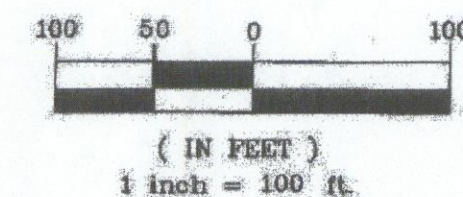


APPROVED CUF

Dated December 10, 2025
APPROVED CUP
 Per Admin Adjustment
 [Signature]
 cups 40 1 of 4

[illegible]

A.A. Dated 8-25-99
The construction of the wall may be temporarily deferred until that time when residential development occurs on the property adjacent to Parcels 1 and 5. At the time that any residential development occurs adjacent to Parcels 1 and 5, the screening wall shall be constructed in conformance with General Provision 7.

ADJUSTED 12-10-25 PER CUP2025-00040





**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

December 10, 2025

Greensboro ANUSA, LLC
f/k/a Wichita ANUSA, LLC
200 SW 1st Ave., 14th Floor
Fort Lauderdale, FL 33301

Verdad Real Estate
Attn: Moises Castro
351 E. Hudgins St.
Grapevine, TX 76051

RE: CUP2025-00040 – Administrative Adjustment in the City to the Wiedemann Business Park Community Unit Plan CUP DP-88, to permit Warehouse, Self-Service Storage on Parcel 5, on property zoned GC General Commercial District; generally located on the south side of East Kellogg Drive and one-quarter mile west of South Greenwich Road (10727 E. Kellogg Dr.).

Legal Description: Lots 1, 2, and 3, Block A, Davis-Moore 14th Addition, Wichita, Sedgwick County, Kansas.

Dear Applicants,

We received and reviewed your request for an Administrative Adjustment to CUP DP-88 to permit Warehouse, Self-Service Storage as a permitted use on Parcel 5. The subject site is zoned GC General Commercial District for which Warehouse, Self-Service Storage would typically be a use permitted by-right. The CUP does not specifically prohibit the proposed use. Furthermore, the proposed use is not deemed to be more intensive than existing, permitted uses within the CUP. The proposed uses for Parcel 5 include the following: Automotive, truck, recreational vehicle, mobile home, and marine sales and services; Indoor amusement enterprises; Offices; Restaurants; Warehousing; Wholesale; Distributors; Professional and Personal Services; Lumber Yards; and Sales of Retail merchandise.

General Provision 3 requires parking ratio to adhere to the Unified Zoning Code. The parking requirement for Warehouse, Self-Service Storage is 1 parking stall per employee plus 1 parking stall per 8,000 square feet of floor area but in no case shall there be less than 5 spaces. The proposed site plan identifies that the total storage area would be up to 105,000 square feet. Therefore, the total parking requirement is 13 spaces. The site plan illustrates 14 parking spaces.

The following reflects staff's approved text modifications identified in red letters.

GENERAL PROVISIONS

Parcel No. 5

Permitted Uses: Same as Parcel 1 **and Warehouse, Self-Service Storage.**

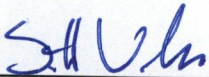
Floor Area Ratio: 45% or 99, 558 sq. ft., 50% or 110,620 sq. ft. for warehousing (**including Warehouse, Self-Service Storage**) or wholesale distributors.

Maximum building height: 35 feet

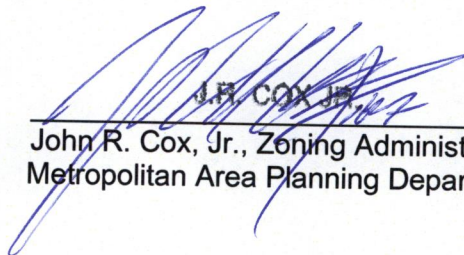
On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan. Section V-E.14.c. of the Unified Zoning Code permits adjusting a CUP to permit uses that are not more intensive than the other uses approved as part of the CUP. Uses within the CUP are deemed to be compatible with the requested use of Warehouse, Self-Service Storage, and the proposed use is not considered more intensive than those already permitted. Permitting the use on Parcel 5 does not violate Section V-E.14.c. of the Unified Zoning Code.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit one (1) electronic copy and four (4) full-sized paper copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



Scott Wadle, Director
Metropolitan Area Planning Department



John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

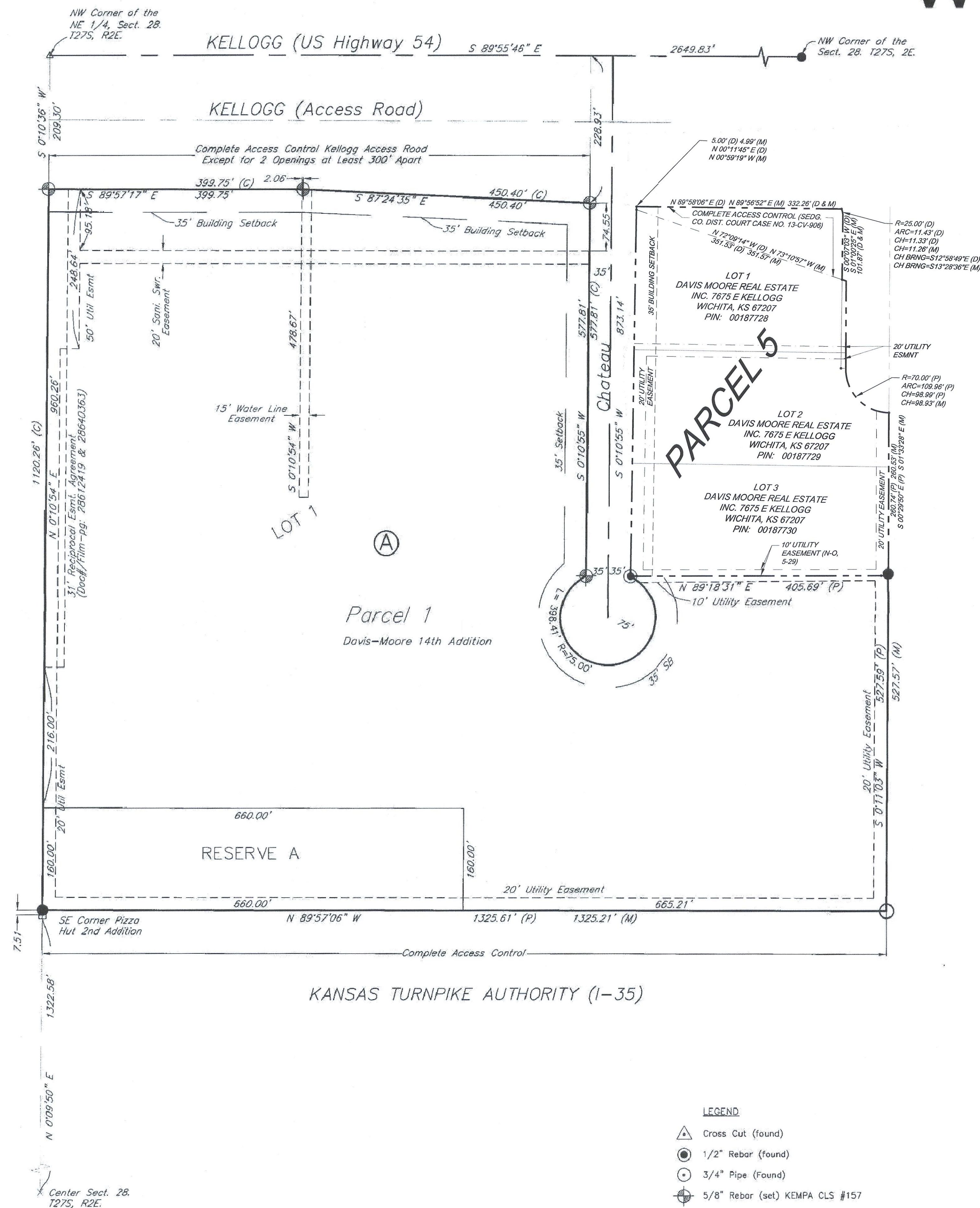
cc: MABCD
Becky Tuttle, CM District II
Teresa Veazey, CSR District II

WIEDEMANN BUSINESS PARK

COMMUNITY UNIT PLAN DP-88

APPROVED CUP

APC: *Adm. Adjustment 6/10/2022*
2 of 4 *8/8/2022* *CUP 22-29*



GENERAL PROVISIONS:

- All utilities shall be installed underground.
- Minimum Building Setbacks shall be as indicated on the Plat.
- Parking ratio shall be in accordance with the Unified Zoning Code of the City of Wichita.
- A Drainage Plan will be submitted to City Engineering for approval at the time of platting. If required, guarantees for drainage shall be provided at the time of platting improvements.
- Signage shall be in accordance with the Sign Code of the City of Wichita. No Billboard or portable off-site signs, as defined by the sign code, shall be permitted.
- A fire lane, hard surfaced and twenty-four (24) feet minimum in width, shall be provided around all main structures to be constructed within Parcels 1 and 5. Said fire lane shall be a 3-1/2 inch asphalt base with 1-1/2 inch asphalt surface or the equivalent thereof. No parking shall be allowed in said fire lane, although it may be used for passenger loading and unloading. Prior to final approval of the parking plan, the Fire Chief, or his designated representative, shall approve the plan as to location of the fire lane.
- Screening and Landscaping: A landscaped street yard adjacent to the Kansas Turnpike, shall be provided with trees, grass and shrubbery not less than ten (10) feet in width, and otherwise in compliance with the landscape ordinance. Failure to properly maintain the landscape street yard shall be considered a violation of the C.U.P. after a joint determination by the Director of Planning and the Zoning Administration.

In addition to the above, development on those lots adjacent to the Kansas Turnpike or Reserve Area, storage areas, and rear of the buildings that face directly into the residential district south of the turnpike shall be architecturally screened and/or facade to be compatible with the fronts of the building.

A solid, or semisolid, wall at least six (6) feet, but no more than eight (8) feet high, constructed of brick, stone, masonry, architectural tile or other similar material, shall be constructed where Parcels 1 and 5 abut the unplatted residential tract adjacent to the east.

A performance bond shall be posted with the Zoning Administration, Guaranteeing the present cost of wall construction adjusted for inflation over a ten (10) year period. Said bond shall be released should the property to the east be approved for a nonresidential zoning classification and shall be executed whenever the property to the east develops residentially, or at the end of the ten year period should the property remain undeveloped and zoned residentially.

- A landscape plan prepared by Registered Landscape Architect in the state of Kansas in compliance with the Landscape Ordinance indicating the type, location, and specification of plant material, shall be submitted to the Planning Department for their review and approval prior to its insurance of building permit(s).

PARCEL DESCRIPTION:

Parcel 1:

Permitted Uses: Automotive, truck, recreational vehicle, mobile home, and marine sales and services, indoor amusement enterprises, offices, restaurants, warehousing, wholesale, distributors, professional, personal services, lumber yards, and sales of retail merchandise.
 Floor area ratio: 45% or 483,306 sq. ft., 50% or 537,007 sq. ft. for warehousing or wholesale distributors. Maximum building height: 35 feet.
 Area=24.66 Acres.

Parcel 5:

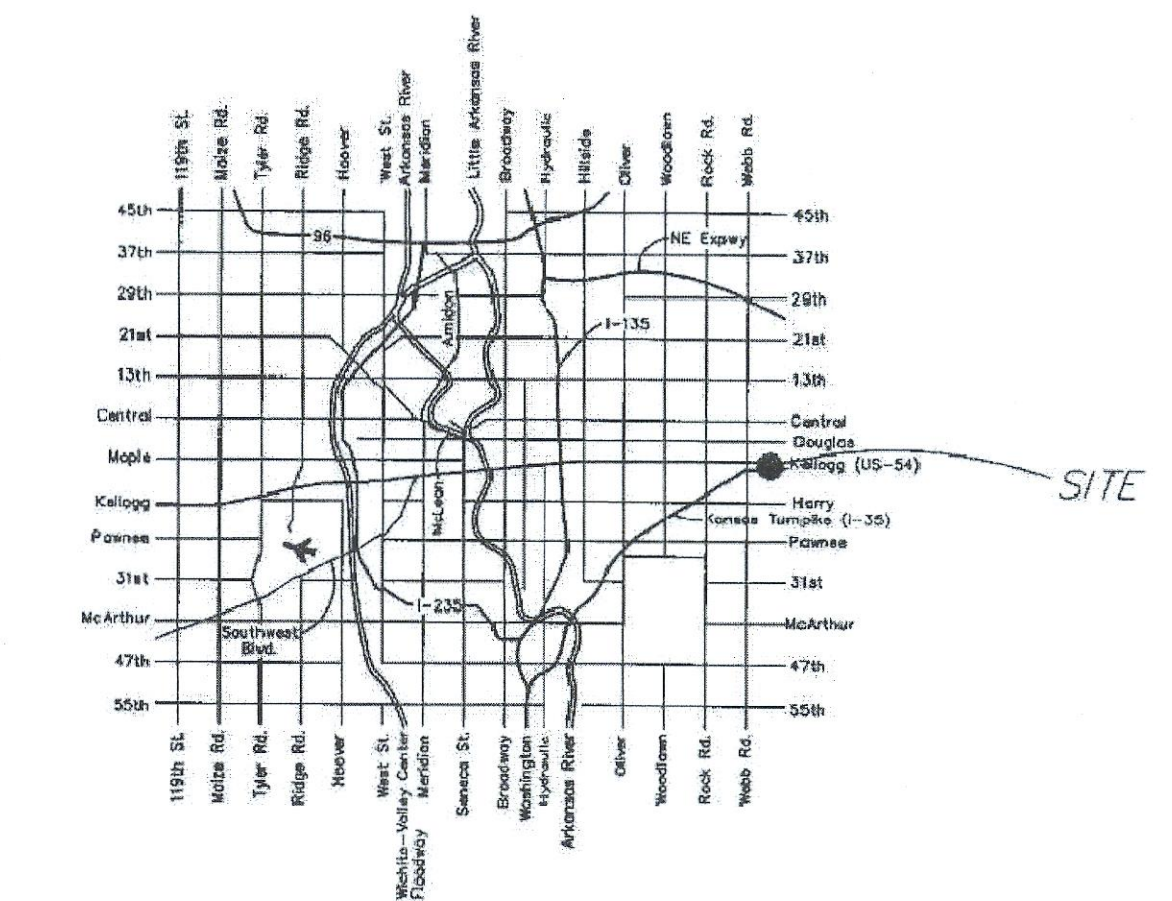
Permitted Uses: Same as Parcel 1
 Floor area ratio: 45% or 99,558 sq. ft., 50% or 110,620 sq. ft., for warehousing or wholesale distributors. Maximum building height: 35 feet
 Area= 5.08 Acres

Reserve A:

Permitted Uses: Detention Ponds and Landscaping
 Area= 105,600 +/- sf or 2.42 +/- Acres

GENERAL:

Total Land Area: 1,585,216.85± sq.ft.
 or 34.4± acres





Wichita-Sedgwick County Metropolitan Area Planning Department

June 10, 2022

Wichita ANUSA, LLC
200 SW 1st Ave, Floor 14
Fort Lauderdale, FL 33301

Foresite Group, LLC
1999 Bryan Street, Ste. 890
Dallas, TX 75214

RE: CUP2022-00029 – City CUP Adjustment to Wiedemann Business Park Community Unit Plan CUP DP-88 to adjust parcel sizes on property zoned GC General Commercial, located on the south side of East Kellogg Drive, within one-quarter mile west of South Greenwich Road.

LEGAL DESCRIPTION: Lots 1, 2 and 3, Block 3, K.T. Wiedemann Business Park Addition, Wichita, Sedgwick County, Kansas.

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-88 to alter the parcel boundary and area calculations of Parcel 5. Upon review of the Community Plan General Provision, staff found additional adjustments to outdated terminology that needs to be included in this adjustment. The following reflects the proposed modifications identified in red letters:

Parcel 5:

Permitted Uses: Same as Parcel 1

Floor Area Ratio: 45% or **99,558 sq. ft.**; 50% or **110,620 sq. ft** for warehousing or wholesale distribution.

Maximum Building Height: 35 Feet

Area = **5.08 Acres**

General Provisions:

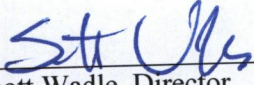
#7: Screening and Landscaping: A landscaped street yard adjacent to the Kansas Turnpike shall be provided with trees, grass and shrubbery not less than ten (10) feet in width, and otherwise in compliance with the landscape ordinance. Failure to maintain the landscape street yard shall be considered a violation of the C.U.P. after a joint determination by the Director of Planning and **the Zoning Administrator.**
~~Superintendent of Central Inspection.~~

A performance bond shall be posted with the **Zoning Administrator** ~~Superintendent of Central Inspection~~ guaranteeing the present cost of wall construction adjusted for inflation over a ten (10) year period...

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

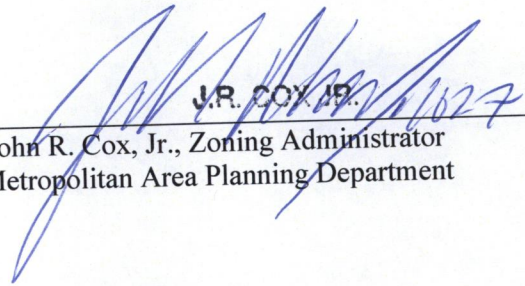
Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit one (1) electronic copy and four (4) full-sized paper copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



Scott Wadle, Director
Metropolitan Area Planning Department

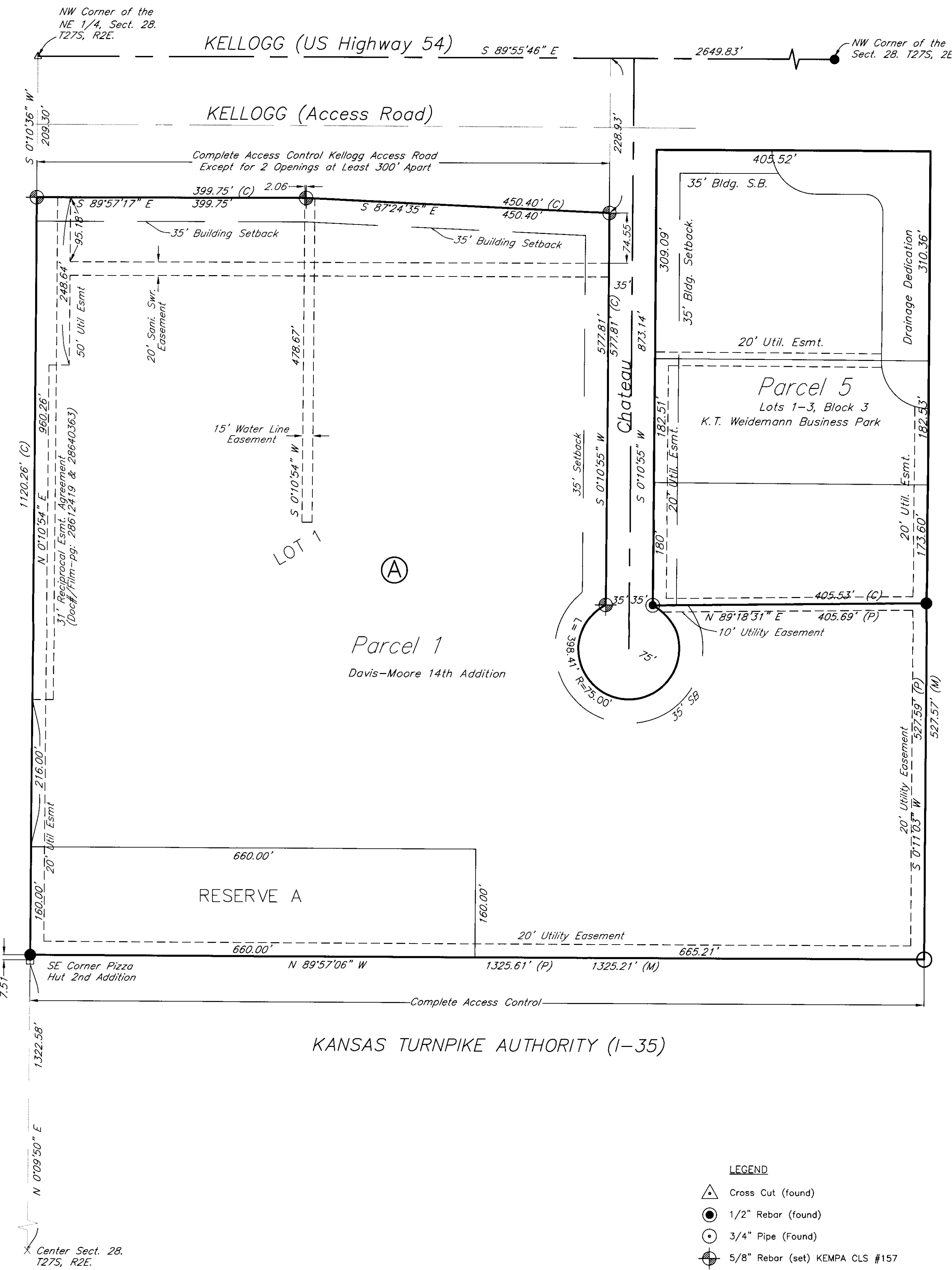
cc: MABCD
Becky Tuttle, CM District II
Cory Buchta, CSR District II



J.R. COX JR.
John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

WIEDEMANN BUSINESS PARK

COMMUNITY UNIT PLAN DP-88



GENERAL PROVISIONS:

1. All utilities shall be installed underground.
2. Minimum Building Setbacks shall be as indicated on the Plat.
3. Parking ratio shall be in accordance with the Unified Zoning Code of the City of Wichita.
4. A Drainage Plan will be submitted to City Engineering for approval at the time of platting. If required, guarantees for drainage shall be provided at the time of platting improvements.
5. Signage shall be in accordance with the Sign Code of the City of Wichita. No Billboard or portable off-site signs, as defined by the sign code, shall be permitted.
6. A fire lane, hard surfaced and twenty-four (24) feet minimum in width, shall be provided around all main structures to be constructed within Parcels 1 and 5. Said fire lane shall be a 3-1/2 inch asphalt base with 1-1/2 inch asphalt surface or the equivalent thereof. No parking shall be allowed in said fire lane, although it may be used for passenger loading and unloading. Prior to final approval of the parking plan, the Fire Chief, or his designated representative, shall approve the plan as to location of the fire lane.
7. Screening and Landscaping: A landscaped street yard adjacent to the Kansas Turnpike, shall be provided with trees, grass and shrubbery not less than ten (10) feet in width, and otherwise in compliance with the landscape ordinance. Failure to properly maintain the landscape street yard shall be considered a violation of the C.U.P. after a joint determination by the Director of Planning and Superintendent of Central Inspection.

In addition to the above, development on those lots adjacent to the Kansas Turnpike or Reserve Area, storage areas, and rear of the buildings that face directly into the residential district south of the Turnpike shall be architecturally screened and/or facade to be compatible with the fronts of the building.

A solid, or semisolid, wall at least six (6) feet, but no more than eight (8) feet high, constructed of brick, stone, masonry, architectural tile or other similar material, shall be constructed where Parcels 1 and 5 abut the unplatted residential tract adjacent to the east.

A performance bond shall be posted with the Superintendent of Central Inspection guaranteeing the present cost of wall construction adjusted for inflation over a ten (10) year period. Said bond shall be released should the property to the east be approved for a nonresidential zoning classification and shall be executed whenever the property to the east develops residentially, or at the end of the ten year period should the property remain undeveloped and zoned residentially.

8. A landscape plan prepared by Registered Landscape Architect in the state of Kansas in compliance with the Landscape Ordinance indicating the type, location, and specification of plant material, shall be submitted to the Planning Department for their review and approval prior to its insurance of building permit(s).

PARCEL DESCRIPTION:

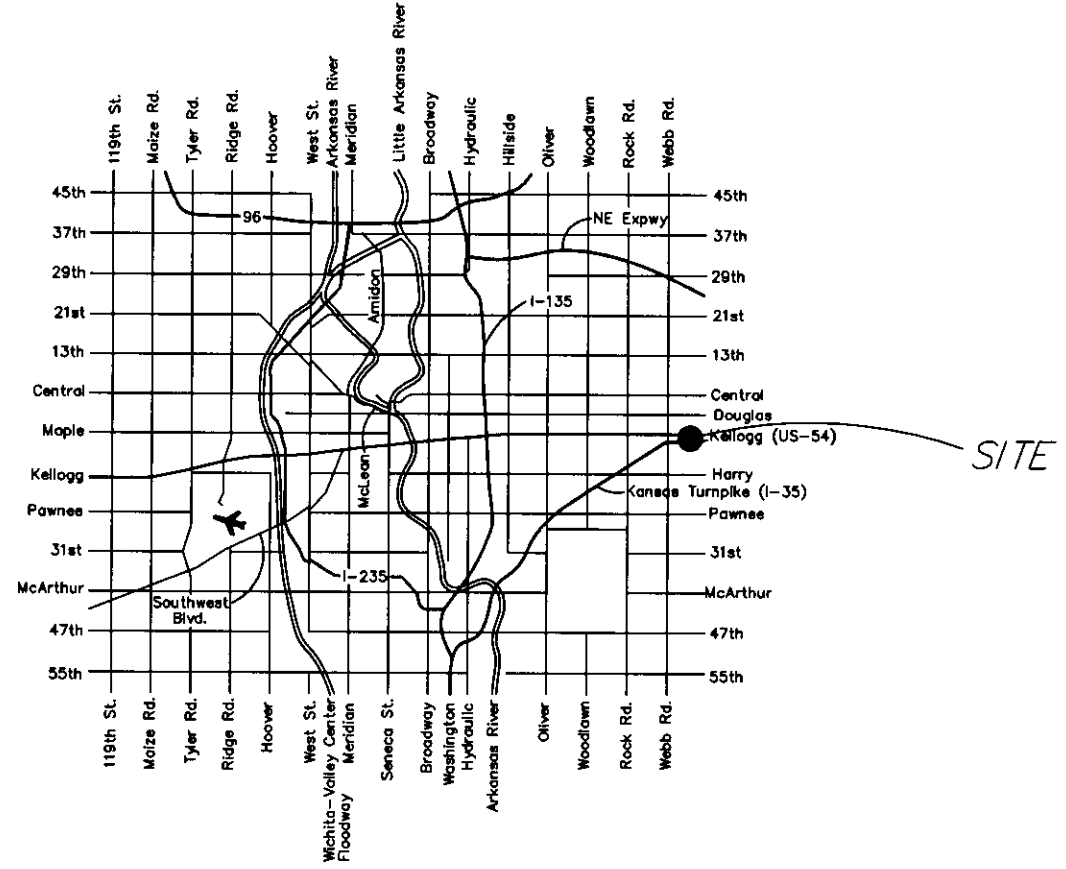
Parcel 1:
Permitted Uses: Automotive, truck, recreational vehicle, mobile home, and marine sales and services, indoor amusement enterprises, offices, restaurants, warehousing, wholesale, distributors, professional, personal services, lumber yards, and sales of retail merchandise.
Floor area ratio; 45% or 483,306 sq. ft., 50% or 537,007 sq. ft. for warehousing or wholesale distributors. Maximum building height: 35 feet. Area=24.66 Acres.

Parcel 5:
Permitted Uses: Same as Parcel 1
Floor area ratio: 45% or 123,101 sq. ft., 50% or 136,125 sq. ft., for warehousing or wholesale distributors. Maximum building height: 35 feet. Area=6.23 Acres

Reserve A:
Permitted Uses: Detention Ponds and Landscaping
Area= 105,600 +/- sf or 2.42 +/- Acres

GENERAL:

Total Land Area: 1,585,216.85± sq. ft. or 34.4± acres



LOCATION MAP

A.A. Dated 8-25-99
The construction of the wall may be temporarily deferred until that time when residential development occurs on the property adjacent to Parcels 1 and 5. At the time that any residential development occurs adjacent to Parcels 1 and 5, the screening wall shall be constructed in conformance with General Provision 7.

DP-88
By Admin. Adjust 08-25-99, 04-18-01, 05-10-07
APPROVED CUP
MAPC 10-26-78 DM
WCC 11-21-78 DM
MAPD Copy 1 of 2

GENERAL LANDSCAPE NOTES:

1. WARRANTY: ALL PLANTS SHALL BE WARRANTED TO REMAIN ALIVE, HEALTHY, AND IN THRIVING CONDITION FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.
2. PLANTS SHALL MEET DOT SPECIFICATIONS AND AMERICAN STANDARD FOR NURSERY STOCK STANDARDS.
3. PLANTS SHALL BE SPECIMEN QUALITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.
4. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
5. SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED.
6. PLANTS SHALL BE SUBJECT TO REVIEW BY OWNER'S REPRESENTATIVE. OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
7. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO OWNER REPRESENTATIVE'S APPROVAL, SHALL BE DONE WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN OWNER REPRESENTATIVE'S APPROVAL PRIOR TO PLANT INSTALLATION.
8. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
9. BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UTILITY LINES.
10. PROVIDE SHOVEL-CUT TRENCH AT SHRUB BEDS IN LAWN AREAS UNLESS OTHERWISE NOTED.
11. PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH MUST BE 3" THICK AT TIME OF FINAL WALK-THROUGH. MULCH IN SHRUB AND TREE PLANTING BEDS SHALL BE FINE STRAW UNLESS OTHERWISE NOTED. MULCH IN GROUNDCOVER BEDS TO BE SHREDDED HARDWOOD UNLESS OTHERWISE NOTED.
12. MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE.
13. CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, I.E. MULCH, PLANTING, SOIL, MIX, WOOD AND WIRE STAKING MATERIAL, ETC.
14. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWING SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE OWNER'S REPRESENTATIVE ASSUMES NO LIABILITY FOR OMISSION OR ERRORS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
15. WHERE LANDSCAPING AREAS ADJOIN GRASSED RIGHTS-OF-WAY, SUCH AREAS SHALL BE CONSIDERED PART OF THE LANDSCAPED AREA FOR PURPOSES OF MAINTENANCE. AS OF COMPLETION OF SITE IMPROVEMENTS, THE PROPERTY OWNER SHALL HAVE AN IMPLIED EASEMENT OF THE RIGHT-OF-WAY EXTENDING FROM THE SITE TO THE ROAD PAVEMENT IN ORDER TO COMPLETE THE REQUIRED MAINTENANCE.
16. A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
17. CONTRACTOR TO DESIGN-BUILD IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF NEW PLANT MATERIAL. IRRIGATION HEADS TO BE INSTALLED FLUSH WITH GRADE.

LANDSCAPE REQUIREMENTS:

PARKING LOT LANDSCAPE: 1 SHADE TREE OR 2 ORNAMENTAL TREES PER 20 SPACES

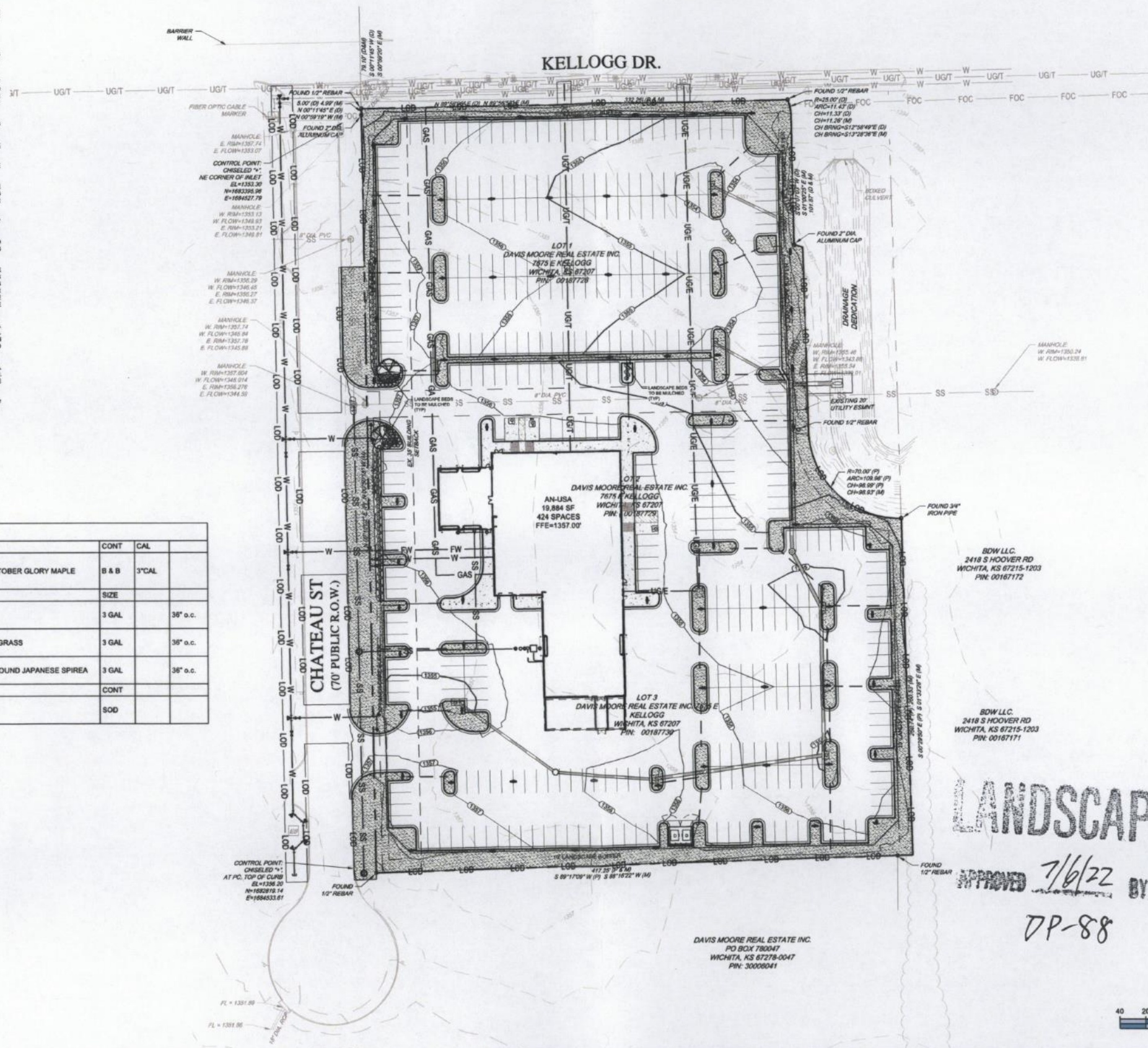
38 SPACES / 20 X 1 = 2 SHADE TREES REQUIRED

*VEHICLE HOLDING AREAS SHALL NOT BE COUNTED WHEN DETERMINING THE NUMBER OF SPACES IN A LOT

STREET YARD:
NO LANDSCAPED STREET YARD SHALL BE REQUIRED FOR "VEHICLE AND EQUIPMENT SALES" AS DEFINED BY THE UDC

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	2	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	3" CAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	
	73	ILEX GLABRA / INK BERRY HOLLY	3 GAL	36" o.c.
	35	MUHELENBERGIA CAPILLARIS / PINK MUHLY GRASS	3 GAL	36" o.c.
	21	SPIRAEA JAPONICA 'GOLDMOUND' / GOLDMOUND JAPANESE SPIREA	3 GAL	36" o.c.
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	
	39,364 SF	FESTUCA ARUNDINACEA / TALL FESCUE	SOD	



ENGINEER:
FORESITE
group
ForeSite Group, LLC
3001 Brighton Blvd.
Suite 200
Denver, CO 80216
P: 770.368.1399
F: 770.368.1944
W: www.foresitegroup.net

DEVELOPER:
AutoNation
200 SW 1ST AVENUE, 14 FLOOR
FORT LAUDERDALE, FL 33301
CONTACT: MOSSF@AUTONATION.COM

PROJECT:
AutoNation
WICHITA DEALERSHIP
WICHITA, KANSAS 67207
10727 E. KELLOGG DRIVE
WICHITA, KANSAS 67207

SEAL:
THESE PLANS WERE PREPARED UNDER THE SUPERVISION AND DIRECTION OF
JONATHAN BULLARD, PLA #941
THESE PLANS ARE RELEASED FOR INITIAL REVIEW PURPOSES ONLY.
THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT
FOR AND ON BEHALF OF FORESITE GROUP, LLC

REVISIONS DATE
CITY COMMENTS 2022-05-27

PROJECT MANAGER: DN
DRAWING BY: FG
JURISDICTION: CITY OF WICHITA, KS
DATE: FEBRUARY 15, 2022
TITLE:

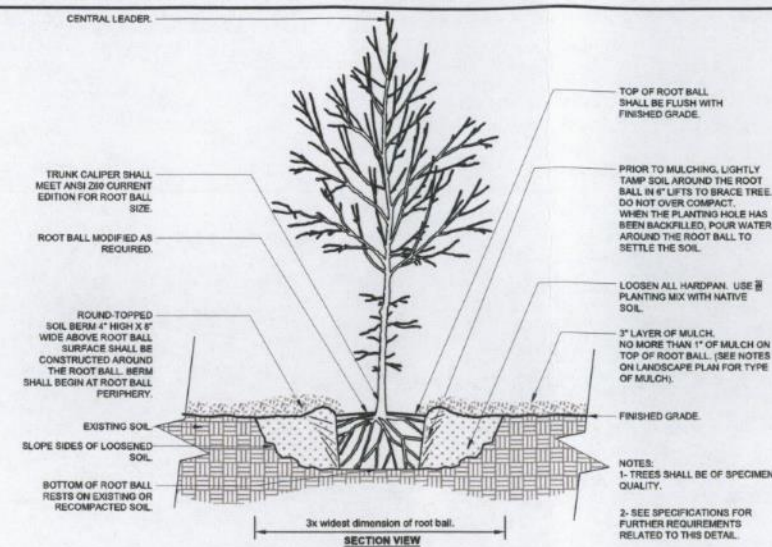
LANDSCAPE PLAN

SHEET NUMBER:

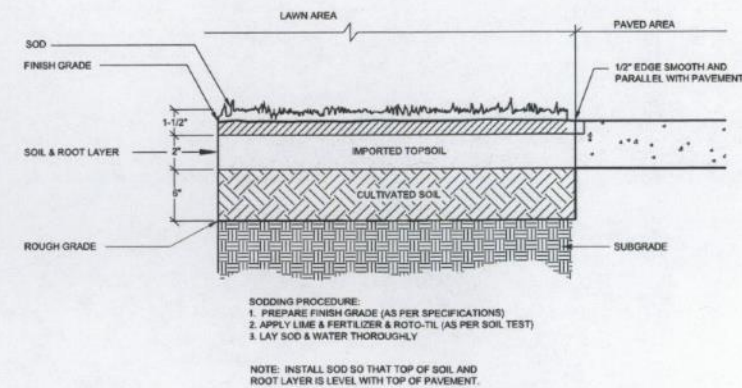
L-1

COMMENTS: FOR PERMITTING PURPOSES ONLY

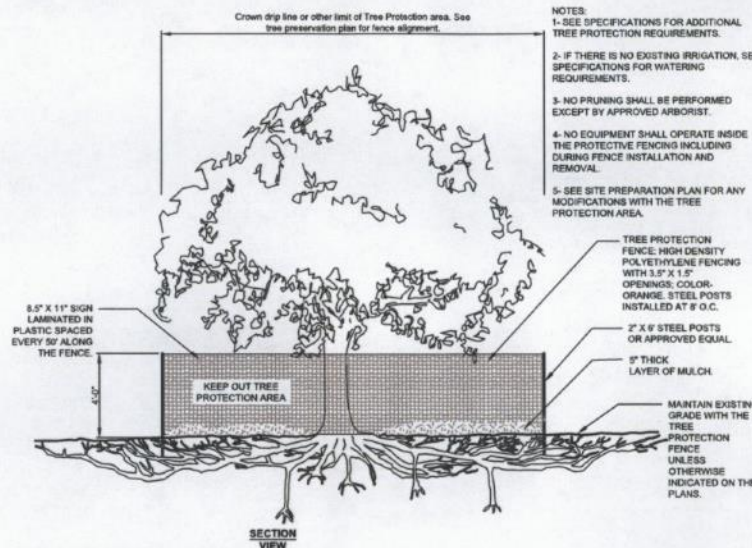
JOB/FILE NUMBER: 1519.006



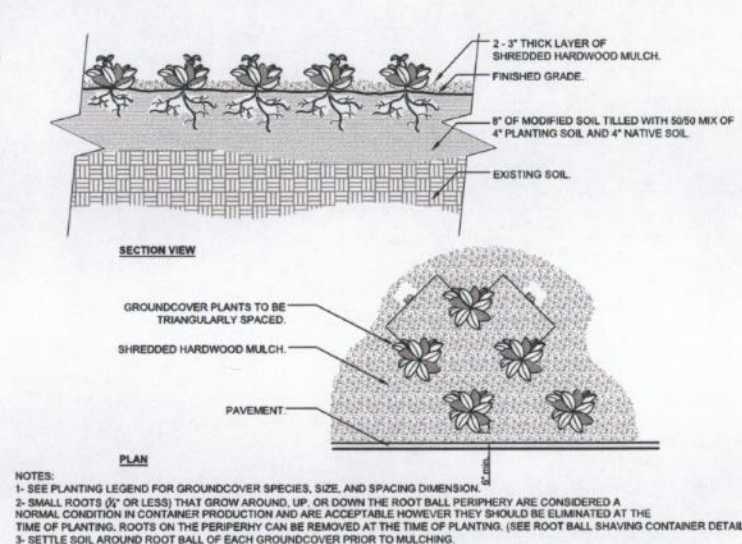
4 TREE PLANTING
1/2" = 1'-0"



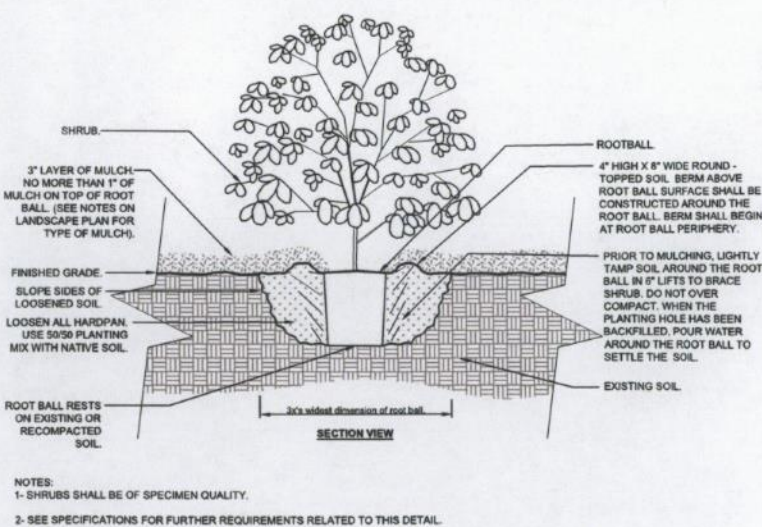
1 SOD INSTALLATION
NOT TO SCALE



5 TREE PROTECTION
1/4" = 1'-0"



2 GROUNDCOVER
3/4\"/>



3 SHRUB PLANTING
3/4\"/>

ENGINEER:
FORESITE
group
Foresite Group, LLC
3001 Brighton Blvd.
Suite 2601
Denver, CO 80216
P | 770.368.1399
F | 770.368.1944
W | www.foresitegroup.net

DEVELOPER:
AutoNation
200 SW 1ST AVENUE, 14 FLOOR
FORT LAUDERDALE, FL 33301
CONTACT: MOSSF@AUTONATION.COM

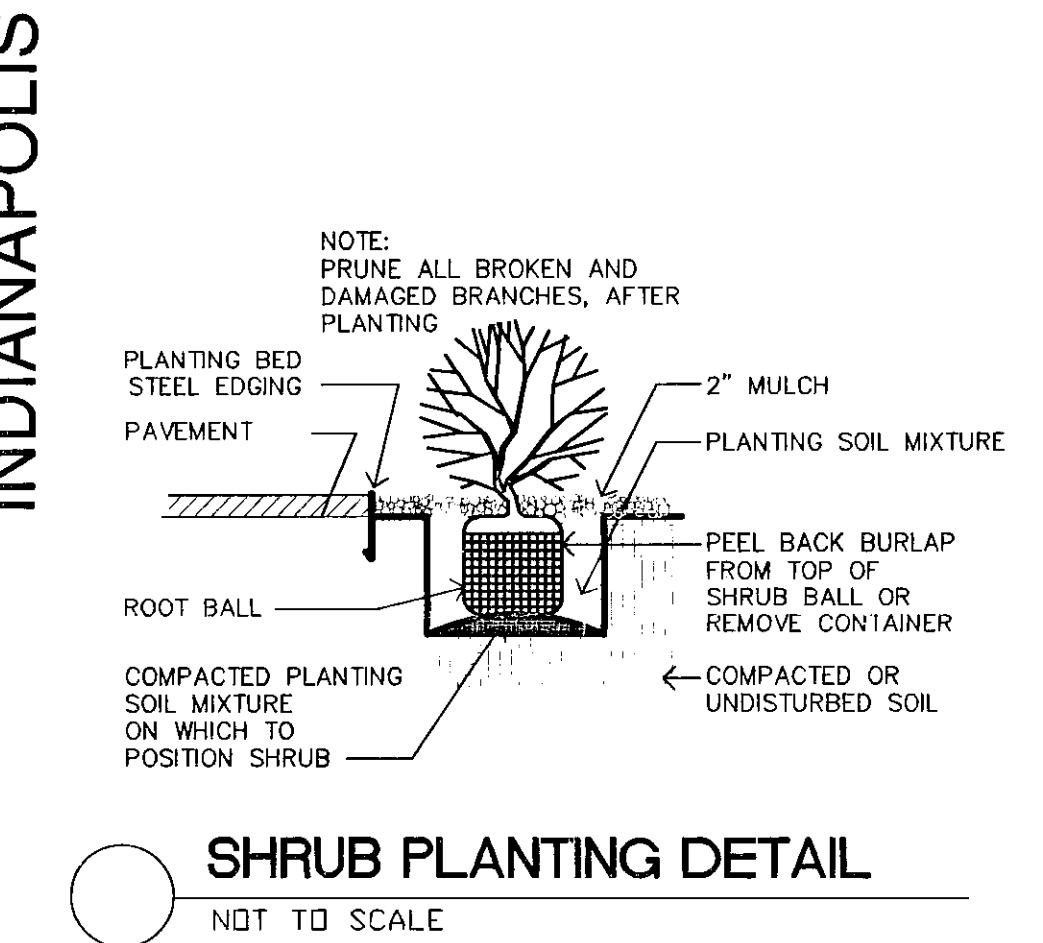
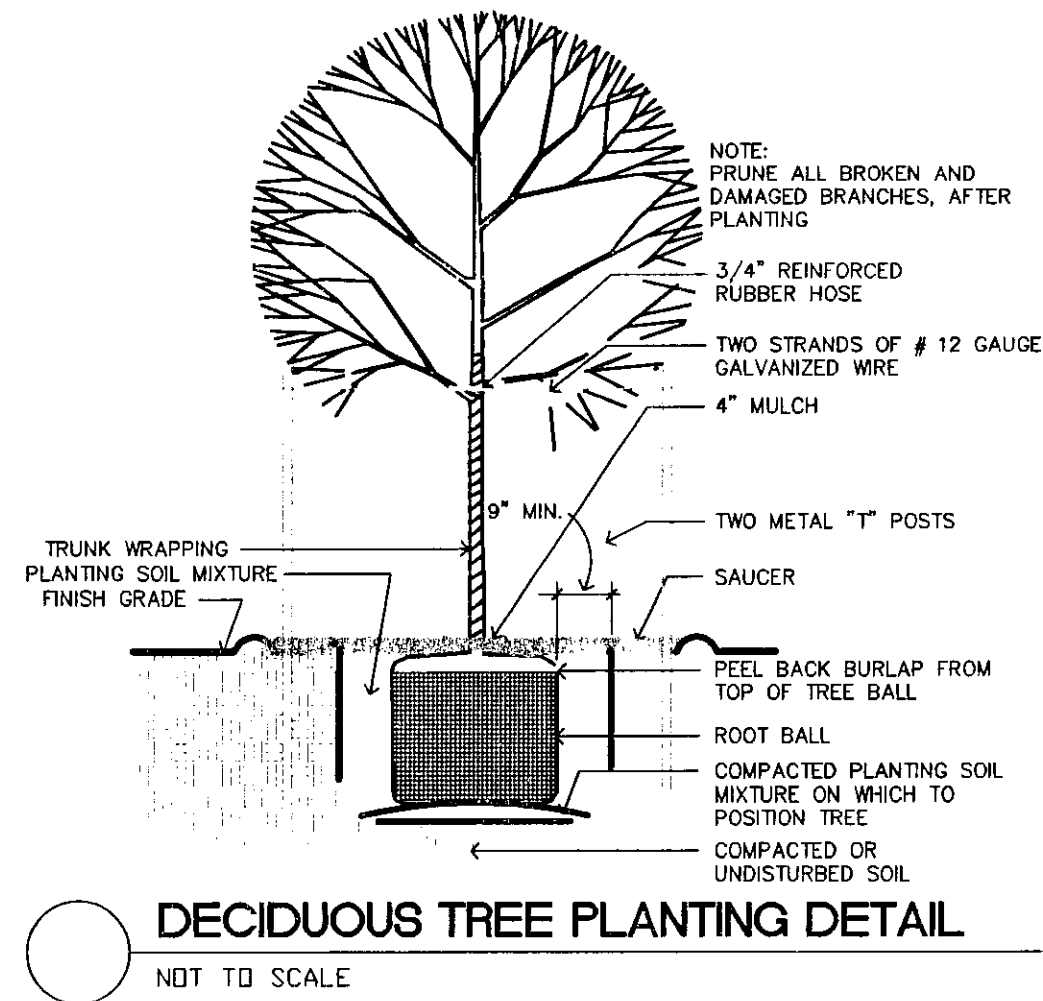
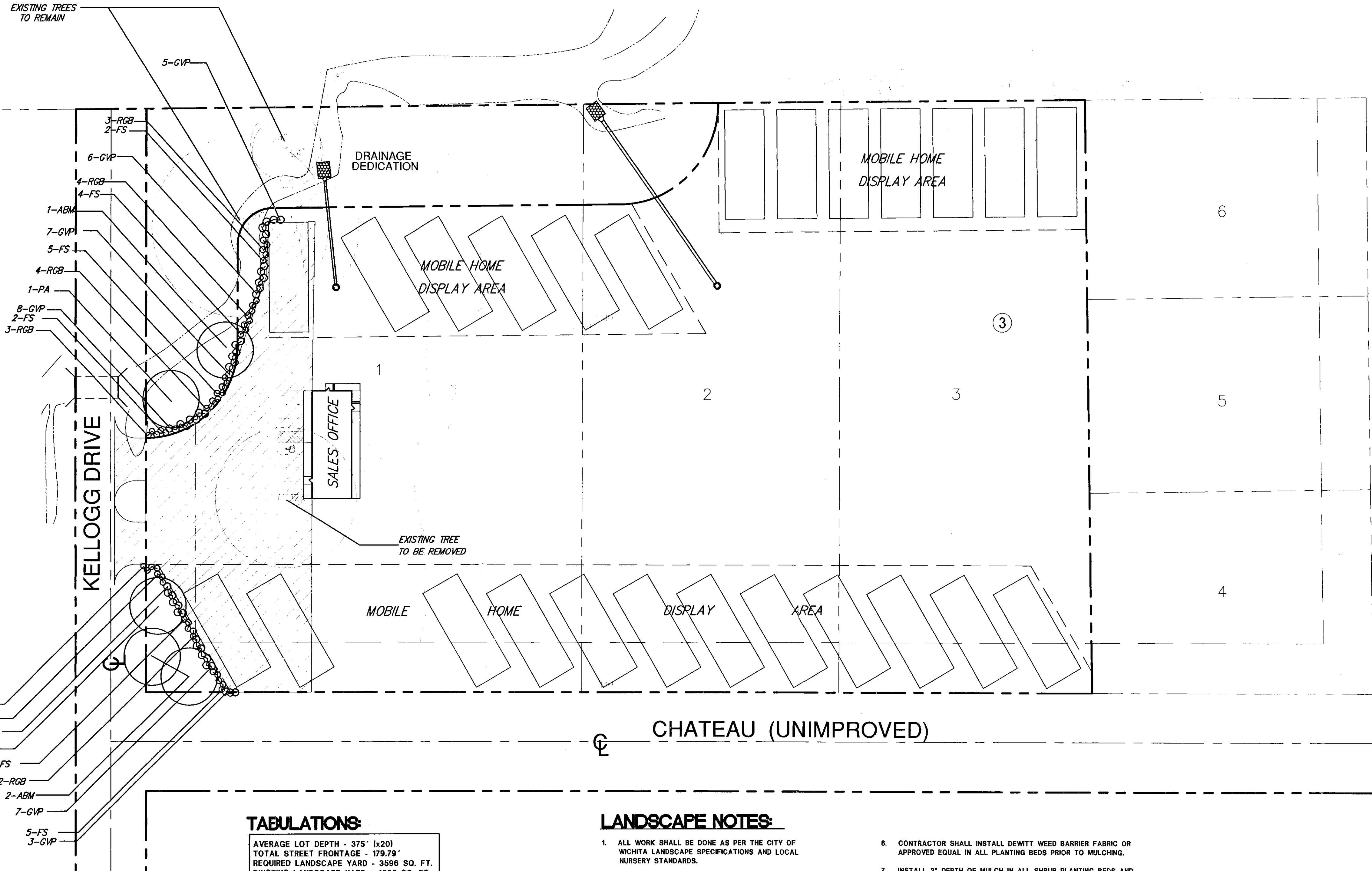
PROJECT:
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WICHITA, KANSAS 67207

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THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT
FOR AND ON BEHALF OF FORESITE GROUP, LLC

REVISIONS
CITY COMMENTS
PROJECT MANAGER: DN
DRAWING BY: FG
JURISDICTION: CITY OF WICHITA, KS
DATE: FEBRUARY 15, 2022
TITLE:

LANDSCAPE DETAILS
SHEET NUMBER:
L-2
COMMENTS: FOR PERMITTING PURPOSES ONLY
JOB/FILE NUMBER: 1519.006

KELLOGG



TABULATIONS:

AVERAGE LOT DEPTH - 375' (x20)
TOTAL STREET FRONTAGE - 179.79'
REQUIRED LANDSCAPE YARD - 3598 SQ. FT.
EXISTING LANDSCAPE YARD - 4825 SQ. FT.
TOTAL TREES REQUIRED - 7
EXISTING TREES - 3
NEW TREES - 4

PLANT LIST

CODE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES					
PA	2	PATMOOR ASH	Fraxinus pensylvanica "Patmore"	2" to 2 1/2" cal.	BB
ABM	3	AUTUMN BLAZE MAPLE	Acer Rubrum "Autumn Blaze"	2" to 2 1/2" cal.	BB
SHRUBS					
GVP	39	GOLDEN VICARY PRIVET	Ligustrum x vicaryi	2 Gal.	Cont.
FS	24	FROBEL SPIREA	Spiraea x bunalda "Froebel"	2 Gal.	Cont.
RGB	19	ROSY GLOW BARBERRY	Berberis thunbergii 'autro- "Rosy Glow" nana	2 Gal.	Cont.

LANDSCAPE NOTES:

- ALL WORK SHALL BE DONE AS PER THE CITY OF WICHITA LANDSCAPE SPECIFICATIONS AND LOCAL NURSERY STANDARDS.
- ALL TREES WITH BROKEN LEADERS WILL NOT BE ACCEPTED. ALL LANDSCAPING TO BE INSPECTED BY THE PROJECT MANAGER UPON DELIVERY.
- TOPSOIL HAULED ONTO SITE SHALL BE FERTILE, FRIABLE, NATURAL SANDY LOAM TOPSOIL, OF UNIFORM QUALITY CHARACTERISTIC OF REPRESENTATIVE LOCAL SOILS WHICH PRODUCE HEAVY GROWTH OF CROPS, GRASS OR OTHER VEGETATION. IT SHALL BE FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, ROOTS, STONES, TRASH OR OTHER MATTER TOXIC TO PLANT GROWTH.

TOPSOIL SHALL BE DELIVERED IN AN UNFROZEN AND NON-MUDDY CONDITION AND SHALL BE SUBJECT TO APPROVAL BY THE PROJECT MANAGER.
- PLASTIC EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. EDGING SHALL BE COBRA COMMERCIAL GRADE OR AN APPROVED EQUAL.
- ALL PLANTING BEDS FOR SHRUBS SHALL HAVE THE EXISTING SOIL REMOVED AND REPLACED 18" IN DEPTH WITH THE APPROVED TOPSOIL, UNLESS THE EXISTING SOIL IS OF SIMILAR QUALITY AS THE APPROVED TOPSOIL.
- CONTRACTOR SHALL INSTALL DEWITT WEED BARRIER FABRIC OR APPROVED EQUAL IN ALL PLANTING BEDS PRIOR TO MULCHING.
- INSTALL 2" DEPTH OF MULCH IN ALL SHRUB PLANTING BEDS AND 4" DEPTH OF MULCH IN ALL TREE PLANTINGS. MULCH SHALL BE SHREDDED CYPRESS MULCH.
- ALL AREAS MARKED AS SEED SHALL BE A FESCUE BLEND.
- CONTRACTOR SHALL LOCATE ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION BY CALLING KANSAS ONE-CALL @ 687-2470. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED AND IS TO SEE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A BID WITH UNIT PRICES FOR ALL PLANTS WHICH INCLUDE MULCH, INSTALLATION, STAKING, AND GUARANTEES.
- IRRIGATION OF PROPOSED SHRUBS AND TREES SHALL BE ACCOMPLISHED BY THE USE OF AN AUTOMATIC IRRIGATION SYSTEM.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE PROJECT MANAGER PRIOR TO THE START OF ANY CONSTRUCTION.

DP 88 Portion of
Parcel 1 & 2
LANDSCAPE PLAN

APPROVED 9/21/99 BY TJS

SRB Copy 2 of 2

SCALE 1" = 40'
IRON = •

LOTS 1-3, BLK. 3, WIEDEMANN BUS. PARK
MOBILE HOME SALES LANDSCAPE PLAN
WICHITA, KANSAS

SRB

924 NORTH MAIN
WICHITA, KANSAS 67203
http://www.feist.com/~srb

316-264-8008
FAX 264-4621
E-mail: srb@feist.com

SAVOY, RUGGLES & BOHM, P. A.
ENGINEERING & SURVEYING

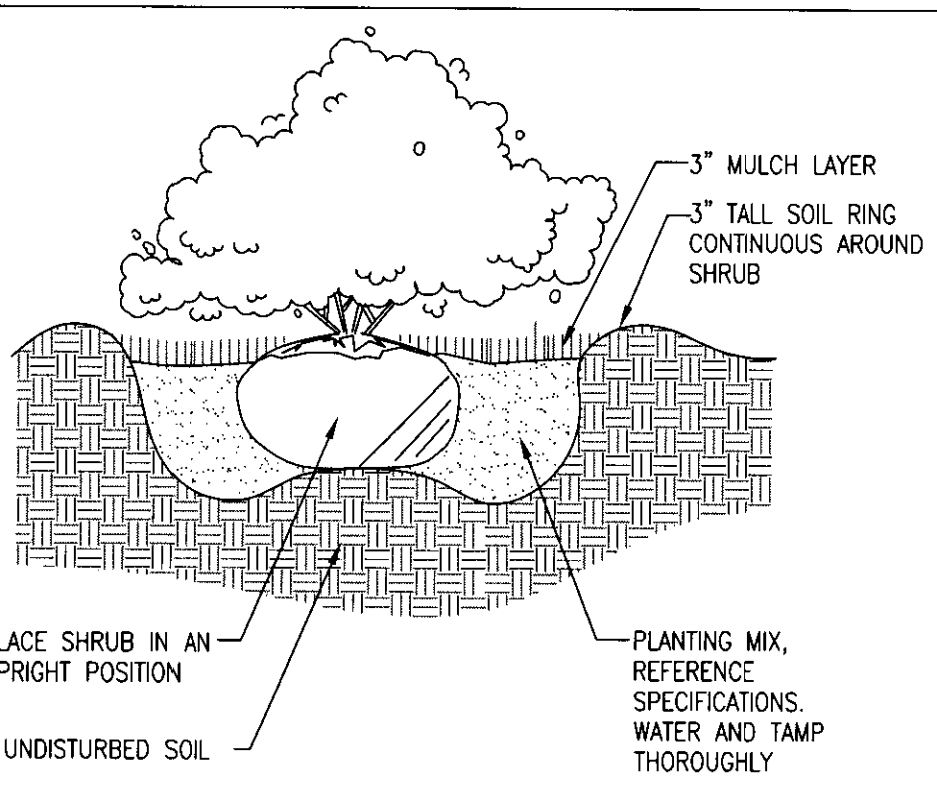
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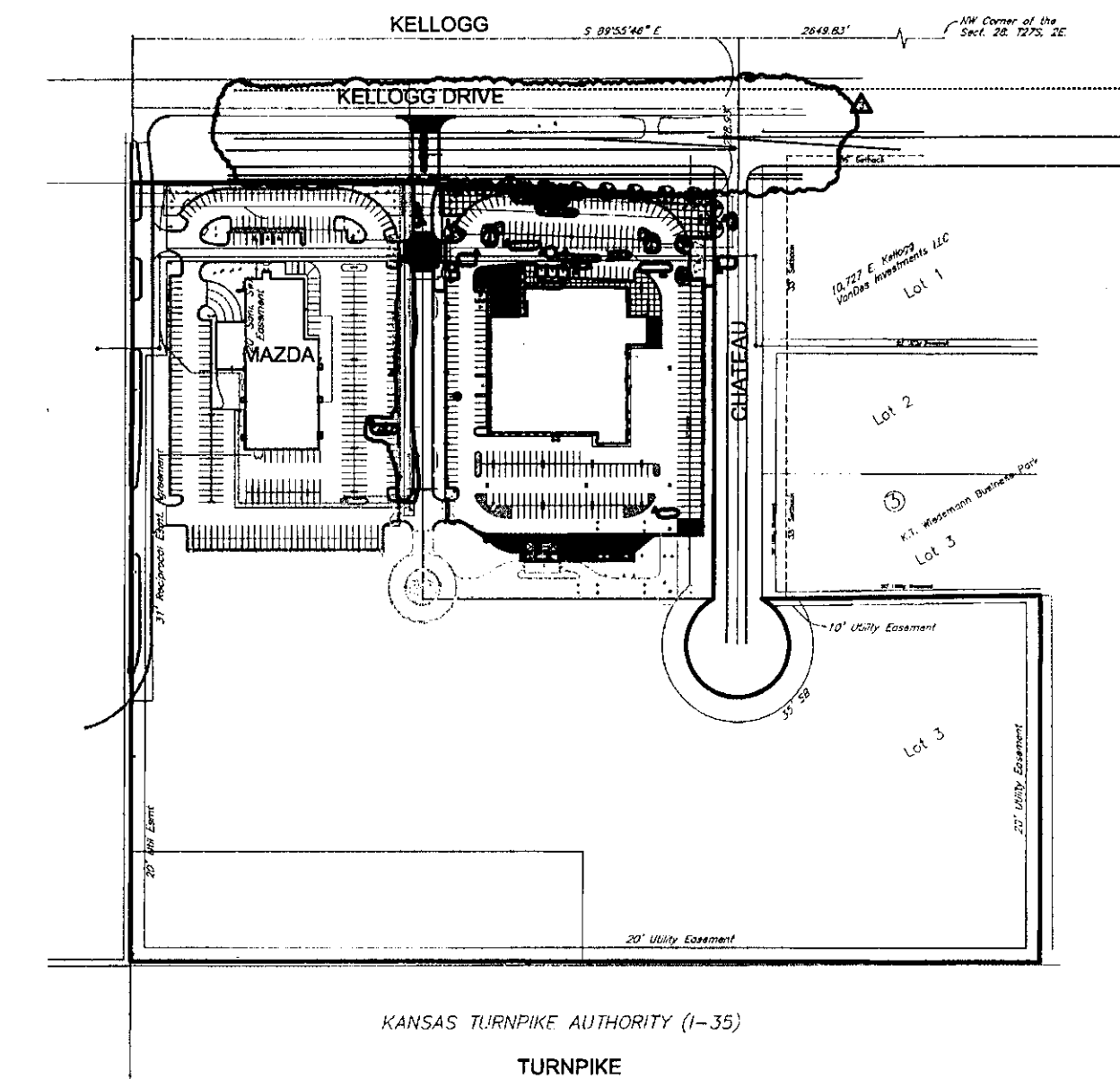
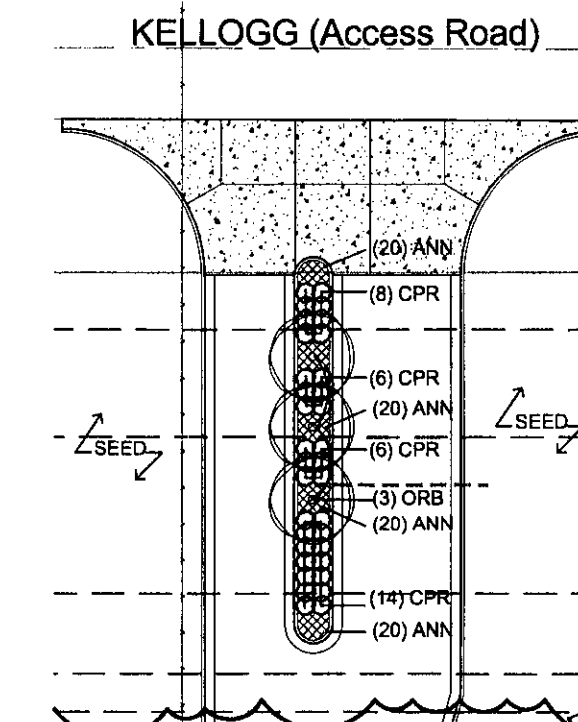
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SRB JOB 1306

SHEET 1 OF 3

LANDSCAPE PLAN

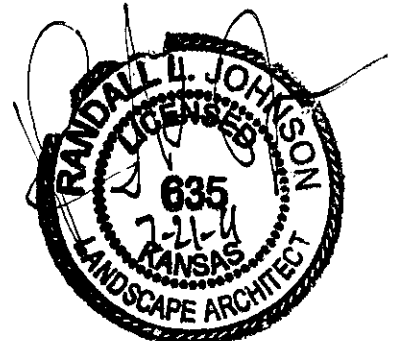


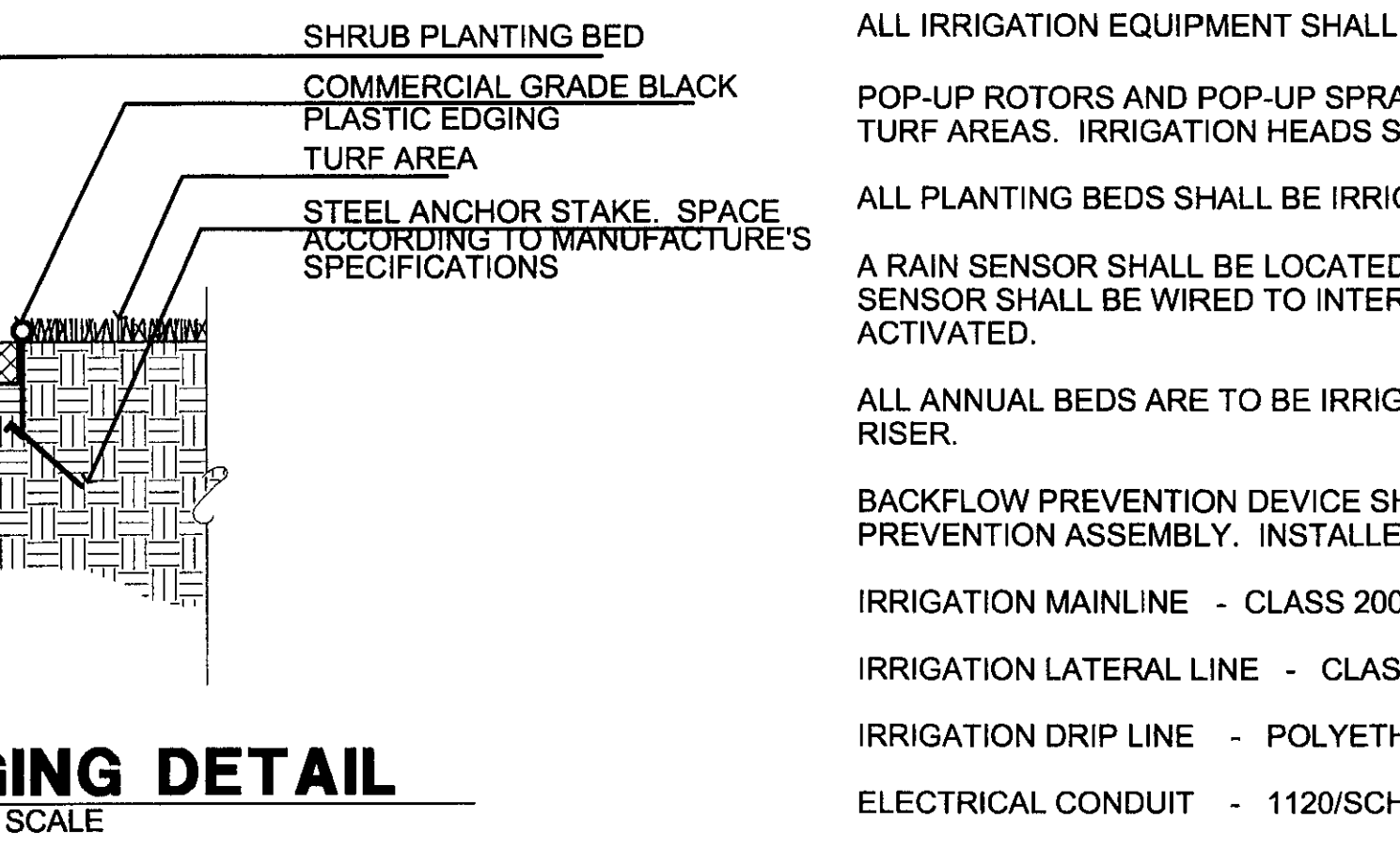
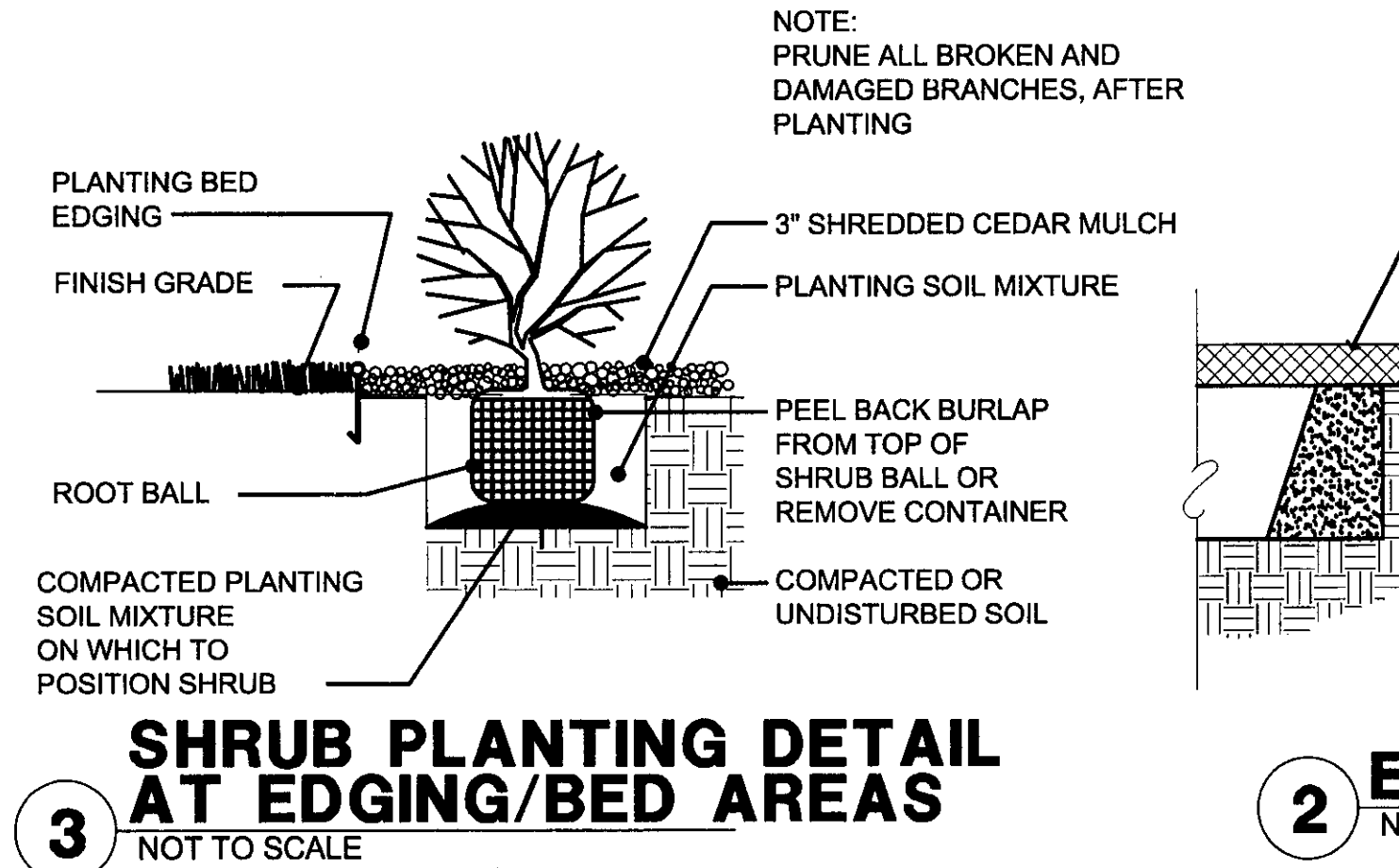
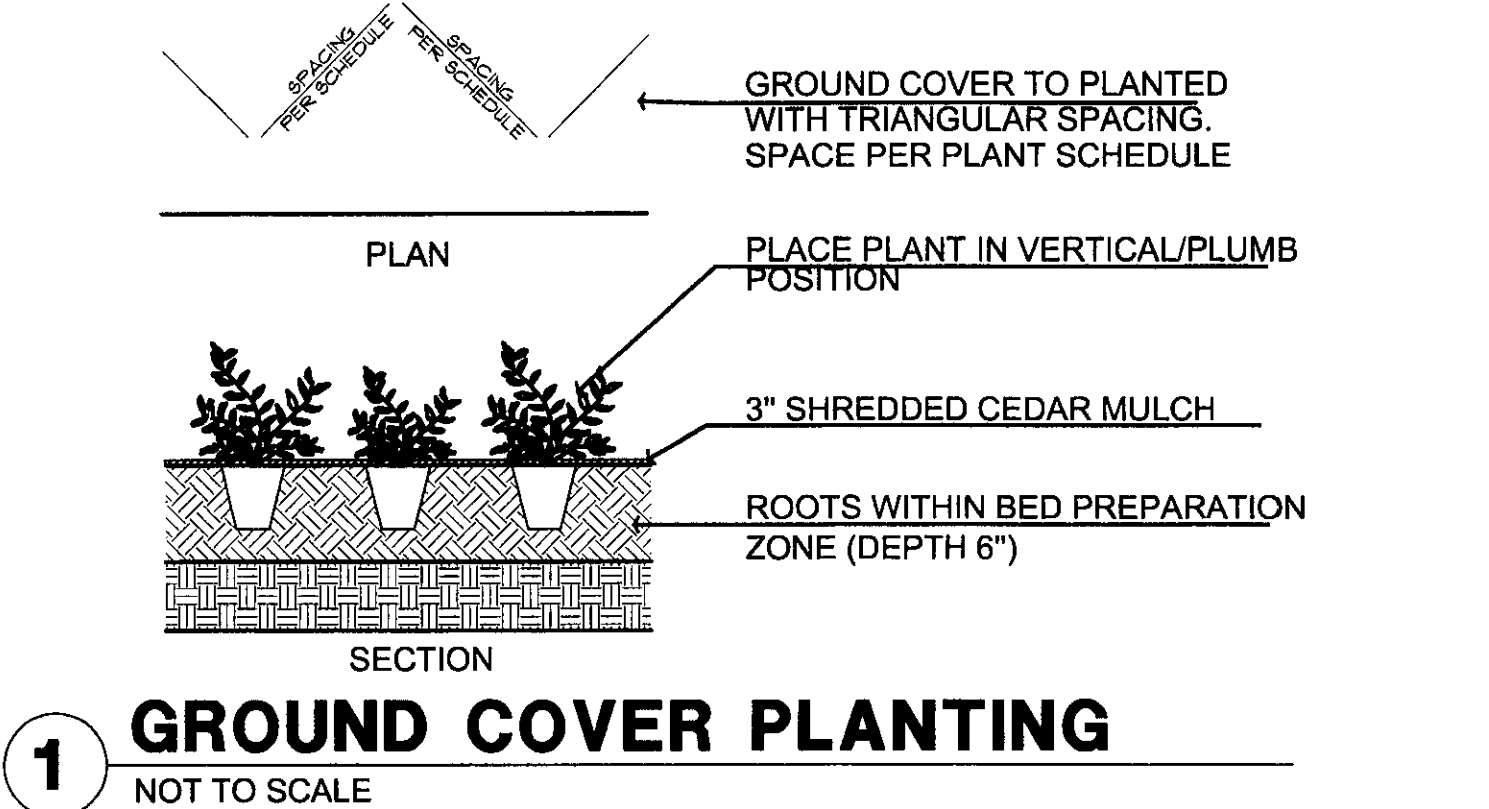
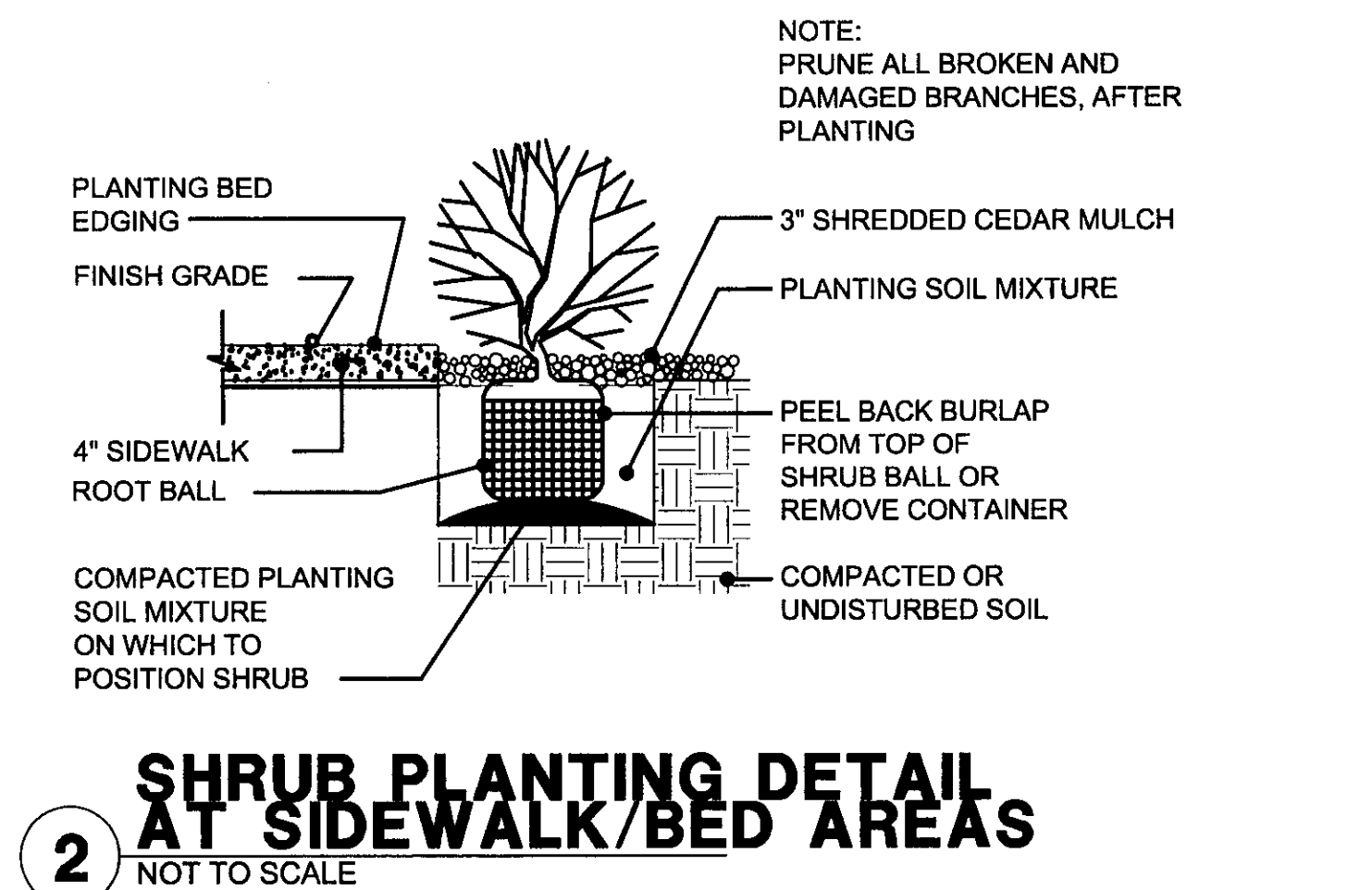
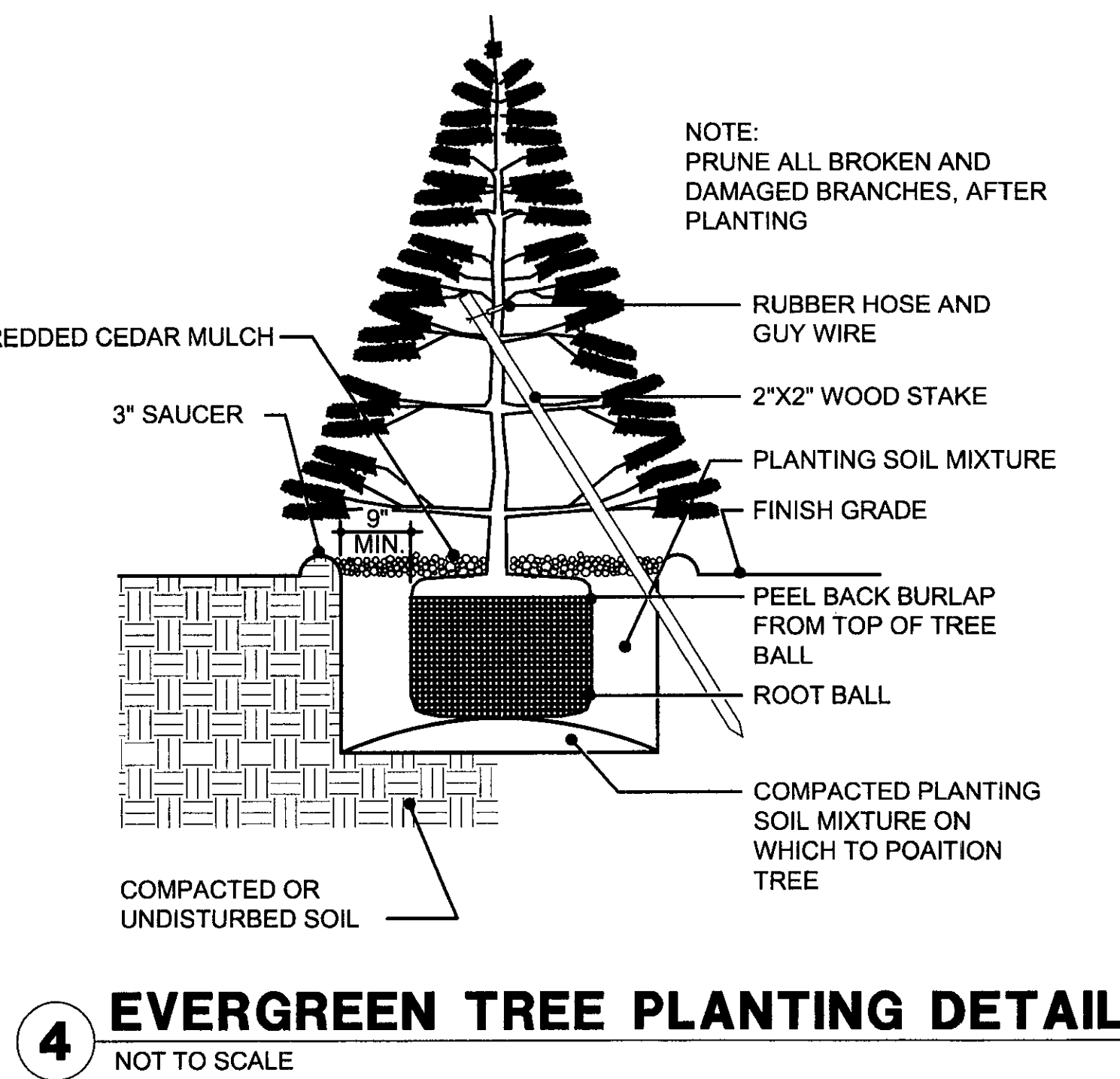
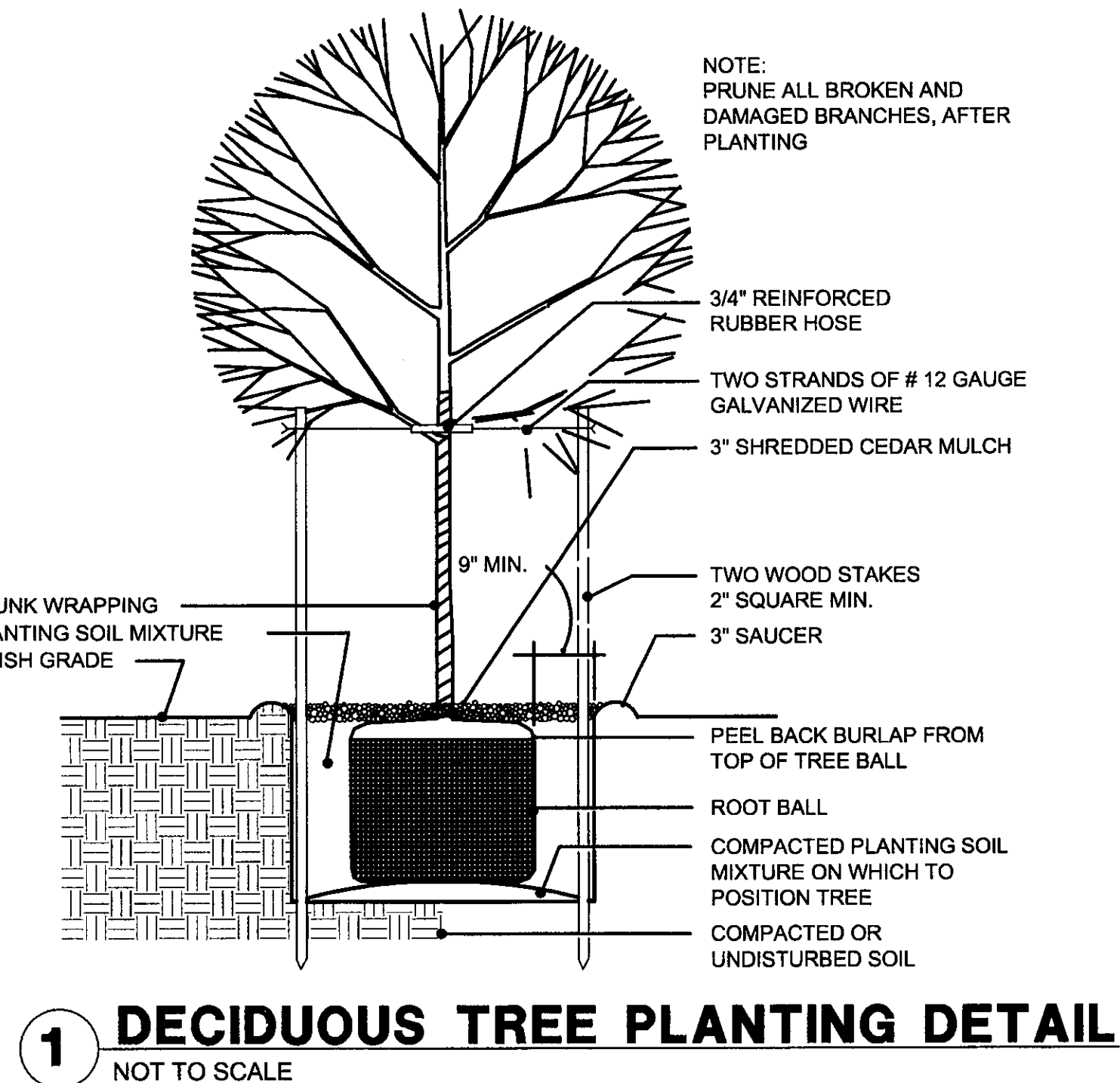


 **OVERALL SITE PLAN**
NOT TO SCALE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES					
ORB	3	OKLAHOMA REDBUD	<i>Pyrus calleryana</i>	2" to 2 1/2" cal.	Balled-in-Burlap
LE	7	LACEBARK ELM	<i>Ulmus parvifolia</i>	3" to 3 1/2" cal.	Balled-in-Burlap
SHL	10	SHADEMASTER HONEYLOCUST	<i>Glenditzia triancanthos</i> 'Shademaster'		Balled-in-Burlap
SHRUBS					
GFS	6	GOLDFLAME SPIREA	<i>Spiraea bumalda</i> 'Goldflame'	5 gal.	Container
CPR	49	CARPET ROSE	<i>Rosa</i> 'Pink Carpet'	5 gal.	Container
WGB	102	WINTERGEM BOXWOOD	<i>Microphylla koreana</i>	5 gal.	Container
DMG	22	DWARF PURPLE MAIDEN GRASS	<i>Miscanthus sinensis</i>	5 gal.	Container
OTHER					
ANN	80	SEASONAL ANNUALS	Varies	4" pot, triangular spacing	Container

SL1.1





GENERAL LANDSCAPE SPECIFICATIONS

- Landscape contractor shall provide all labor, materials and service necessary to furnish and install plantings as specified herein and as shown on these plans.
- No material substitutions shall be made without Owner/Architect's approval. Alternate materials of similar size and character may be considered if specified plant materials cannot be obtained. Owner/Architect reserves the right to adjust plant list as deemed necessary.
- Total quantities of materials shown on drawings shall take precedence over quantities shown on the plant schedule. Landscape contractor shall be responsible for verifying all quantities on the planting plans.
- When clay soil is encountered in the establishment of the lawn or the installation of the plant material, it shall be improved in accordance with standard trade practice (ie. addition of lime gypsum, etc.).
- Re-establish turf in all the areas disturbed by grading or utility trenching in the R.O.W.
- After planting is completed, repair injuries to all plants as required. Limit amount of pruning to a minimum necessary to remove dead or injured twigs and branches. Prune in such a manner as not to change natural habit or shape of plant. Make cuts flush, leaving no stubs. Cut of one inch (1") or more to be planted with tree paint. Central leaders shall not be removed.
- Use triangular spacing in all ground cover and annual beds unless stated otherwise on plans.
- Plant ground cover within one foot (1') of trunk of trees or shrubs planted within area. Planting arrangement shall be triangular, with proper on-center spacing between plants.
- Heavy duty steel edging shall be used to separate all turf areas from planting beds. Place edging flush with grade (see planting details).
- Use shredded cedar mulch in all planting beds. Landscape contractor shall supply Owner/Architect with a sample of mulch for approval prior to starting construction.
- Place mulch in beds and tree saucers per planting details.
- Planting beds receiving mulch are to be free of weeds and grass. Treat beds with a pre-emergent herbicide prior to planting and mulch placement. Apply in accordance with standard trade practice. Do not apply herbicide in annual/perennial beds.
- Seasonal annual/perennial beds are to be planted with local materials that will offer the longest lasting, boldest color display beginning at the time of installation.
- Landscape contractor to remove tree stakes, tree wrap, and remove all dead wood on trees and shrubs one year after provisional acceptance.
- Report any discrepancies in the planting plan to the architect prior to starting construction.
- Prior to any excavation for landscaping purposed, the location of underground utilities shall be determined by calling the local utility companies. Landscape contractor shall be responsible for any damage done to existing utilities.
- The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
- Topsoil hauled onto the site shall be fertile, friable, natural loam topsoil, of unifor quality characteristic representing local soils which produce heavy groth of crops, grass or other vegetation. It shall be free of subsoil, clay lumps, brush, weeds, roots, stones, trash, or other matter toxic to plant growth.
- Landscape contractor to install weed barrier fabric under egg rock areas.
- All grass areas called out on the plans are to be seeded/sodded with local industry standard type variety. Submit seed type to Architect prior to installation. Starter fertilizer is also to be applied using local industry standards.

DP-88 PARCEL 1 (PORTION)
LANDSCAPE PLAN
APPROVED 07-22-11 BY DG
SHEET 2 of 2
MAP D Log 1 of 2

IRRIGATION NOTES:

CONTRACTOR WILL VARIFY STATIC PRESSURE AND VOLUME OF SITE WATER SUPPLY AND DESIGN ENTIRE IRRIGATION SYSTEM ACCORDINGLY. EACH ZONE OF THE SYSTEM IS TO BE DESIGNED WITH A MAXIMUM OF 35 GALLONS PER MINUTE.

ALL IRRIGATION EQUIPMENT SHALL BE SCREENED FROM VIEW OF PUBLIC AREAS

POP-UP ROTORS AND POP-UP SPRAY HEADS SHALL BE USED TO IRRIGATE ALL TURF AREAS. IRRIGATION HEADS SHALL HAVE A MINIMUM 4" RISER.

ALL PLANTING BEDS SHALL BE IRRIGATED BY A DRIP IRRIGATION SYSTEM.

A RAIN SENSOR SHALL BE LOCATED ON TOP OF BUILDING NEAR CONTROLLER. RAIN SENSOR SHALL BE WIRED TO INTERRUPT VALVE COMMON WIRE BUT LEAVE CLOCK ACTIVATED.

ALL ANNUAL BEDS ARE TO BE IRRIGATED BY POP-UP SPRAY HEADS - 4" MINIMUM RISER.

BACKFLOW PREVENTION DEVICE SHALL BE A REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY. INSTALLED AS PER CITY, COUNTY AND STATE REGULATIONS.

IRRIGATION MAINLINE - CLASS 200 PVC - 18" BURIAL DEPTH MINIMUM

IRRIGATION LATERAL LINE - CLASS 160 PVC - 12" BURIAL DEPTH MINIMUM

IRRIGATION DRIP LINE - POLYETHYLENE PIPE - 3" BURIAL DEPTH MINIMUM

ELECTRICAL CONDUIT - 1120/SCHEDULE 40 PVC PIPE

IRRIGATION SLEEVES - SCHEDULE 40 PVC - 18" BURIAL DEPTH MINIMUM

THE FOLLOWING GUIDELINES SHALL BE USED FOR DRIP EMITTER INSTALLATION: ONE GALLON PER HOUR DRIP EMITTER ARE TO BE DISTRIBUTED AS FOLLOWS:

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- 4 DRIP EMITTERS PER TREE

WATER FOR IRRIGATION TO COME FROM NEW WELL (verify water quality).

PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE ARCHITECT, AN IRRIGATION LAYOUT PLAN, IRRIGATION EQUIPMENT DETAILS, AND A BOOKLET CONTAINING CATALOG CUTS, PERFORMANCE CHARTS AND TECHNICAL INFORMATION IN SUFFICIENT DETAIL TO DETERMINE SYSTEM SUITABILITY FOR THIS PROJECT.

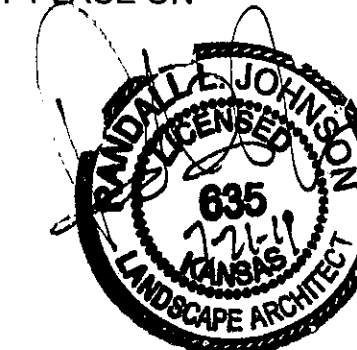
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ADJUST ALL IRRIGATION EQUIPMENT SO THAT SIDEWALKS, PAVING, FENCES, BLDG. FACADES REMAIN DRY OF DIRECT SPRAY OF EXCESS WATER RUN-OFF AND SPRAY.

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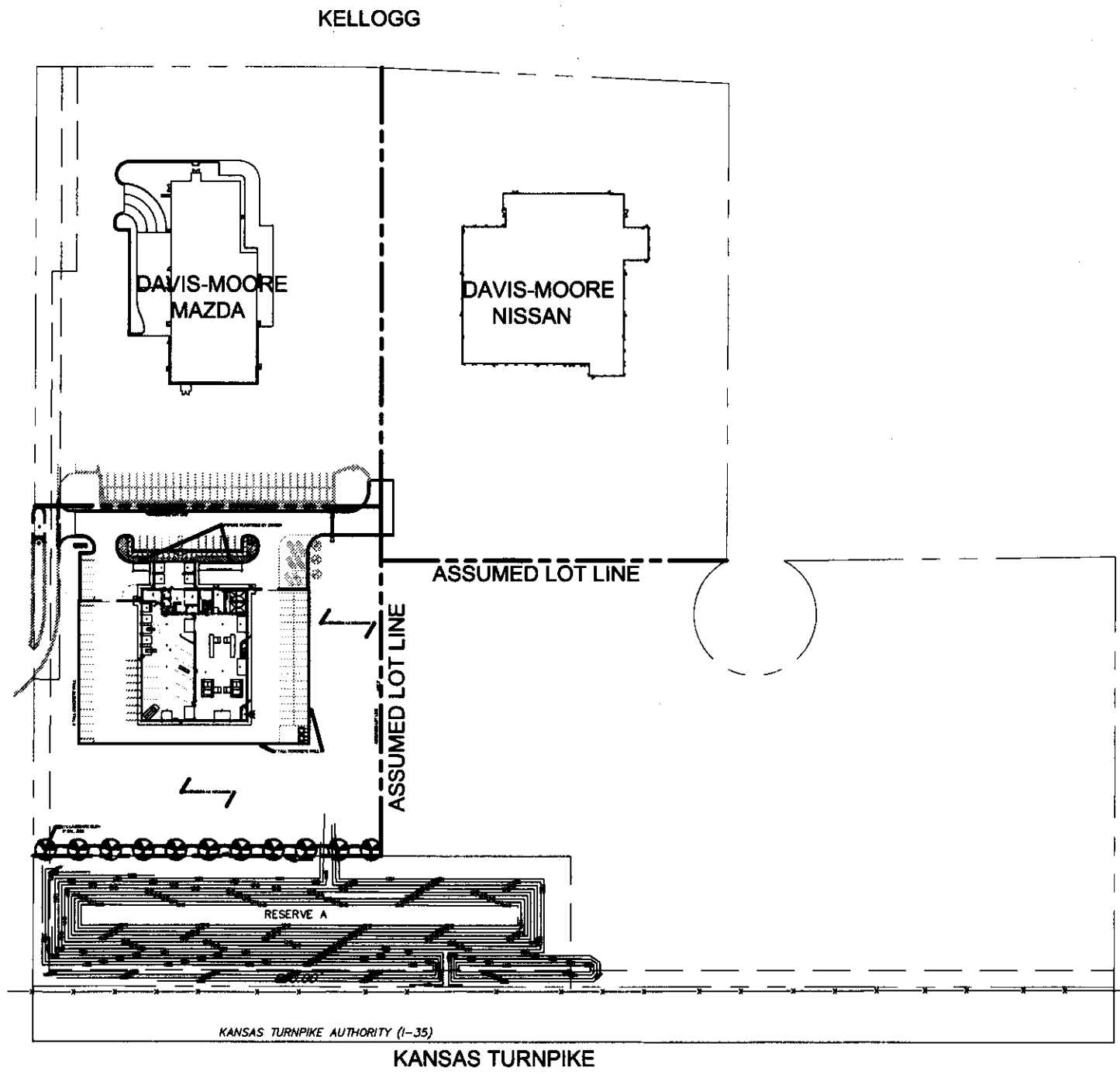
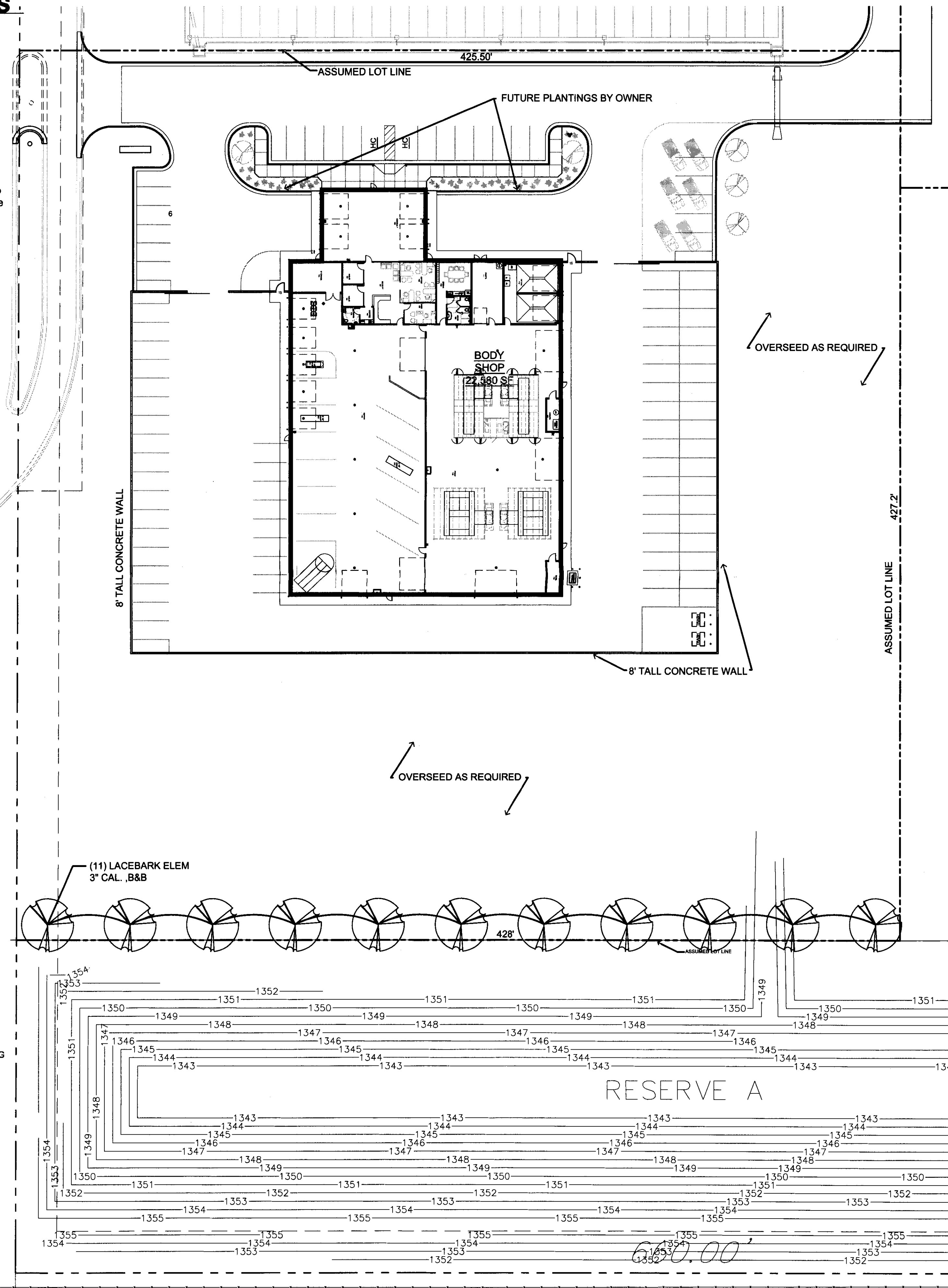
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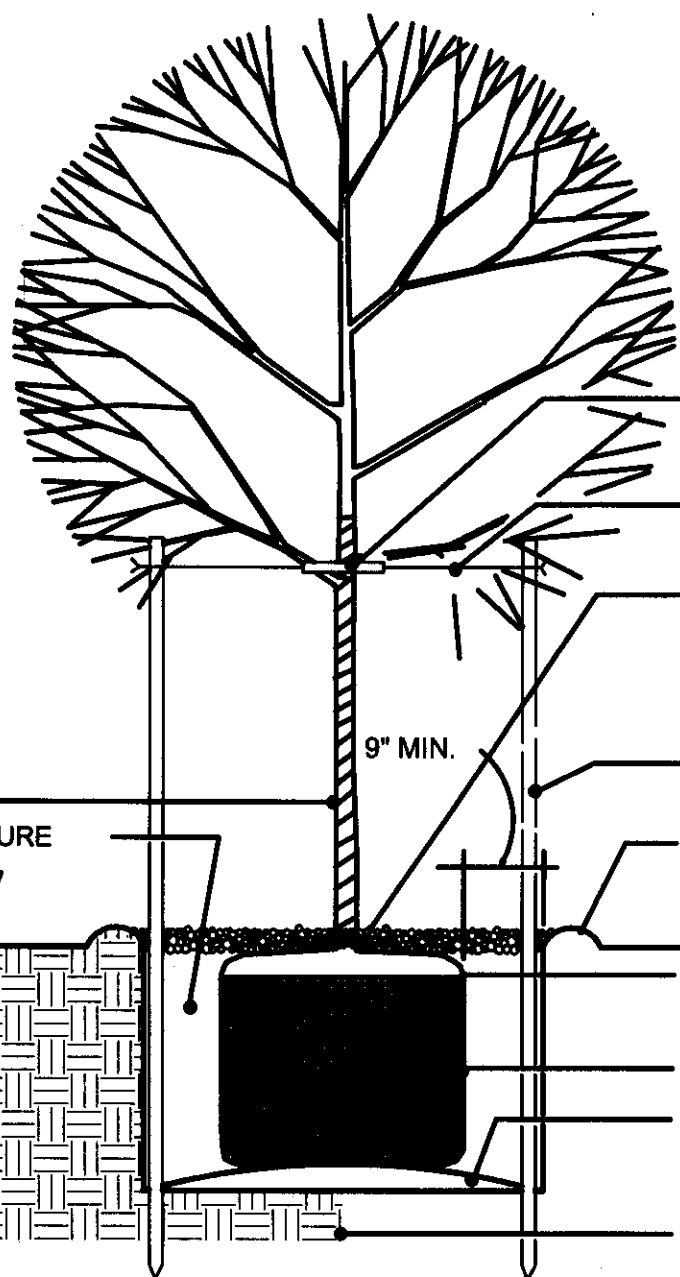
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OVERALL SITE PLAN



NOTE:
PRUNE ALL BROKEN AND
DAMAGED BRANCHES, AFTER
PLANTING

- 3/4" REINFORCED RUBBER HOSE
- TWO STRANDS OF # 12 GAUGE GALVANIZED WIRE
- 3" SHREDDED CEDAR MULCH
- 9" MIN.
- TWO WOOD STAKES 2" SQUARE MIN.
- 3" SAUCER
- PEEL BACK BURLAP FROM TOP OF TREE BALL
- ROOT BALL
- COMPACTED PLANTING SOIL MIXTURE ON WHICH TO POSITION TREE
- COMPACTED OR UNDISTURBED SOIL

1 DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPE ORDINANCE CALCS:

LANDSCAPE YARD REQUIRED:	SOUTH SIDE ABUTTING TURNPIKE
LANDSCAPE YARD TREES REQUIRED: (KANSAS TURNPIKE)	SOUTH PROPERTY 428/40=11 SHADE TREES
LANDSCAPE YARD TREES SHOWN: (KANSAS TURNPIKE)	SCREEN WALL @PERIMETER OF BLDG. 11 SHADE TREES ALONG SOUTH RETENTION.
LANDSCAPE BUFFERS REQUIRED:	NONE REQUIRED
PARKING LOT TREES REQUIRED:	NONE REQUIRED (BEYOND 150 FEET)

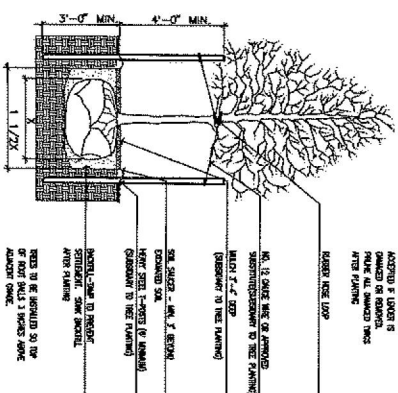
LANDSCAPE PLAN

LANDSCAPE PLAN

CITY COMMENTS
17 AUG 12
PERMIT
6 JULY 2012

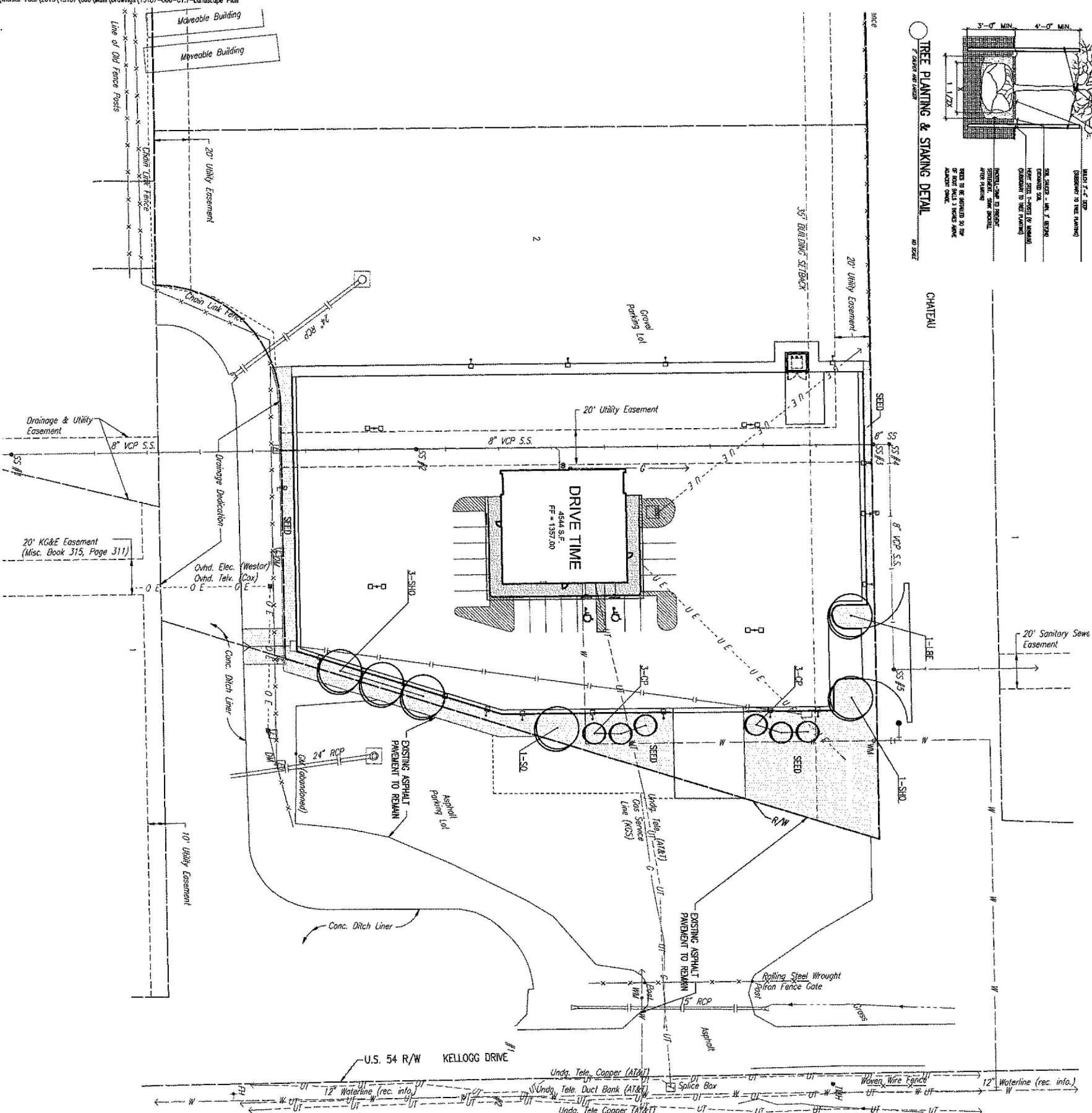
LANDSCAPE
PLAN

LS1



TREE PLANTING & STAKING DETAIL
2" GARDEN AND LANDSCAPE

CHATEAU



LANDSCAPE NOTES:

1. CONTRACTOR SHALL PROVIDE A MINIMUM SPENT-200 (72) HOURS ADVANCE NOTICE (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO BEGINNING ANY EXCAVATION, TO 811 KANSAS ONE-CALL SYSTEM (UTILITY LOCATION SERVICE) FOR THE APPROPRIATE LOCAL UTILITY LOCATION SERVICE) TO REQUEST LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING LINES IN THE PROJECT AREA.
2. CONTRACTOR SHALL SATISFY HIMSELF OF SURFACE AND SUBSURFACE CONDITIONS PRIOR TO BEGINNING. THE CONTRACTOR SHALL TILL AND PREPARE PLANTING BEDS WITH FERTILE TOPSOIL TO A MINIMUM DEPTH OF 18 INCHES. ALL TIER AREAS TO BE SODDED SHALL BE GRADED TO DRAIN FREE OF TRASH AND ROCKS OVER 1/2" DIAMETER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY FROMS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY RINGS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH RINGS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
4. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND IMPROVEMENTS CONSTRUCTED UNDER OTHER PROJECTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO IMPROVEMENTS IN PLACE. COSTS FOR COORDINATION AND REPAIRS TO IMPROVEMENTS IN PLACE, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR.
5. ALL PLANT MATERIAL SHALL BE HIGH-QUALITY NURSERY GROWN STOCK WHICH MEETS THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AS SPECIFIED BY THE "AMERICAN NATIONAL STANDARDS INSTITUTE" IN ANSI Z60.1-2004 OR AS MAY BE AMENDED IN THE FUTURE.
6. MUCH ALL TREE RINGS WITH A MINIMUM OF 3" DOUBLE GROUNDED SHREDED HARDWOOD MULCH.
7. APPLY MULCH (OR SIMILAR) MICROBIOLOGICAL RINGS WITH PLANT MATERIAL PER THE MANUFACTURERS INSTRUCTIONS.

LANDSCAPE ORDINANCE REQUIREMENTS

AVERAGE DEPTH = 260' (10' SQ. FT. PER LF FRONTAGE)
354' X 10' = 3,540 SQ. FT LANDSCAPE STREET/PAVEMENT REQUIRED
8 TREES REQUIRED

9. ALL DISTRICT AREAS SHALL BE SEEDED WITH HORIZONALGRASS AS NOTED BELOW IN THE COMMENTS. MATERIALS TABLE, REFERENCE SECTION 902 AND "SEEDING" OF THE CITY OF WICHITA SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE GRASS AS STATED IN SECTION 902.9 MAINTENANCE AND ACCEPTANCE. REFERENCES TO THE CITY OR PARKS DEPARTMENT IN THE SPECIFICATIONS SHALL BE CHANGED TO THE OWNER.
10. THE CONTRACTOR SHALL PROVIDE A TREERATOR JR PRO 15 GALLON WATERING BAG FOR EACH TREE. THE CONTRACTOR SHALL INSTALL BAGS AND FILL WEEKLY UNTIL ACCEPTANCE OF THE TREES AND SEEDING BY THE OWNER.

PLASMA DISCHARGE

RECORDED 5/7/55 BY NCS

PLANT MATERIALS LIST					
KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES					
CP	6	Chinese Pistache	<i>Pistacia chinensis</i>	2' Col.	B & B
LEE	1	Lacebark Elm	<i>Ulmus parvifolius</i> 'Jitend'	2' Col.	B & B
SHD	4	Shumard Red Oak	<i>Quercus shumardii</i>	2' Col.	B & B
SD	1	Single Oak	<i>Quercus imbricaria</i>	2' Col.	B & B
LANDSCAPE MATERIALS					

TURF AREA (K-31 FESCUE SEED) REFERENCE THE CITY OF WICHITA LANDSCAPE SEEDING SPECIFICATIONS. APPLY K-31 FESCUE AT 8 LBS./1000 SQ.FT. AND 45 LBS./AC. OF 12-24-12 (N-P-K) FERTILIZER. MATCH ALL TURF AREAS WITH 100% WOOD FIBER HYDROMULCH (CONINED FIBERS HYDROMULCH 1000 WITH TRIO OR APPROVED EQUAL). APPLY AT 3000 LBS. PER ACRE PER THE MANUFACTURERS INSTRUCTIONS.





Wichita-Sedgwick County Metropolitan Area Planning Department

October 13, 2014

Davis-Moore Real Estate LLC
P.O. Box 780047
Wichita, KS 67218

K.E. Miller Engineering, P.A.
Kirk Miller
117 E. Lewis Street
Wichita, KS 67202

RE: CUP2014-33 – City CUP Administrative Adjustment to CUP DP-88, to create Parcels 2 and 3 as shown on approved Lot Split LSP2014-00012 for Lot 1, Block A, DAVIS-MOORE 14th Addition. The property is generally located on the south side of Kellogg between Webb and Greenwich (10603 E. Kellogg.)

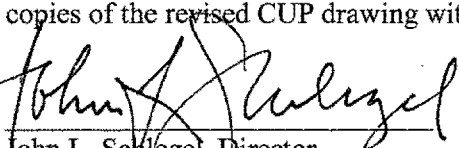
Dear Applicants:

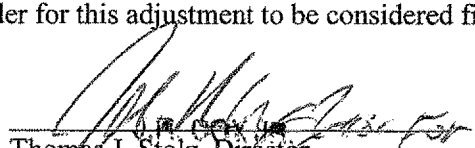
We received and reviewed your request for an Administrative Adjustment to DP-88, creating Parcels 2 and 3 consistent with a lot split of Parcel 1. Building coverage and floor area will be distributed proportionately on the revised CUP. Uses permitted on existing parcels do not change.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The “Development Application” sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


John L. Schlegel, Director
Metropolitan Area Planning Department


Thomas J. Stolz, Director
Metropolitan Area Building and Construction
Department

cc: J.R. Cox, MABCD
Pete Meitzner, CM District II
Alana Haynes, NA District II