

PLANT SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
2	Liquidambar styraciflua	Sweetgum	2"-2 1/2" Cal.	B 4 B	Single Stem Only
1	Quercus acutissima	Santoath Oak	2"-2 1/2" Cal.	B 4 B	Single Stem Only
3	Pinus nigra	Austrian Pine	6'-6 1/2' Ht.	B 4 B	Single Stem Only

DP-46 PARCEL I-D (NORTH PORTION)
REVISED LANDSCAPE PLAN

APPROVED 6/21/96 BY [Signature]

Supersedes 6/19/95 plan as amended by 6/13/96 memo

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-282-1221 • 315 ELLIS • WICHITA, KANSAS 67211

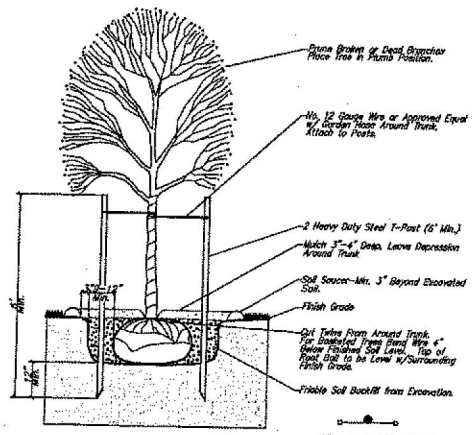
DATE DRAWN
REVISIONS
NEW BLDG. LOCATION 7-16-95
NEW TREE SPECIES 6-21-96 JUL
PRINTS ISSUED
CITY REVIEW 6-2-95
CITY REVIEW NEW BLDG. 6-30-95

JEFFREY BIEL ASSOCIATES
ARCHITECTURE
1300 E. LEWIS WICHITA, KS 67211
316-262-4833 FAX 316-262-4664

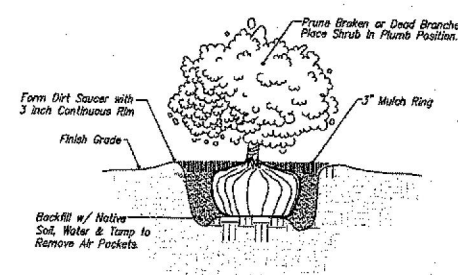
OFFICE BUILDING FOR ALCON INC.
LOT 1 COMOTARA VILLAGE SECOND ADDITION
WICHITA, KANSAS

PROJECT NUMBER 4463
SHEET TITLE LANDSCAPE PLAN
SHEET NUMBER

LS1
MAPD 1 OF 5 SHEETS



1 TREE PLANTING & STAKING DETAIL
 Details: Trees Larger than 2" Cal. - 1/2\"/>



2 SHRUB PLANTING DETAIL
 5 Gallon and Smaller
 No Stake

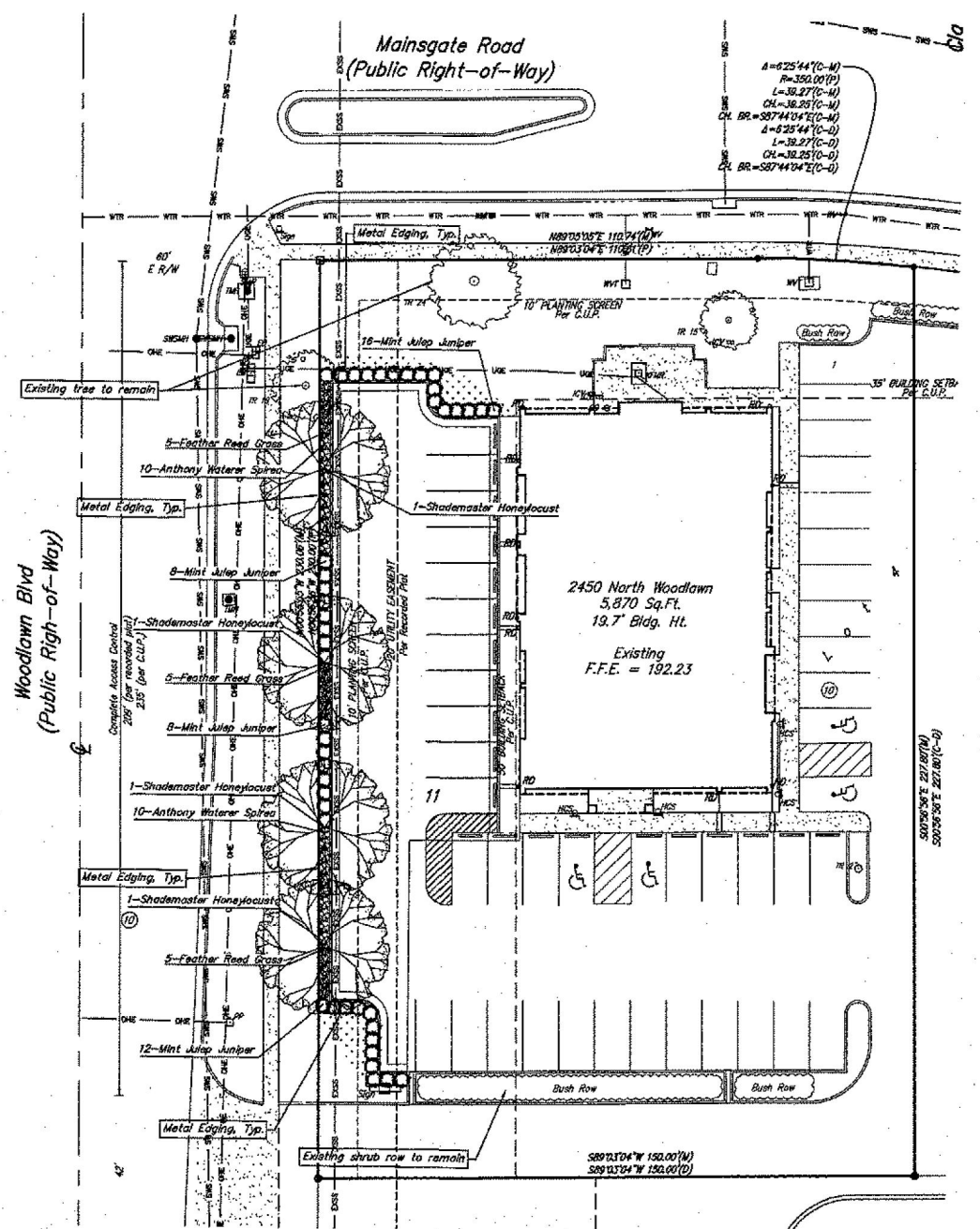
IRRIGATION NOTES

- All irrigation work is to be installed/adjusted in compliance with all local codes and regulations.
- Landscape Contractor shall be responsible for preparing final shop drawings for review and approval. Irrigation Contractor shall design system so turf heads are on separate zones from drip irrigation.
- All turf areas shall be head-to-head coverage with triangle spacing in shrub beds using drip system.
- The Irrigation Contractor SHALL NOT START irrigation construction until final shop drawings are submitted and approved by the Landscape Architect and/or Owner prior to construction. For final approval: Use Rainbird products or approved equal, which will illustrate type of head, head coverage, valve location, piping and accessories, and main line location, included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City Codes.
- Prior to construction, Irrigation Contractor to locate all existing and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- Heads to be adjusted to not spray on walls, walks, streets or drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings.
- Irrigation Contractor shall coordinate with Paving Contractor to locate and install required irrigation lines sleeving prior to any paving if possible. Combine piping when possible to save on sleeving material. Sleeves to be min. 20' below finish grade. Verify final depth w/ Paving Contractor for adequate coverage.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.

LANDSCAPE PLAN

APPROVED 6-3-15 NCS

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	REMARKS
	4	Gleditsia Inocarpifera var. zermis 'Shademaster'	Shademaster Honeylocust	19 & B	3" Cal	Full & Healthy
	15	Calamagrostis x acutiflora 'Yari Foerster'	Feather Reed Grass	3 gal		Full & Healthy
	44	Juniperus chinensis 'Moutep'	Mint Juniper	6 gal		Full & Healthy
	20	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 gal		Full & Healthy
	770 sf	Festuca arundinacea	Kansas Premium Tall Fescue	seed		



SITE LANDSCAPE PLAN
 Scale 1" = 20' 0"

LANDSCAPE CALCULATIONS:

Street Yard Requirement: 230'x8= 1,840 sf
 Street Yard Shown: 3,040 sf
 Shade Trees Required: 1,840/500=3.68= 4 Shade Trees
 Shade Trees Shown: 4 Shade Trees
 Parking Stalls Required: 11/20=.55= 1 Shade Tree
 Parking Stalls Shown: 1 Shade Trees from Streetyard Req.

BENCHMARK

* Chiseled on Top of Curb Approx. 7' west and 20' south of the SW property corner of Lot 4, Comotara Villages Addition, an Addition to Wichita, Sedgewick County, Kansas.
 Elevation=186.82 City Datum

LEGAL DESCRIPTION

The West 150 feet of Lot 4, Comotara Villages Addition, an Addition to Wichita, Sedgewick County, Kansas.

SITE INFORMATION

Total Area: ±34,467 sq. ft. (0.79 acres)
 Disturbed Area: ±7,750 sq. ft. (0.18 acres)
 Impervious Area: ±5,754 sq. ft. (0.13 acres)
 Additional Parking Provided: +9 Spaces

LANDSCAPE NOTES

- All landscape work shall be done in accordance with industry standards.
- All areas called out as seeded shall be seeded and fertilized per City of Wichita specifications.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing off existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Treflan (5X) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be rototilled in to a depth of 10-12".
- Mulch all planting beds with min. 3" of mulch. Mulch all tree saucer wells with min. 3" of mulch. Mulch material to be premium cedar mulch of uniform consistency.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be 10 gauge thickness, commercial grade, or approved equal.
- General Contractor to supply and place at a depth of 4", all topsoil on site.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 687-2470/1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- The Landscape Contractor shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner.
- The Landscape Contractor shall submit bid with unit prices for all plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- Fall planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For grass seeding, fall season shall be September 1 thru mid October. Spring season for seeding shall be from March 15 thru mid May.
- Landscape Contractor shall provide maintenance until final project acceptance including landscape maintenance and watering.

COMOTARA VILLAGES ADDITION
LANDSCAPE PLAN
 SITE IMPROVEMENTS

Baughman
 ENGINEER & SURVEYOR | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER: _____ DESIGN: DML DRAWN: DML
 REVISIONS: _____ APPROVED: DATE: 3/11/15
 SCALE: AS SHOWN SHEET: 3 OF 4

5:\Projects\Comotara Villages\Engineering\CV_BASE.dwg 1301E199





Wichita-Sedgwick County Metropolitan Area Planning Department

March 24, 2017

Caro Properties, LLC
2420 N. Woodlawn, Bldg 300
Wichita, KS 67220

RE: CUP2017-00004 - City Conditional Use request to allow a Personal Improvement Service in GO General Office zoned property in the Comotara Community Unit Plan CUP DP-46; generally located northeast of Woodlawn Boulevard and East 21st Street North (2420 N. Woodlawn)

Dear Applicant:

At its regular meeting on **March 23, 2017**, the Wichita - Sedgwick County Metropolitan Area Planning Commission considered the above captioned request. The action of the MAPC was to **APPROVE** the request.

Property owners opposed to the application may file with the City Clerk a signed, written protest of the MAPC's recommendation. (Unsigned e-mails are not considered to be legal protests.) To be effective, the protest must be filed by 5:00 p.m. on April 6, 2017. In order to be considered a "valid" petition, the signatures must reflect the correct and entire ownership of the property, the property must be at least partially located within 200 feet of the property for which the application was filed, and must be submitted to the City Clerk by **April 6, 2017 at 5:00 p.m.**

If there are not any protests, the MAPC's approval is final. If there are protests, this application will be presented to the Wichita City Council on **Tuesday, May 9, 2017, beginning at 9:00 a.m.** The City Council meeting will be held in the City Council Chambers, First Floor, City Hall, 455 N. Main, Wichita, Kansas.

This is a reminder that the zoning notification signs should now be removed from the property. If you have any questions concerning this application, please contact our office at 268-4421.

Sincerely,

Kathy L. Morgan, Senior Planner
Current Plans Division

Copies to: MABCD
Pete Meitzner, Council Member District II
Laura Rainwater, CSR District II
Eleanor Pauls, 2420 N. Woodlawn, Bldg. 100-H; Wichita, KS 67220



Wichita-Sedgwick County Metropolitan Area Planning Department

January 5, 2015

KOCRE2, LLC
Attn: Dr. Prince T. Chan
2450 North Woodlawn Boulevard
Wichita, Kansas 67220

Baughman Company, PA
Attn: Russ Ewy
315 Ellis
Wichita, KS 67211

RE: City Administrative Adjustment (CUP2014-00043) to adjust the Comotara Phase I Community Unit Plan (CUP) DP-46 to reduce the required 10-foot landscape buffer on Parcel 1-B from 10 feet to three feet on property located at the southeast corner of North Woodlawn Avenue and East Mainsgate Road.

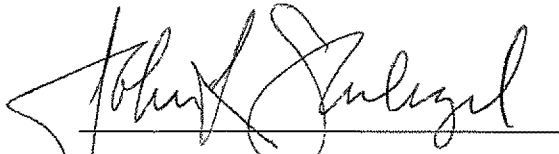
Commercial and Office General Provision 10 of the Comotara Phase I CUP requires a 10-foot wide planting strip at specified locations within the CUP. The western border of Parcel 1-B is one of the locations requiring the 10-foot planting strip. The applicant is requesting an Administrative Adjustment to reduce the required 10-foot planting strip to three feet in order to facilitate the construction of additional parking on the west side of the parcel's existing building.

The proposed adjustment will not adversely impact the safety and convenience of vehicular traffic; it facilitates the construction of additional parking that should enhance traffic circulation. The proposed adjustment will not create an adverse impact on existing surrounding uses since a planting strip is still required. The proposed adjustment is not incompatible with development and landscaping on adjacent sites since there is minimal landscaping on adjacent properties. The proposed adjustment will not be detrimental to the public health, safety or welfare as it facilitates the construction of additional parking while maintaining some level of landscaping.

We have reviewed your request and have approved the requested adjustment as described above subject to the submission of four revised CUP drawings and the submission of a landscape plan for approval to Metropolitan Area Planning Department at the time of application for the proposed parking lot.

All other applicable development standards shall apply unless specifically adjusted or amended.

Except as expressly stated above, this adjustment shall not be deemed to alter any other provisions of the CUP. The zoning notification signs may now be removed from the property.



John L. Schlegel
Director of Planning



Tom J. Stolz
Director of the Metropolitan Area Building and
Construction Department

cc: Lavonta Williams, WCC
J.R. Cox, MABCD