

APPROVED CUP

MAPC 7-10-86

BCC 8-6-86

MAPD COPY 1 OF 2

DP-84, Amend. #1

AMENDED

ROCK ROAD

COMMUNITY UNIT PLAN

DP - 84

GENERAL PROVISIONS

1. THIS DEVELOPMENT CONTAINS 6.2± ACRES.
2. ACCESS - ACCESS TO AND FROM ROCK ROAD SHALL BE AS PROVIDED BY RECORDED PLAT OR PLATS, BUT SHALL NOT EXCEED A TOTAL OF THREE OPENINGS. ACCESS TO AND FROM FUNSTON STREET SHALL BE PERMITTED.
3. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
4. MINIMUM BUILDING SETBACKS ARE AS INDICATED ON THE PLAN. NO SETBACKS ARE REQUIRED BETWEEN ADJOINING PARCELS. HOWEVER IF A SETBACK IS PROVIDED BETWEEN PARCELS, SUCH SETBACK SHALL NOT BE LESS THAN 15 FEET.
5. SCREENING AND LANDSCAPING - A PLANTING STRIP, AS INDICATED ON THE PLAN, EXCEPT FOR POINTS OF INGRESS AND EGRESS, SHALL BE PROVIDED AND MAINTAINED OF TREES AND SHRUBBERY NOT LESS THAN TEN (10) FEET IN WIDTH AND SHALL BE OF SUCH A TYPE, AND MAINTAINED IN SUCH A MANNER, THAT IT MINIMIZES ANY NUISANCE OF THE COMMERCIAL AREA TO THE ADJACENT RESIDENTIAL AREAS. A LANDSCAPE PLAN, PREPARED BY A LANDSCAPE ARCHITECT, FOR THE PLANTING STRIP, INDICATING THE LOCATION, TYPE, AND SPECIFICATIONS OF PLANT MATERIALS, SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT(S).

FAILURE TO PROPERLY MAINTAIN THE TEN (10) FOOT PLANTING STRIP SHALL BE CONSIDERED A VIOLATION OF THE C.U.P. AFTER A JOINT DETERMINATION BY THE DIRECTOR OF PLANNING AND THE SUPERINTENDENT OF CENTRAL INSPECTION THAT THE PLANTINGS ARE NOT PROPERLY MAINTAINED.

A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED FOR THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN PLANTED.

A SOLID OR SEMI-SOLID FENCE OR WALL AT LEAST FIVE (5) FEET, BUT NOT MORE THAN EIGHT (8) FEET HIGH, CONSTRUCTED OF BRICK, STONE, MASONRY, ARCHITECTURAL TILE OR OTHER SIMILAR MATERIAL SHALL BE CONSTRUCTED ALONG THE SOUTH LINE OF PARCELS 1, 2, 3, 4, AND 5 AND SHALL BE REDUCED TO THREE (3) FEET IN HEIGHT FOR THE EAST 35 FEET THEREOF.

6. SIGNS SHALL BE PERMITTED IN ACCORDANCE WITH LIMITATIONS AND REQUIREMENTS OF THE ZONING ORDINANCE. NO BILLBOARDS SHALL BE PERMITTED. NO PORTABLE SIGNS SHALL BE PERMITTED ON PARCELS 3, 4, AND 5.
7. PARKING FOR ALL PARCELS SHALL BE IN ACCORDANCE WITH SECTION 28.04.140 Et. Seq. OF THE CODE OF THE CITY OF WICHITA.
8. PROPOSED USES:
 - PARCELS 1 AND 2: OFFICE, SERVICE ORIENTED AND CONVENIENCE RETAIL AS PERMITTED IN "LC" LIGHT COMMERCIAL, RECREATIONAL ACTIVITIES SUCH AS A BOWLING ALLEY, MINIATURE GOLF OR SKATE BOARD PARK; LAWN AND GARDEN CENTER OR MINE-STORAGE WAREHOUSES.
 - PARCELS 3 AND 4: OFFICE, SERVICE ORIENTED AND CONVENIENCE RETAIL AS PERMITTED IN "LC" LIGHT COMMERCIAL, INCLUDING TAV-ERNS AND PRIVATE CLUBS, (subject to applicable lic-ensing regulations) AND RESTAURANTS.
 - PARCEL 5: OFFICE SERVICE ORIENTED AND CONVENIENCE RETAIL AS PERMITTED IN "LC" LIGHT COMMERCIAL INCLUDING RESTAURANTS
9. PARCELS MAY BE DEVELOPED IN COMBINATIONS OR SEPARATELY, BUT IN ANY EVENT, THE TOTAL MAXIMUM BUILDING COVERAGE FOR ALL PARCELS SHALL NOT EXCEED 122,177± SQUARE FEET.
10. "A FIRE LANE, HARD SURFACED AND TWENTY FOUR (24) FEET MINIMUM IN WIDTH SHALL BE PROVIDED AROUND ALL MAIN STRUCTURES. SAID FIRE LANE SHALL BE CONSTRUCTED WITH A MINIMUM 3½ INCH ASPHALT BASE WITH 1½ INCH ASPHALT SURFACE. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANE, ALTHOUGH IT MAY BE USED FOR PASSENGER LOADING AND UN-LOADING.

PRIOR TO FINAL APPROVAL OF THE PARKING PLAN, THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE, SHALL APPROVE THE PLAN AS TO THE LOCATION AND DESIGN OF THE FIRE LANE(S)."

PARCEL DESCRIPTIONS

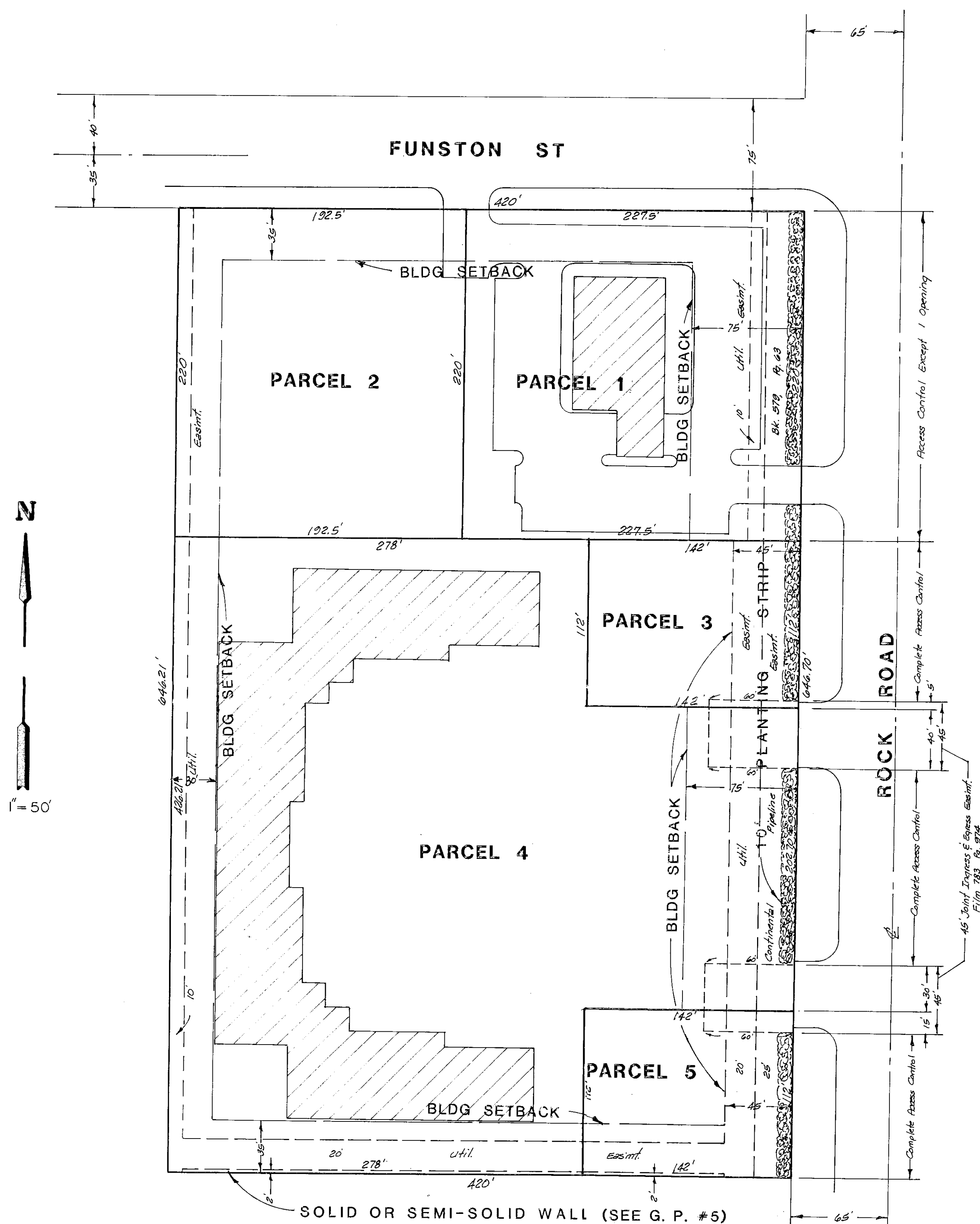
PARCEL - 1
GROSS AREA - 1.1± Acres
NET AREA - 1± Acres or 50,049± Sq. Ft.
MAXIMUM BUILDING COVERAGE = 30% or 15,015± Sq. Ft.
FLOOR AREA RATIO - 45%
MAXIMUM GROSS FLOOR AREA - 22,522± Sq. Ft.
MAXIMUM BUILDING HEIGHT - 35 Ft.

PARCEL - 2
GROSS AREA - 1± Acre
NET AREA - 1± Acre or 42,349± Sq. Ft.
MAXIMUM BUILDING COVERAGE = 30% or 12,705± Sq. Ft.
FLOOR AREA RATIO - 45%
MAXIMUM GROSS FLOOR AREA - 19,057± Sq. Ft.
MAXIMUM BUILDING HEIGHT - 35 Ft.

PARCEL - 3
GROSS AREA - 0.4± Acre
NET AREA - 0.4± Acre or 15,904± Sq. Ft.
MAXIMUM BUILDING COVERAGE = 30% or 4,771± Sq. Ft.
FLOOR AREA RATIO - 45%
MAXIMUM GROSS FLOOR AREA - 7,157± Sq. Ft.
MAXIMUM BUILDING HEIGHT - 35 Ft.

PARCEL - 4
GROSS AREA - 3.4± Acres
NET AREA - 3.4± Acres or 147,299± Sq. Ft.
MAXIMUM BUILDING COVERAGE = 30% or 44,190± Sq. Ft.
FLOOR AREA RATIO - 45%
MAXIMUM GROSS FLOOR AREA - 66,285± Sq. Ft.
MAXIMUM BUILDING HEIGHT - 35 Ft.

PARCEL - 5
GROSS AREA - 0.4± Acres
NET AREA - 0.4± Acres or 15,904± Sq. Ft.
MAXIMUM BUILDING COVERAGE = 30% or 4,771± Sq. Ft.
FLOOR AREA RATIO - 45%
MAXIMUM GROSS FLOOR AREA - 7,157± Sq. Ft.
MAXIMUM BUILDING HEIGHT - 35 Ft.



APPROVED LANDSCAPE PLAN
FOR THE NORTH PORTION OF
PARCEL 1, DP-84

Sodded AREA

Marshall's Seedless Ash - $1\frac{3}{4}$ " - 2" dia.

SWEET GUM

seeded area

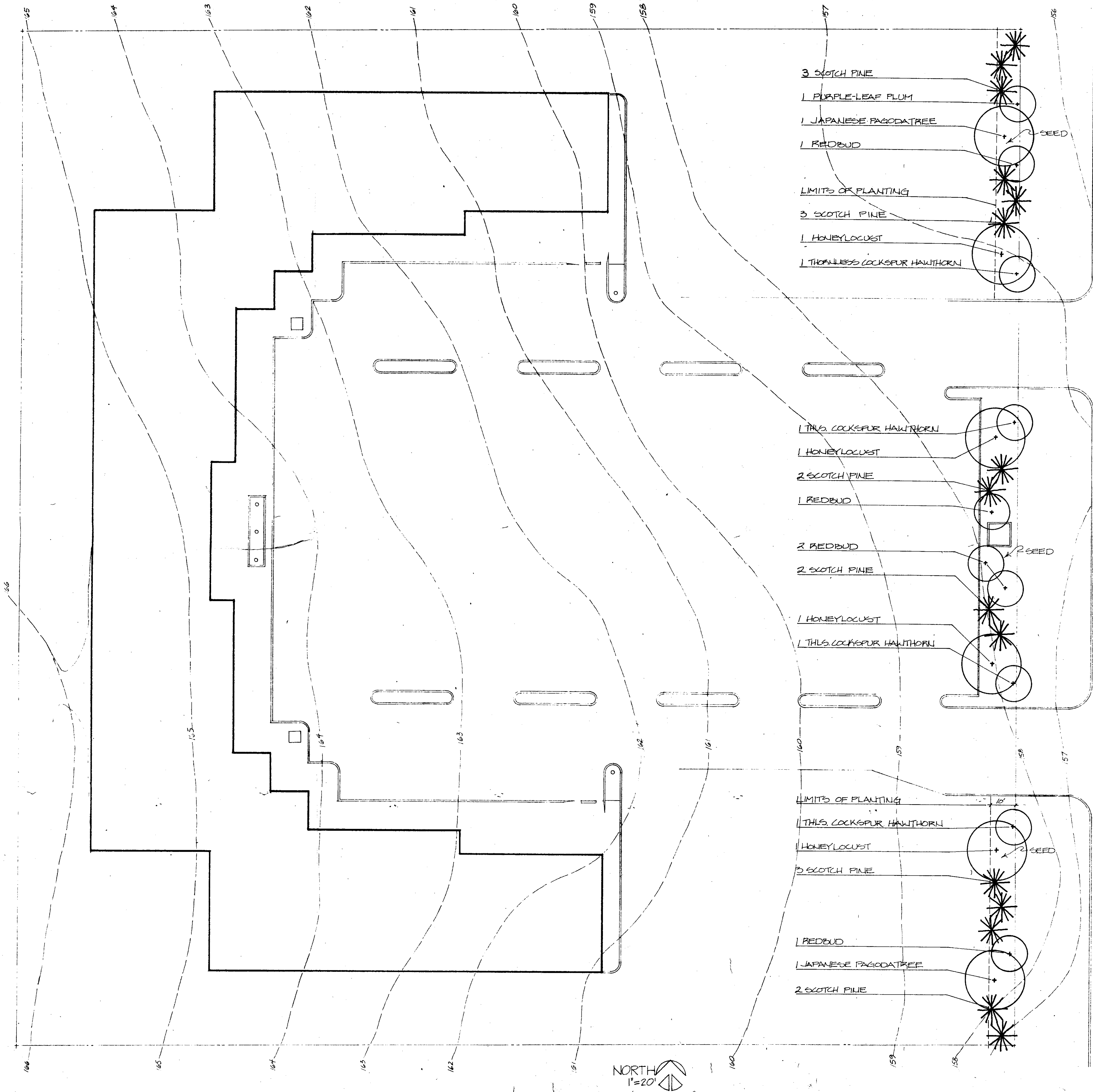
NOTES

- ① MAIN TAP AND SERVICE LINE TO METER SETTING BY WATER DEPT.
- ② TWO, 1" METERING SETTINGS. (1) DOMESTIC, (1) LAWN SPRINKLER. METER SETTINGS FURNISHED & INSTALLED BY WATER DEPT. PLUMBING CONTRACTOR SHALL REIMBURSE WATER DEPT FOR TAPPING FEES.
- ③ SERVICE LINE FROM METER SETTING TO BUILDING BY PLUMBING CONTRACTOR.
- ⑦ WATT 700 SERIES 1" DOUBLE CHECK VALVE IN PIT CONSTRUCTION SHALL BE OF 4" CONCREE WALLS WITH OPEN BOTTOM. INSIDE DIM. OF PROVIDE PIT COVER OF 2'x12" PINE PAINTED TO MATCH VALVE BOX COVERS. INSTALL FLUSH SEAT.

PARTIAL PLAN 
LAWN SPRINKLING SYSTEM

WICHITA EAST B.C.O.
FARMER'S INSURANCE GROUP
COOPER-CARLSON-DUY-RITCHIE INC
3-18-82

DP-84



Plant List

Qty.	Botanical Name	Common Name	Size	Cond.	Remarks
15	Pinus sylvestris	SCOTCH PINE	16'-8"	B&B	
2	Gopiora japonica	JAPANESE PAGODATREE	2'-2 1/2"	B&B	SING. TRUNK
1	Gleditsia triacanthos	HONEYLOCUST	2'-2 1/2"	B&B	
5	Cercis canadensis	REDBUD	16'-2"	B&B	SING. TRUNK
1	Crataegus crusgalli (WERM.)	COCKSPUR HAWTHORN	16'-2"	B&B	
1	Prunus cerasiifera (NANPOT)	PURPLE LEAF PLUM	16'-2"	B&B	

1365 60 FT.

REBEL RESCUE

Notes-

- TREES WITH BROKEN LEADERS WILL NOT BE ACCEPTED.
- TREE PRUNE ALL PRUNED BRANCH WOUNDS OVER 3/4" DIAMETER.
- PLANT BALLS TO BE KEPT MOIST, PROTECTED PRIOR TO PLANTING.
- MULCH ALL TREE SAUCERS WITH 4" SHREDDED BARK MULCH.
- ALL TREES ARE TO BE STAKED AND WRAPPED PER METHOD AND APPROVAL OF LANDSCAPE ARCHITECT.
- STAKING AND WRAPPING TO REMAIN A MINIMUM OF ONE YEAR.
- QUANTITIES SHOWN ARE TO BE VERIFIED BY THE CONTRACTOR.

LANDSCAPE & IRRIGATION PLANS

DP-84

PARCELS 3, 2 & south portion of 1

APPROVED 2-26-86

Planting Plan

by Site Planning Associates
520 S. Holland Suite 410
Wichita, KS 67209

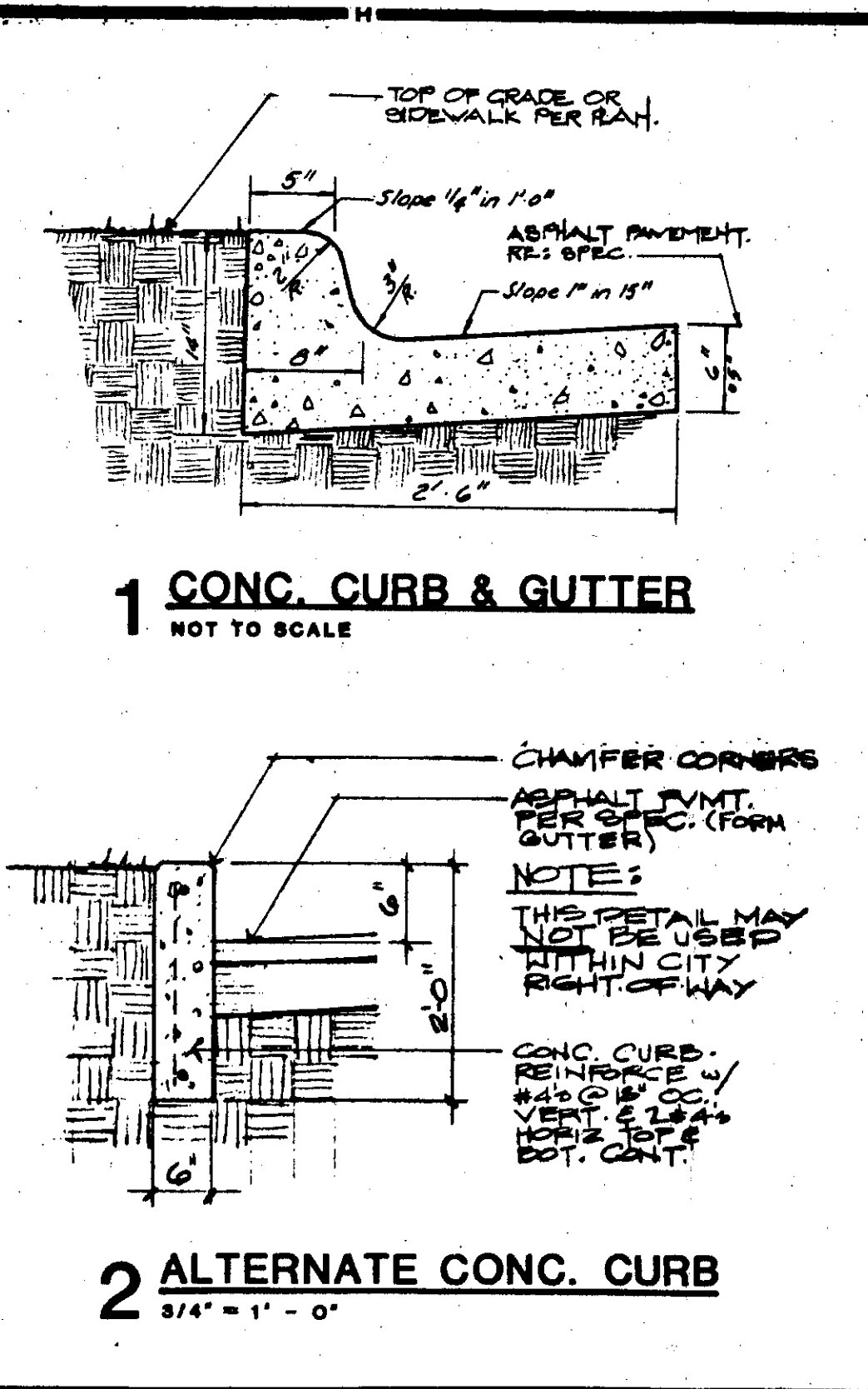
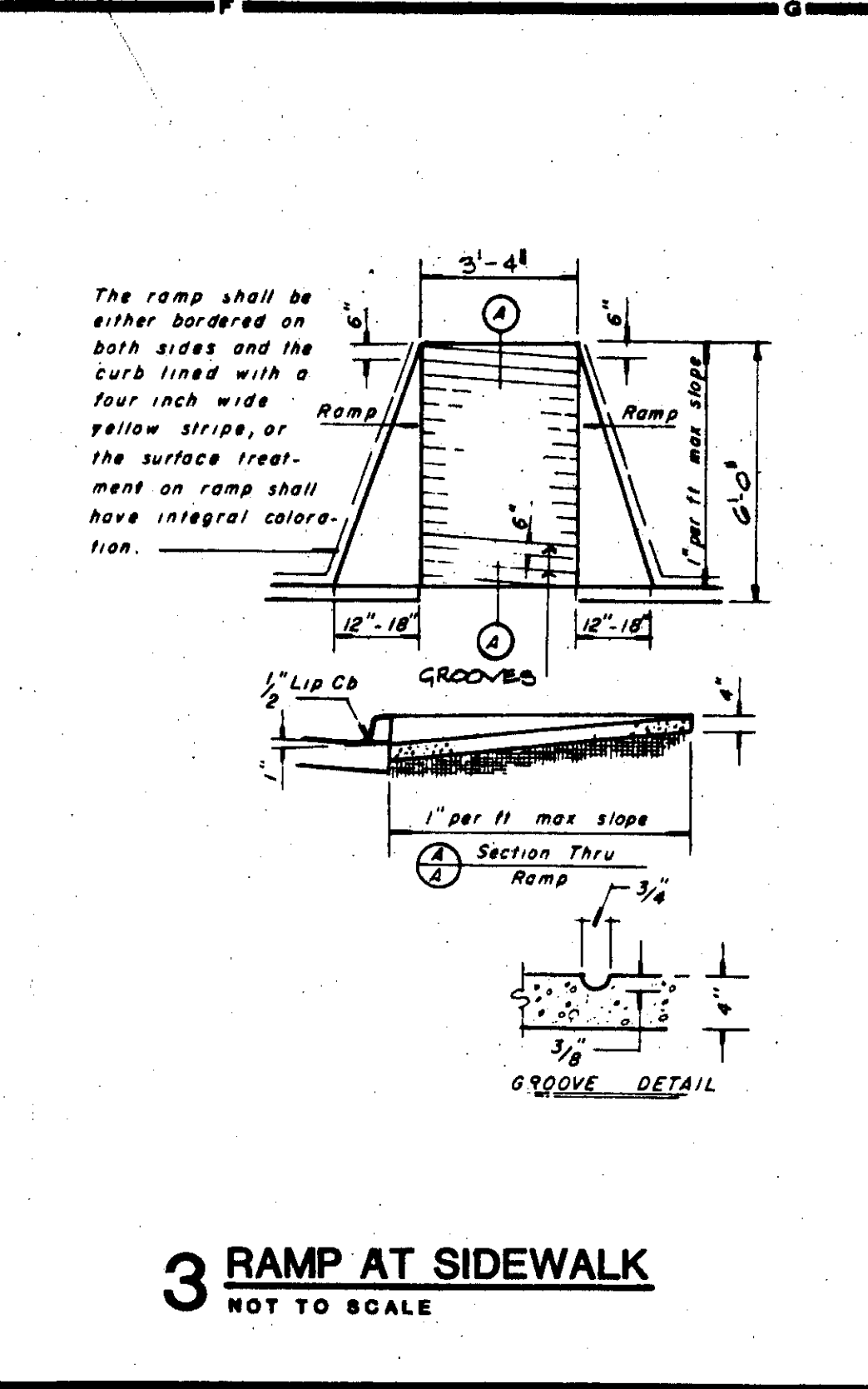
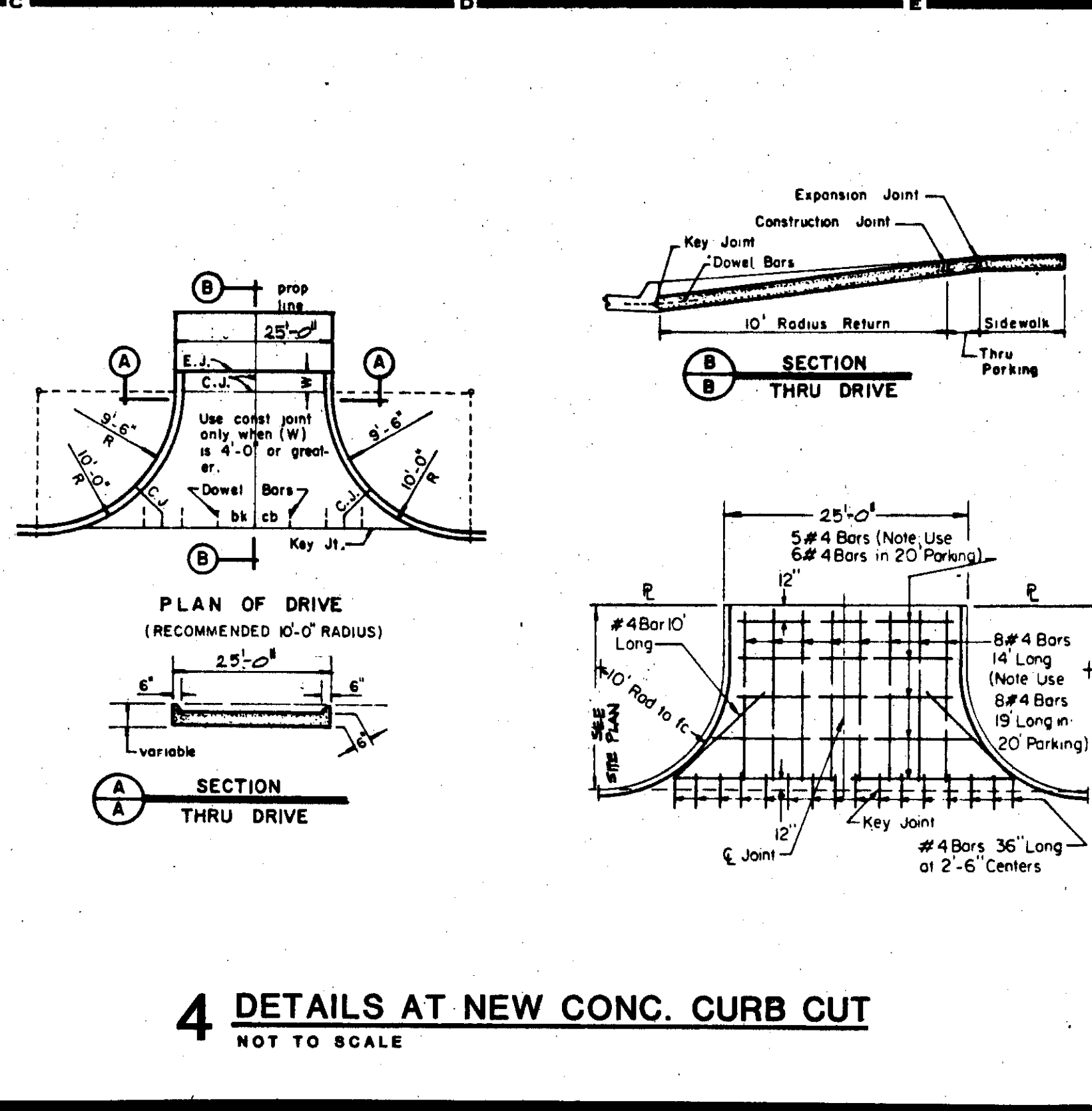
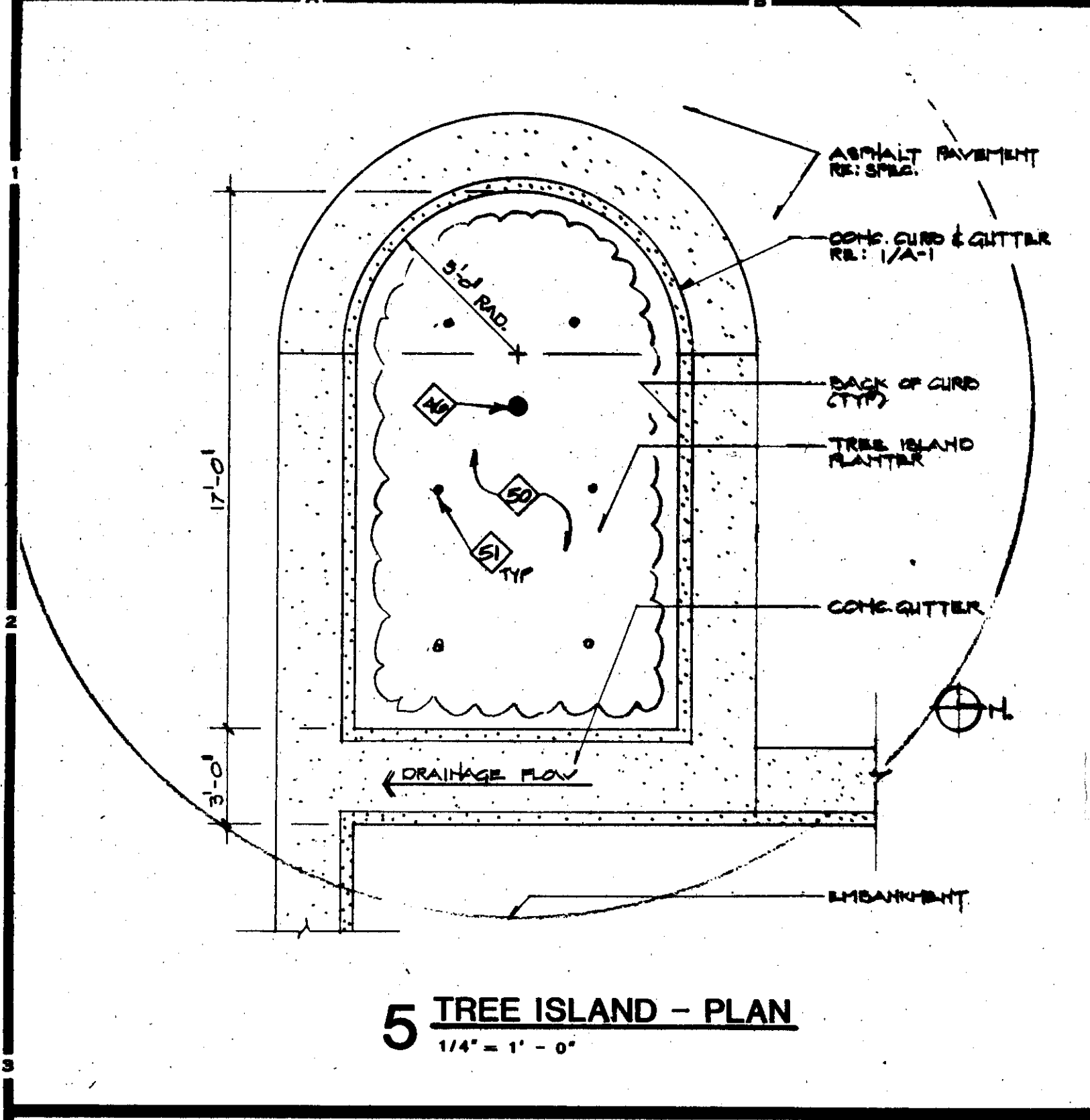
BREWER
ARCHITECT

A & J DEVELOPMENT
ROCKFORD SQUARE SHOPPING CENTER
1800 BLOCK SO. ROCK ROAD
WICHITA, KANSAS

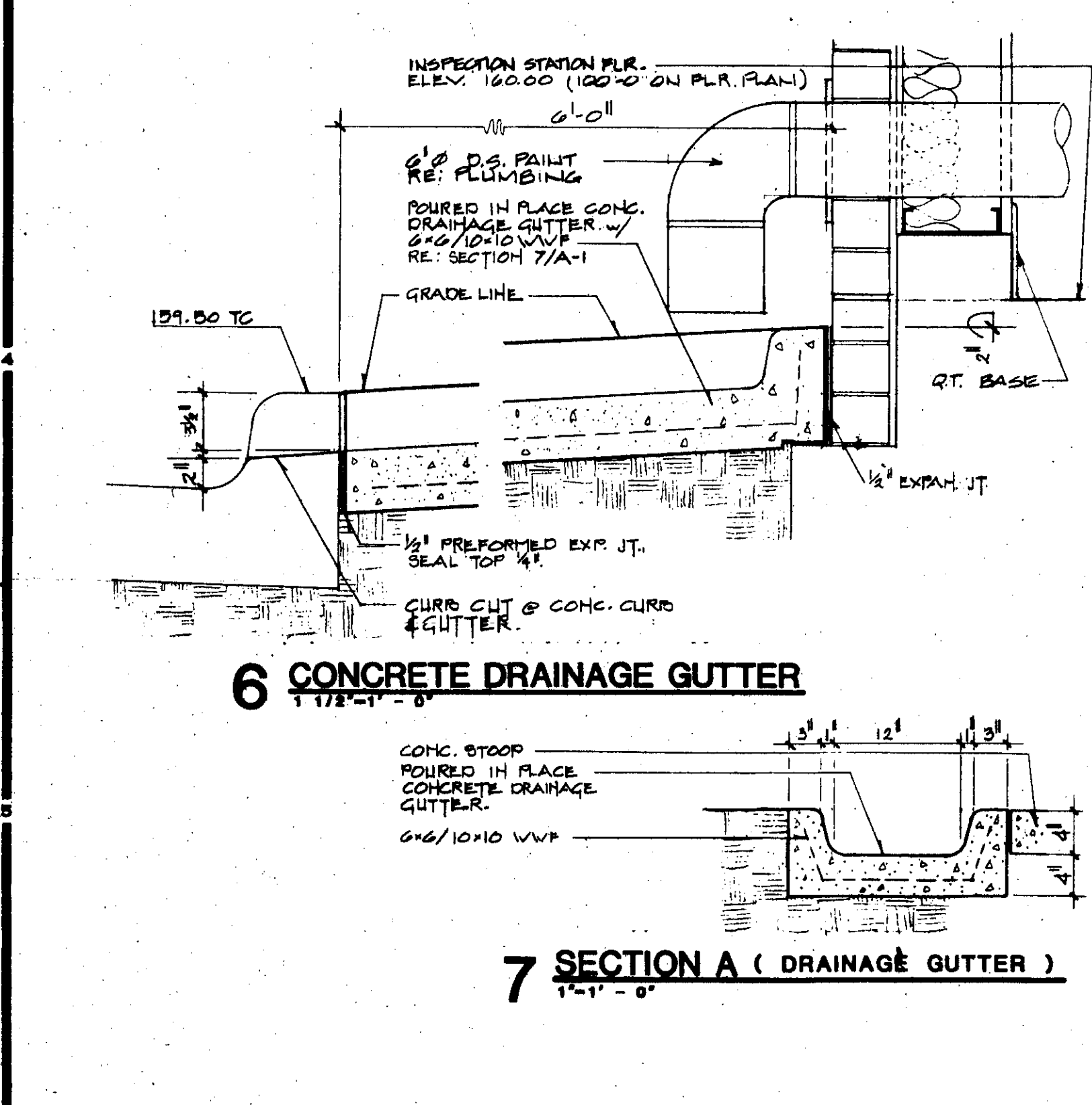
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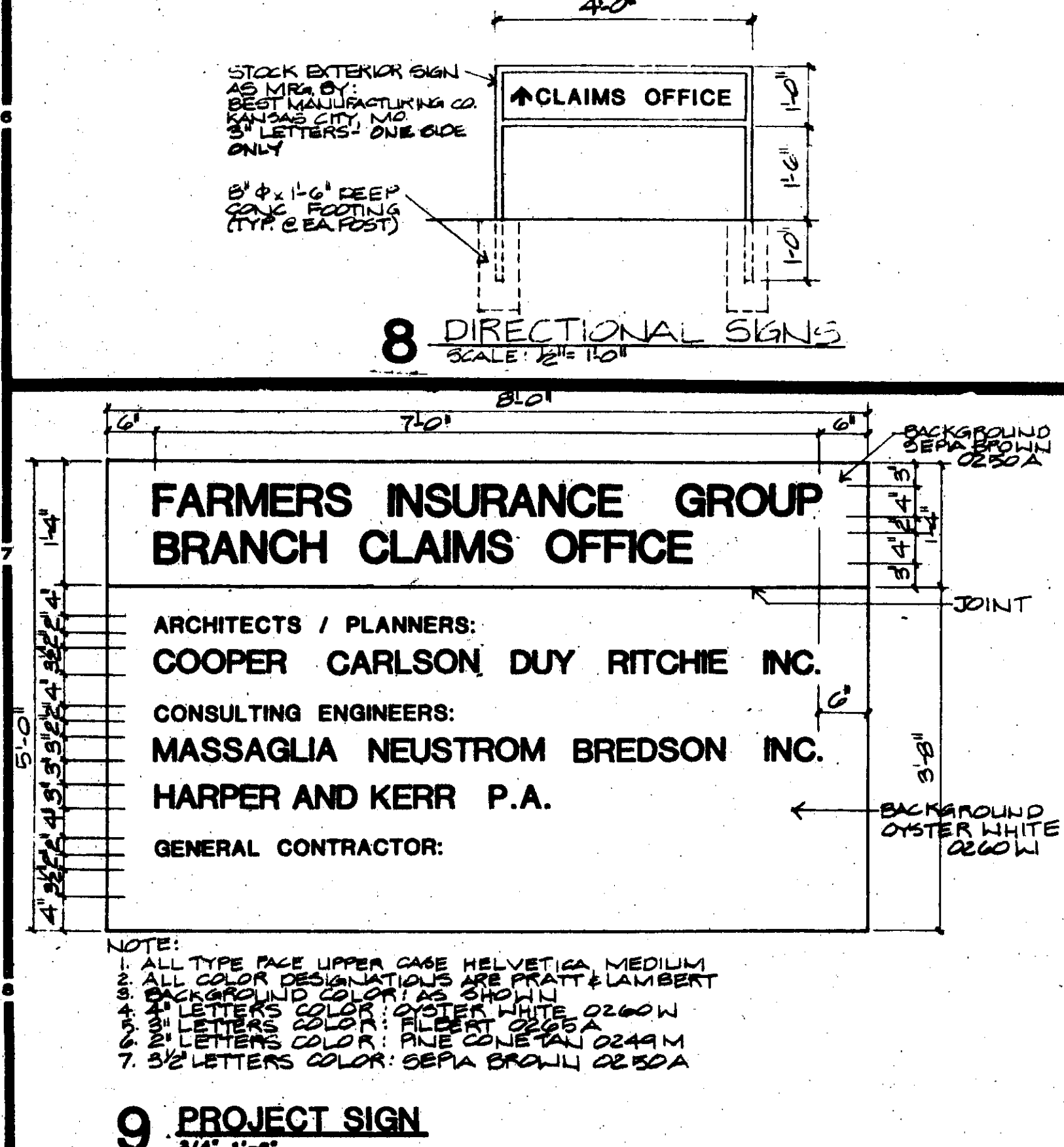
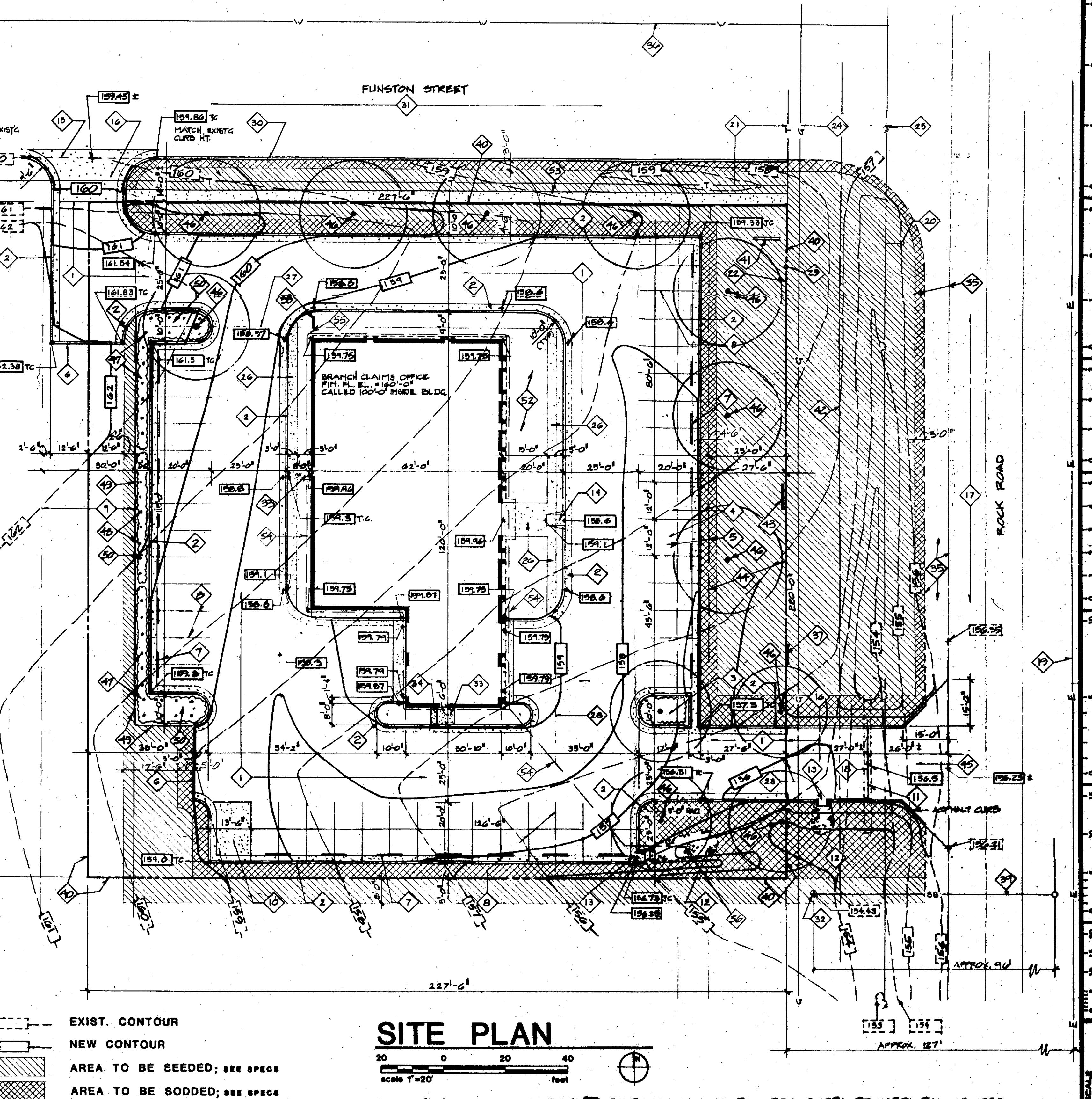
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DRAWING INDEX	
NO.	DESCRIPTION
A-1	SITE PLAN & DETAILS
A-2	FLOOR PLAN
A-3	ELEVATIONS/ ROOF & CLG. PLANS
A-4	WALL SECTIONS & DETAILS
A-5	DETAILS
S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
S-3	DETAILS
PE-1	SITE UTILITIES PLAN
P-1	PLUMBING PLAN
M-1	MECHANICAL PLAN
E-1	ELECTRICAL PLAN
LS-1	LANDSCAPE PLAN



- SITE PLAN NOTES:**
- Asphalt pavement - Re: Spec.
 - 6" high concrete curb & gutter - Re: 1/A1
 - Tree Island with 6" concrete curb & gutter at perimeter. Re: 5/A1
 - Handicapped parking stall - provide identification as required by City
 - 10' sewer easement
 - Temp. 6" asphalt curb
 - Precast concrete wheel bumpers - typical
 - Striped parking lot as shown - typical 4" wide
 - Future drive 30' easement
 - 6" thick concrete pavement
 - Ridge line for concrete pavement at center line of culvert.
 - Rip rap at drainage area
 - 2'-0" Drainage cut at curb with concrete pad and curb return as shown.
 - Handicapped ramp - Meet all City requirements. Re: 3/A1
 - Remove existing concrete curbs
 - New concrete curb-cut with new concrete curbs and concrete pavement. Meet all City requirements. Re: 4/A1
 - Concrete roadway existing.
 - Center line of metal culvert - size, and inlet & outlet elevations per City O&M Dept.
 - Existing overhead power line.
 - Existing fire hydrant
 - Existing SWB Telephone Line underground
 - Existing SWB Telephone Line overhead
 - Existing Telephone pole to be relocated. Re: Sheet PE1
 - Existing 4" Gas Service
 - Existing 12" water line
 - 4" Concrete sidewalk
 - 40' building set back line
 - 75' building set back line
 - Existing telephone pole.
 - Existing concrete curb
 - Existing asphalt roadway
 - Existing manhole
 - 4" Concrete walk
 - Concrete gutter. Re: Detail 6/A1
 - Existing gravel shoulder
 - Existing 8" A.C. water line
 - Remove existing sign as directed by Architect.
 - Directional sign. Re: 8/A1



GENERAL NOTES:

- Concrete Curbs and gutters must be provided within City right-of-way.
- Concrete curbs and gutters within property lines only may, at contractors option, be replaced with concrete curb and asphalt gutter. Re: 2/A1

LEGAL DESCRIPTION:
THE NORTH 220 FEET OF THE EAST 227.5 FEET OF LOT 8, ROCK ROAD ADDITION, WICHITA, KANSAS.

LEGEND:

[Solid Box]	NEW SPOT ELEVATION	[Dashed Box]	EXIST. CONTOUR
[Dashed Box]	EXISTING SPOT ELEVATION	[Hatched Box]	NEW CONTOUR
[Diamond]	NOTE NUMBER	[Cross-hatched Box]	AREA TO BE SEEDDED; SEE SPEC
		[Stippled Box]	AREA TO BE SODDED; SEE SPEC

DATA:

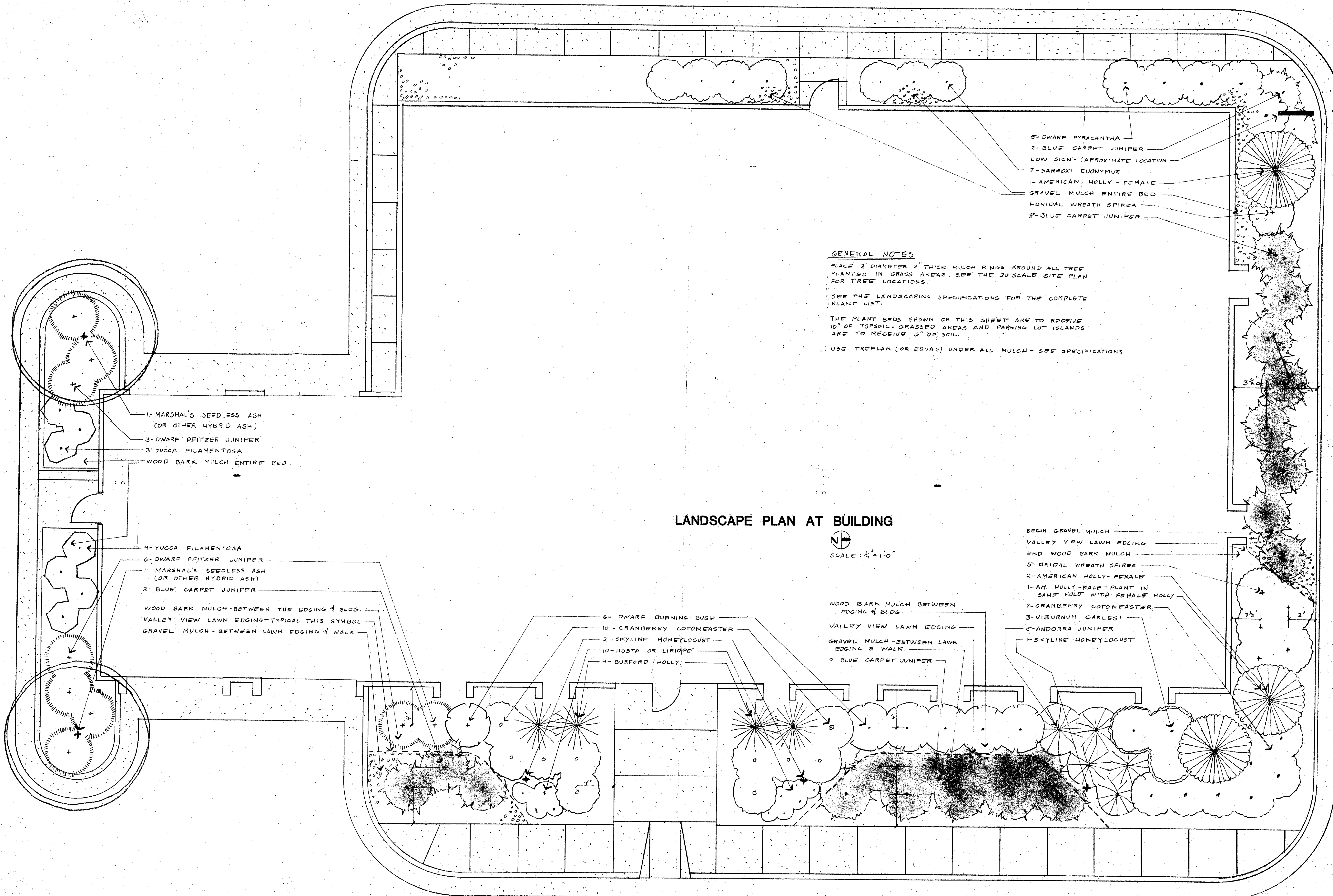
OFFICE AREA	5477 S.F.
INSPECTION STATION	976 S.F.
TOTAL AREA	6453 S.F.
PARKING SPACES	41
HANDICAPPED	2
TOTAL PARKING SPACES	43

FARMERS INSURANCE GROUP
BRANCH CLAIMS OFFICE for
FARMERS INSURANCE GROUP
WICHITA EAST OFFICE WICHITA, KANSAS

COOPER CARLSON DUY RITCHIE INC.
ARCHITECTS
ENGINEERS

PROJECT NO. 8176
SHEET A1

DATE 12-19-82



- 5- DWARF PYRACANTHA
- 2- BLUE CARPET JUNIPER
- LOW SIGN - (APPROXIMATE LOCATION)
- 7- SARCOX EUDONYMUS
- 1- AMERICAN HOLLY - FEMALE
- GRAVEL MULCH ENTIRE BED
- BRIDAL WREATH SPIREA
- 8- BLUE CARPET JUNIPER

GENERAL NOTES

PLACE 3" DIAMETER 3" THICK MULCH RINGS AROUND ALL TREE PLANTED IN GRASS AREAS. SEE THE 20 SCALE SITE PLAN FOR TREE LOCATIONS.

SEE THE LANDSCAPING SPECIFICATIONS FOR THE COMPLETE PLANT LIST.

THE PLANT BEDS SHOWN ON THIS SHEET ARE TO RECEIVE 10" OF TOPSOIL. GRASSED AREAS AND PARKING LOT ISLANDS ARE TO RECEIVE 6" OF SOIL.

USE TREPLAN (OR EQUAL) UNDER ALL MULCH - SEE SPECIFICATIONS

LANDSCAPE PLAN AT BUILDING

SCALE: 1/4" = 1'-0"

- 1- MARSHAL'S SEEDLESS ASH (OR OTHER HYBRID ASH)
- 3- DWARF PRITZER JUNIPER
- 3- YUCCA FILAMENTOSA
- WOOD BARK MULCH ENTIRE BED

- 4- YUCCA FILAMENTOSA
- 6- DWARF PRITZER JUNIPER
- 1- MARSHAL'S SEEDLESS ASH (OR OTHER HYBRID ASH)
- 3- BLUE CARPET JUNIPER

WOOD BARK MULCH - BETWEEN THE EDGING & BLDG.

VALLEY VIEW LAWN EDGING - TYPICAL THIS SYMBOL

GRAVEL MULCH - BETWEEN LAWN EDGING & WALK

- 6- DWARF BURNING BUSH
- 10- CRANBERRY COTONEASTER
- 2- SKYLINE HONEYLOCUST
- 10- HOSTA OR LIRIOPE
- 4- BURFORD HOLLY

WOOD BARK MULCH - BETWEEN EDGING & BLDG.

VALLEY VIEW LAWN EDGING

GRAVEL MULCH - BETWEEN LAWN EDGING & WALK

9- BLUE CARPET JUNIPER

- BEGIN GRAVEL MULCH
- VALLEY VIEW LAWN EDGING
- END WOOD BARK MULCH
- 5- BRIDAL WREATH SPIREA
- 2- AMERICAN HOLLY - FEMALE
- 1- AM. HOLLY - MALE - PLANT IN SAME HOLE WITH FEMALE HOLLY
- 7- CRANBERRY COTONEASTER
- 3- VIBURNUM CARLESII
- 5- ANDORRA JUNIPER
- 1- SKYLINE HONEYLOCUST

418 COMMERCE BANK BLDG. KANSAS CITY, MISSOURI 64108

DR

C/C

COOPER-CARLSON-DUY-RITCHIE, INC. ARCHITECTS

BRANCH CHAIRS OFFICE FOR FARMERS INSURANCE GROUP

MISSOURI STATE OFFICE, KANSAS CITY

F/I

FRANK WARDMAN & ASSOCIATES

PROJECT NO. 101

SHEET 101

DATE FEB 1982