



Wichita-Sedgwick County Metropolitan Area Planning Department

March 12, 2021

The Inn At Tallgrass
Attn: Don Kennedy
2280 N. Tara
Wichita, KS 67226

RE: CUP2021-00010 – City Administrative Adjustment to Tallgrass Commercial and Office Park CUP DP-92 to modify allowed uses in Parcel 7.

LEGAL DESCRIPTION: Lot 13, Block 1, Tallgrass 5th Addition, Wichita, Sedgwick County, Kansas

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-92 to modify allowed uses in Parcel 7. The proposed language modifications of Parcel 7 are indicated in red, bold, italic font:

Parcel 7

Proposed Uses: Apartments for rent by day, week, month *or standard apartment lease agreements of over 6 months*. All other *General Office* uses are prohibited. No commercial activity shall be allowed except for the sale of incidental goods which directly support and are limited to the service of guests including the vending of food and non-alcoholic beverages, news media, tobacco, candies and toiletries. All such sales are to be within the rental office area for such use except for the sale of similar items *through vending machines within each building*. Additionally, clubhouse and recreational facilities may be constructed in this parcel after being submitted to the M.A.P.D. for review and approval.

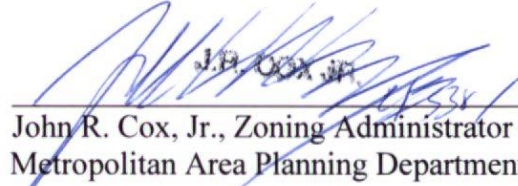
On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



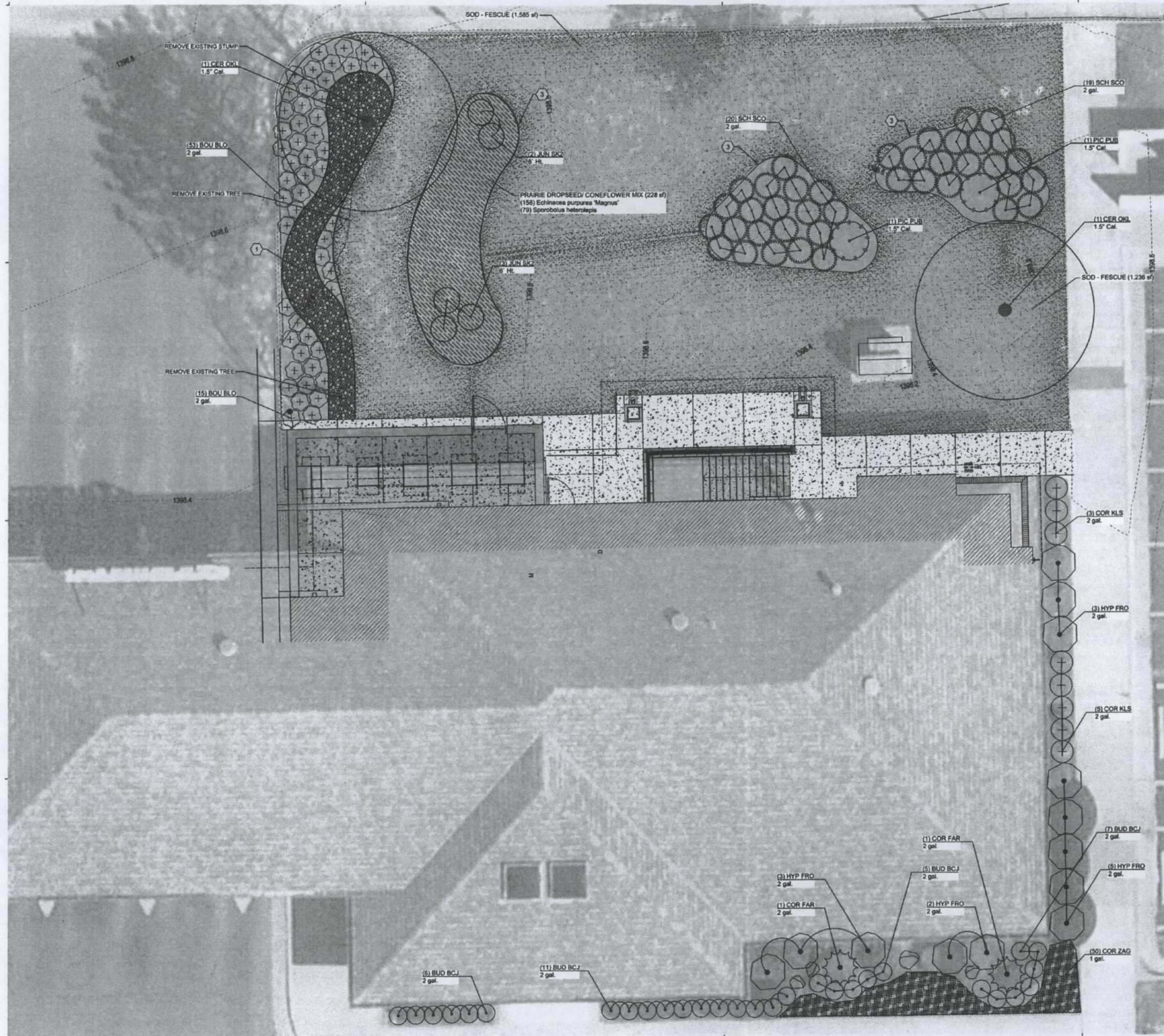
Scott Wadle, Director
Metropolitan Area Planning Department



John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Becky Tuttle, CM District II
Corey Buchta, CSR District II

11/10/2021 2:46:35 PM
Autodesk Docs/208688-025 - Intrust Bank Tallgrass Renovation/208688-025_MECH_R1B.rvt



LANDSCAPE PLAN

APPROVED 2/2/22 BY NES

DP-92
page 1 of 2



NOTE: SOD ALL DISTURBED AREAS AFTER INSTALLATION

FH SHELDEN
ARCHITECTURE

SHELDENARCH.COM
800 E. First Suite 140 Wichita, KS 67202
316.263.4300



INTRUST TALLGRASS RENOVATION

8202 E 21ST ST
WICHITA, KS 67206

PROJECT NO.	BRA-0001
ISSUE	DATE
FOR PERMIT SET	1.24.22

PROFESSIONAL ENGINEERING CONSULTANTS, P.A.
303 SOUTH TOPEKA WICHITA, KS 67202
316-262-2651 www.pec1.com

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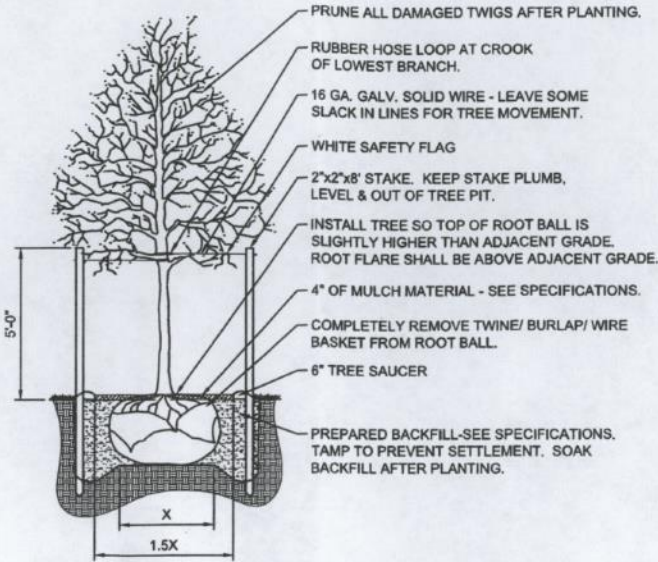
PEC

PLANTING PLAN SHEET
L-001

PLANTING NOTES

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK, REPORT ANY ISSUES IN SITE CONDITIONS AND CONSTRUCTION THAT MAY AFFECT THE PLANTING LAYOUT TO THE PROJECT ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATIVE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- LANDSCAPE CONTRACTOR IS TO STAKE ALL PLANT MATERIAL (TREE AND SHRUB) LOCATIONS AS WELL AS PLANTER BED EDGER LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE FOR PRE-INSTALLATION CONFERENCE AND FINAL APPROVAL OF STAKING. ADJUST PLANT LOCATIONS ONLY AS NECESSARY TO AVOID SITE CONFLICTS.
- UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING UTILITY LOCATOR SERVICES. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL SOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ANY BERMS SHOWN ON PLANS ARE REFLECTED ON GRADING PLAN. FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF THE PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
- CULTIVATE GROUND COVER PLANTING BEDS TO A DEPTH OF 6". TILL COMPOST AND WELL-ROTTED MANURE INTO THE PLANTING BED AT THE APPROXIMATE RATIO OF ONE (1) PART COMPOST/ MANURE TO THREE (3) PARTS SOIL.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS. CUTS OF ONE INCH (1") OR MORE TO BE PAINTED WITH TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED.
- TREE TRUNKS SHALL BE STRAIGHT.
- PLANT GROUNDCOVER/ PERENNIALS WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
- STEEL EDGING MATERIAL SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE. SECURE EDGE MATERIAL IN SOIL WITH MINIMUM TWO STAKES PER SECTION.
- PLANTING BEDS ARE TO BE FREE OF WEEDS AND GRASS. TREAT PLANTING BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF PLANT MATERIALS AS DESCRIBED WITHIN SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS HEALTHY CONDITION.
- USE HARDWOOD CHIP MULCH IN ALL PLANTING BEDS. LANDSCAPE CONTRACTOR SHALL SUBMIT A SAMPLE OF MULCH FOR APPROVAL PRIOR TO STARTING CONSTRUCTION. SIZE OF MATERIAL TO RANGE FROM 1" TO 3" ONLY. PLACE 3" TO 4" OF MULCH IN ALL SHRUB BEDS. PLACE 1" OF MULCH IN GROUNDCOVER BEDS. PLACE 4" OF MULCH IN ALL TREE SAUCERS.
- REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATED DURING OR AS A RESULT OF PLANTING OPERATIONS EACH DAY.

- ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND LANDSCAPE ARCHITECT AT SUBSTANTIAL COMPLETION. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER.
- ANY VEGETATED AREAS DISTURBED BY THE CONSTRUCTION PROCESS MUST BE RESTORED BY REPAIRING THE SOIL BED AND RE-ESTABLISHING ORIGINAL PLANTINGS.
- LANDSCAPE CONTRACTOR IS REQUIRED TO REMOVE THE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
- ALL TREES SHALL BE CALIPERED, AND UNDERSIZED TREES SHALL BE REJECTED.
- ANY DEVIATION TO THE APPROVED FINAL LANDSCAPE PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IF SHOWN, CONTRACTOR SHALL VERIFY THE AMOUNT OF PLANT MATERIALS SHOWN ON THE PLANS MATCHES THE QUANTITY SHOWN ON THE PLANT SCHEDULE. QUANTITIES LISTED ON PLANS SUPERSEDE THOSE ON PLANT MATERIALS LIST. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- FERTILIZE ALL PLANT MATERIALS AND TURF WITH MILORGANITE FERTILIZER AT MANUFACTURERS RECOMMENDED RATE.
- REFER TO IRRIGATION CONCEPT PLAN FOR AREAS AND METHODS FOR IRRIGATION.
- APPLY MYKE (OR EQUAL) MYCORRHIZAL FUNGI TO PLANT MATERIAL PER THE MANUFACTURERS INSTRUCTIONS.
- PROTECT AND SAVE THE EXISTING PLANT MATERIALS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL. THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TREE SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- PLANTING BEDS ARE TO BE FREE OF WEEDS AND GRASS. DO NOT INSTALL WEED BARRIER IN PLANTING AREAS.
- PERMANENT IRRIGATION SYSTEM WILL BE INSTALLED FOR A PORTION OF THE SITE - SEE SITE IRRIGATION PLAN. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS LOCATED IN AREAS OUTSIDE OF THE IRRIGATION SYSTEM COVERAGE. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS HEALTHY CONDITION UNTIL PROJECT COMPLETION AND OWNER TAKES POSSESSION.
- TREE DIAMETER MEASUREMENT SHALL BE TAKEN FROM DBH (DIAMETER AT BREST HEIGHT OF 4.5' ABOVE GROUND).



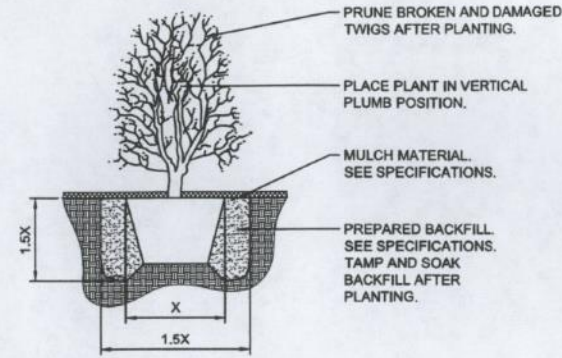
TREE PLANTING NOTES

- TREES THAT NATURALLY GROW WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF CENTRAL LEADER IS PRUNED, DAMAGED, OR DOES NOT EXIST.
- INSTALL TREE SO TOP OF ROOT BALL IS SLIGHTLY HIGHER THAN ADJACENT GRADE.

1 TREE PLANTING DETAIL

1" = 1'-0"

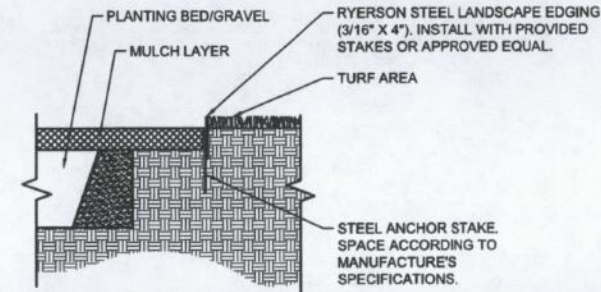
329343-01



2 SHRUB PLANTING DETAIL

1" = 1'-0"

329333-01



3 STEEL EDGING DETAIL

1" = 1'-0"

DETAIL-FILE

PLANT SCHEDULE							
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	CER OKL	<i>Cercis canadensis texensis</i> 'Oklahoma'	Oklahoma Texas Redbud	1.5' Cal.	B&B	2	
	JUN SK2	<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	6' HL	B&B	5	
	PIC PUB	<i>Picea pungens</i> 'Baker'	Baker Colorado Spruce	1.5' Cal.	B&B	2	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	BOU BLO	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama	2 gal.	Pot	51	
	BUD BCJ	<i>Buddleja x 'Blue Chip Jr.'</i> TM	Blue Chip Jr. Lo & Behold Butterfly Bush	2 gal.	Pot	29	
	COR KLS	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	2 gal.	Pot	8	
	COR FAR	<i>Cornus stolonifera</i> 'Farrow' TM	Arctic Fire Red Twig Dogwood	2 gal.	Pot	2	
	HYP FRO	<i>Hypericum frondosum</i> 'Sunburst'	Sunburst St. John's Wort	2 gal.	Pot	13	
	SCH SCO	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Bluestem	2 gal.	Pot	39	
SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	COR ZAG	<i>Coreopsis verticillata</i> 'Zagreb'	Zagreb Tickseed	1 gal.	Pot	18" o.c.	50

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
	STONE (LANDSCAPE)(MEXICAN BEACH)(2'-3')	1.97 cy
	STEEL EDGING	126 lf
	SHOVEL-CUT EDGING	174 lf
	DECORATIVE BOULDER (SMALL)	4

SEED/SOD SCHEDULE

	PRAIRIE DROPSSEED/ CONEFLOWER MIX <i>Echinacea purpurea</i> 'Magnus' / <i>Magnus Purple Coneflower</i> <i>Sporobolus heterolepis</i> / <i>Prairie Dropseed</i>	228 sf 158 79	2 gal., Pot 2 gal., Pot	66% @ 12" oc 33% @ 12" oc
	SOD - FESCUE KANSAS PREMIUM FESCUE BLEND- INCLUDING BLUE GRASS. SOURCED LOCALLY	2,621 sf		

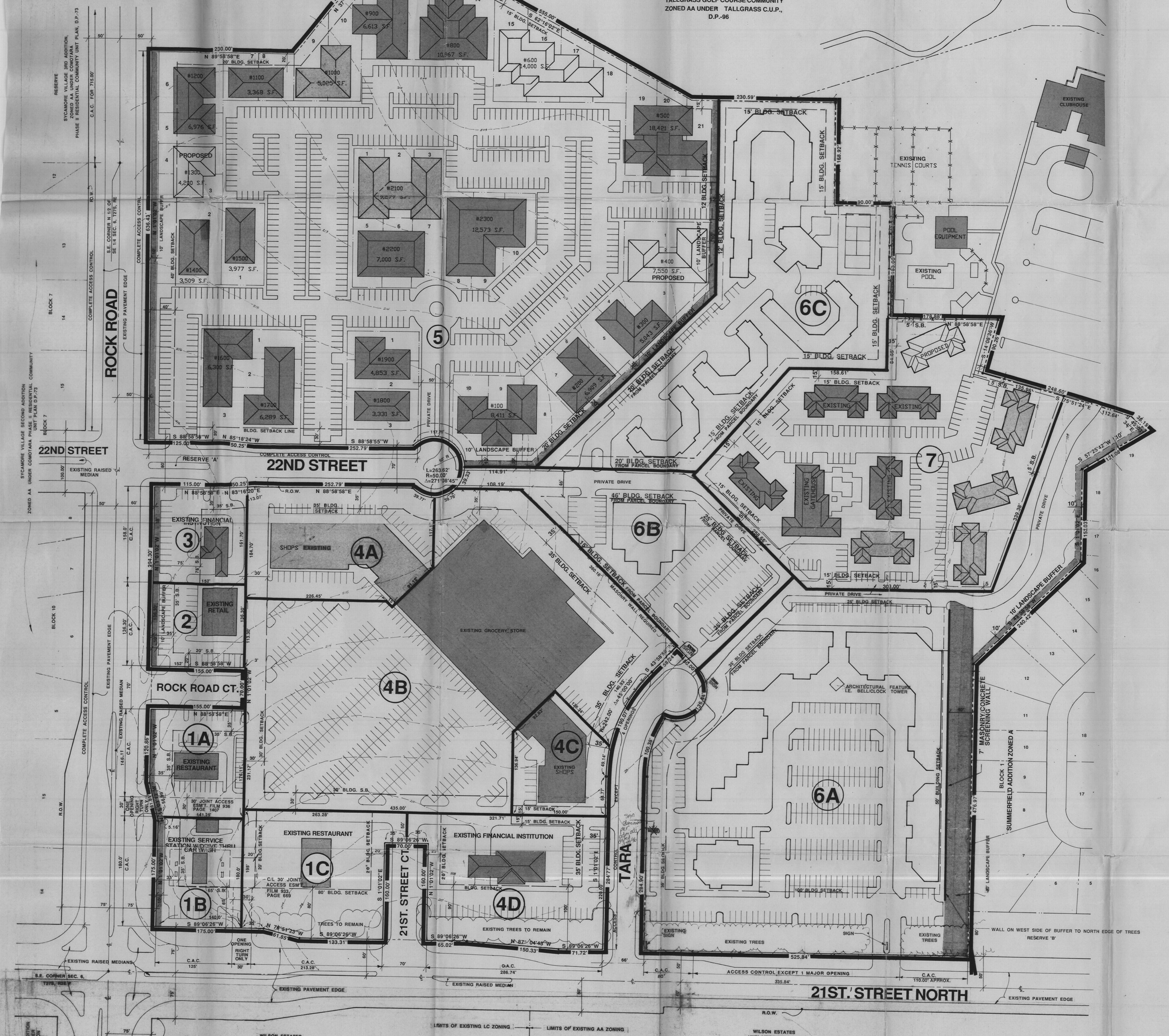


page 2 of 2

TALLGRASS GOLF COURSE COMMUNITY
ZONED AA UNDER TALLGRASS C.U.P.,
D.P.-86

GENERAL PROVISIONS

- 1. THE PROPOSED DEVELOPMENT CONTAINS PARCELS WITH LIGHT COMMERCIAL AND OFFICE USES. SEE SPECIFIC USES BY PARCEL DESCRIPTION.
- 2. THE PROPOSED DEVELOPMENT CONTAINS PARCELS WITH LIGHT COMMERCIAL AND OFFICE USES. SEE SPECIFIC USES BY PARCEL DESCRIPTION.
- 3. RETRACTIONS:
 - A. NORTH AND SOUTH SETBACKS ON PARCELS 1A THROUGH 1D SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS IT SHALL ALLOW ROOF OVERHANGS AS SHOWN ON PLAN. ALL OTHER PARCELS SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS OTHERWISE SPECIFIED ON PLAN. ALL OTHER PARCELS SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS OTHERWISE SPECIFIED ON PLAN.
 - B. NORTH AND SOUTH SETBACKS ON PARCELS 1A THROUGH 1D SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS IT SHALL ALLOW ROOF OVERHANGS AS SHOWN ON PLAN. ALL OTHER PARCELS SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS OTHERWISE SPECIFIED ON PLAN.
 - C. NORTH AND SOUTH SETBACKS ON PARCELS 1A THROUGH 1D SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS IT SHALL ALLOW ROOF OVERHANGS AS SHOWN ON PLAN. ALL OTHER PARCELS SHALL BE 10 FEET FROM THE NORTH AND SOUTH PROPERTY LINES, UNLESS OTHERWISE SPECIFIED ON PLAN.
- 4. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 5. SIGNAGE:
 - A. SIGNAGE IS PERMITTED IN THE LANDSCAPE AREA ALONG THE SOUTH SIDE OF PARCELS 1A THROUGH 1D. SEE SIGNAGE PLAN FOR PARCELS 1A THROUGH 1D FOR FURTHER INFORMATION.
 - B. SIGNAGE SHALL NOT EXCEED 30 FEET IN HEIGHT NOR SHALL THERE BE ANY ATTACHED FLASHING LIGHTS PERMITTED. SIGNAGE FOR PARCELS 1A THROUGH 1D SHALL BE 30 FEET TALLER THAN 30 FEET IN HEIGHT (EXCEPTION: SEE C.P. 23, PARCEL 1).
 - C. THE SIGN SHALL BE PERMITTED IN THE LANDSCAPE AREA ALONG THE SOUTH SIDE OF PARCELS 1A THROUGH 1D. SEE SIGNAGE PLAN FOR PARCELS 1A THROUGH 1D FOR FURTHER INFORMATION.
 - D. SIGNAGE SHALL NOT EXCEED 30 FEET IN HEIGHT NOR SHALL THERE BE ANY ATTACHED FLASHING LIGHTS PERMITTED. SIGNAGE FOR PARCELS 1A THROUGH 1D SHALL BE 30 FEET TALLER THAN 30 FEET IN HEIGHT (EXCEPTION: SEE C.P. 23, PARCEL 1).
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- 7. OPERATIONS AS REFERRED TO IN THE COMMUNITY DEVELOPMENT PLAN SHALL BE LIMITED TO THE USES SPECIFIED IN THE COMMUNITY DEVELOPMENT PLAN.
- 8. ALL DRIVEWAYS AND DRIVEWAY EASEMENTS SHALL BE PERMITTED TO BE MAINTAINED AND OPERATED BY THE OWNERS ASSOCIATION.
- 9. ALL DRIVEWAYS AND DRIVEWAY EASEMENTS SHALL BE PERMITTED TO BE MAINTAINED AND OPERATED BY THE OWNERS ASSOCIATION.
- 10. ALL DRIVEWAYS AND DRIVEWAY EASEMENTS SHALL BE PERMITTED TO BE MAINTAINED AND OPERATED BY THE OWNERS ASSOCIATION.
- 11. SCHEDULING:
 - A. AFTER 5:00 P.M. (OR 6:00 P.M. IF THE DEVELOPMENT IS TO BE OPENED TO THE PUBLIC) AND BEFORE 6:00 A.M. (OR 7:00 A.M. IF THE DEVELOPMENT IS TO BE OPENED TO THE PUBLIC), NO NOISE, VIBRATION, OR LIGHT POLLUTION SHALL BE PERMITTED TO EXCEED THE LEVELS SPECIFIED IN THE CITY CODE. THIS PROVISION SHALL NOT APPLY TO THE OPERATION OF THE DEVELOPMENT OR TO THE OPERATION OF THE DEVELOPMENT.
 - B. THE DEVELOPMENT SHALL BE OPERATED IN A MANNER THAT DOES NOT CAUSE UNREASONABLE NOISE, VIBRATION, OR LIGHT POLLUTION TO ADJACENT PROPERTIES.
 - C. THE DEVELOPMENT SHALL BE OPERATED IN A MANNER THAT DOES NOT CAUSE UNREASONABLE NOISE, VIBRATION, OR LIGHT POLLUTION TO ADJACENT PROPERTIES.
- 12. THE DEVELOPMENT SHALL BE OPERATED IN A MANNER THAT DOES NOT CAUSE UNREASONABLE NOISE, VIBRATION, OR LIGHT POLLUTION TO ADJACENT PROPERTIES.
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- 30. THE DEVELOPMENT SHALL BE OPERATED IN A MANNER THAT DOES NOT CAUSE UNREASONABLE NOISE, VIBRATION, OR LIGHT POLLUTION TO ADJACENT PROPERTIES.



TOTAL ACRES = 42.73 (1,861,469.88 SQ. FT.)

prints issued
14 - METRO. AREA
PLANNING COMMISSION

revisions
MAY 30, 1999
OCT. 23, 1999
FEB. 8, 1994

date drawn
MAY 15, 1999

JKA
JEFF KREHBIEL
ASSOCIATES, AIA
architecture + planning

1300 EAST LEWIS WICHITA KANSAS 67203
(316) 267-9333

TALLGRASS COMMERCIAL AND
OFFICE PLAN
COMMERCIAL COMMUNITY UNIT PLAN AMENDMENT NO. 2, 3
OWNER: SALMON COMMERCIAL DEVELOPMENT CO. 104 S.
BROADWAY WICHITA, KANSAS 67202

sheet title
COMMUNITY
UNIT PLAN

sheet
1

of 1 sheets

WILSON ESTATES
LC ZONING UNDER COMMERCIAL
C.U.P., DP-181
DP 92 AMEND #8
APPROVED CUD

REVISION DATE

PHASE 2 SHELL BUILDING
THE SHOP AT BELPRESS
 8336 EAST 21st STREET NORTH
 WICHITA, KANSAS

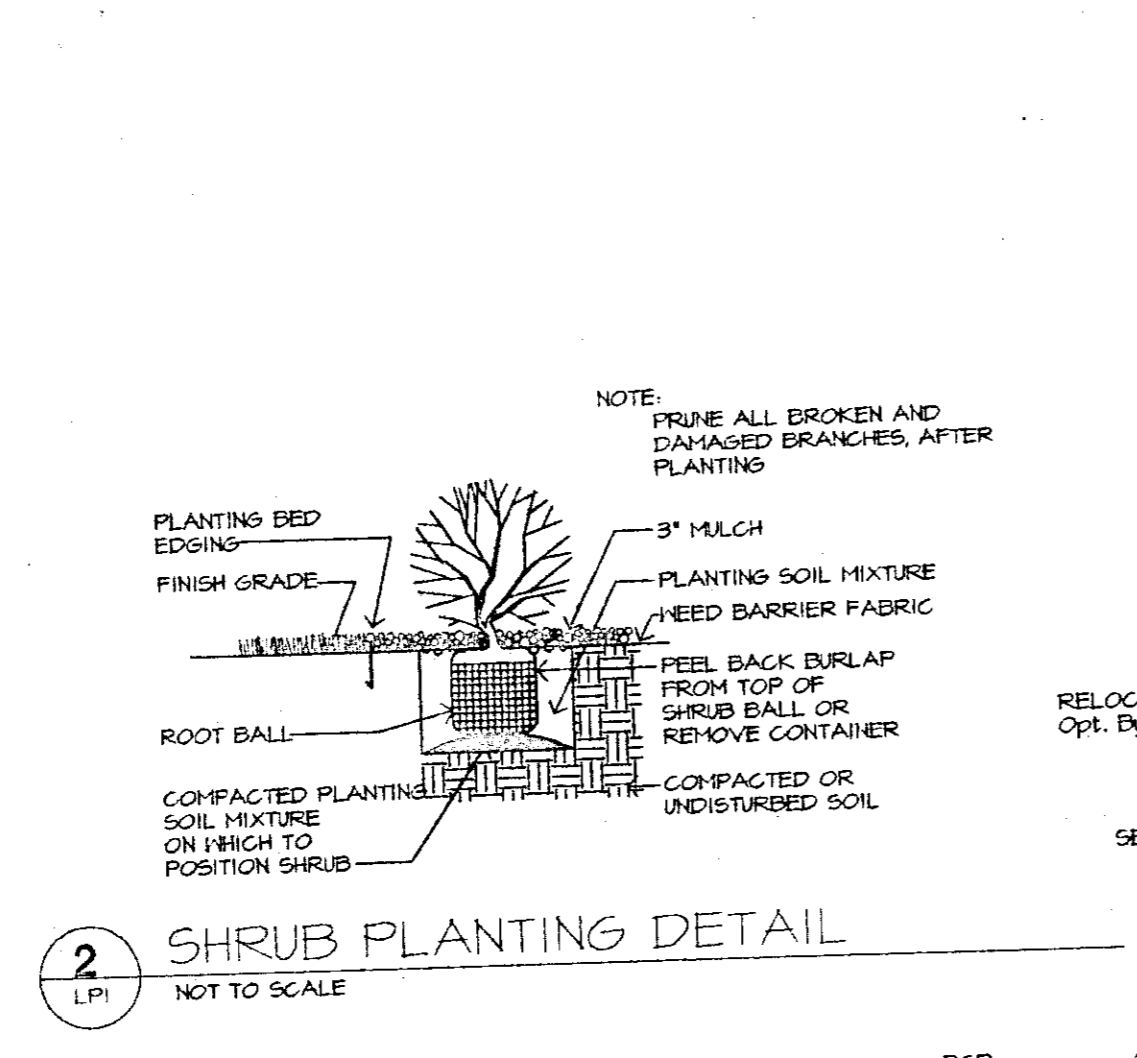
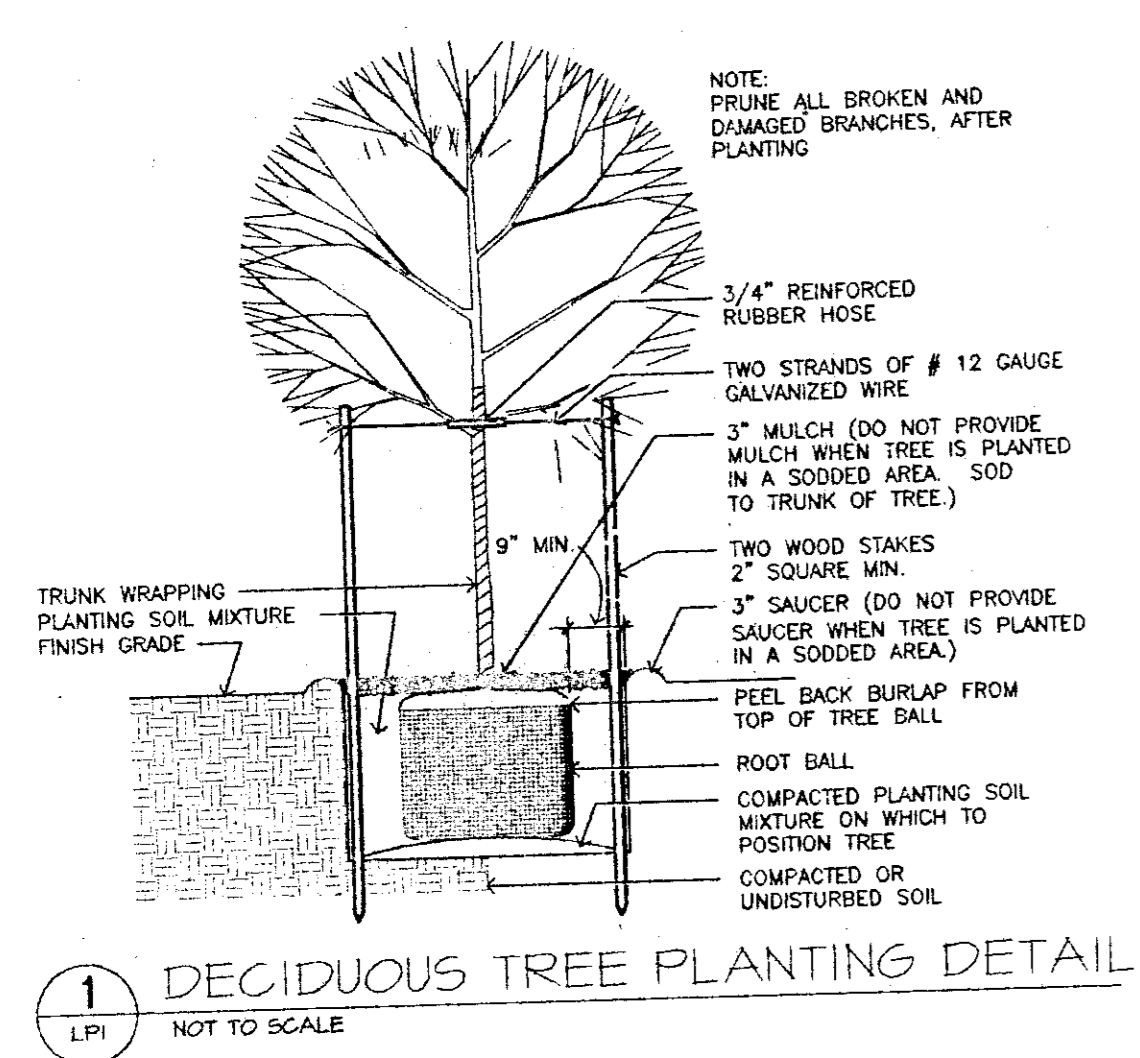
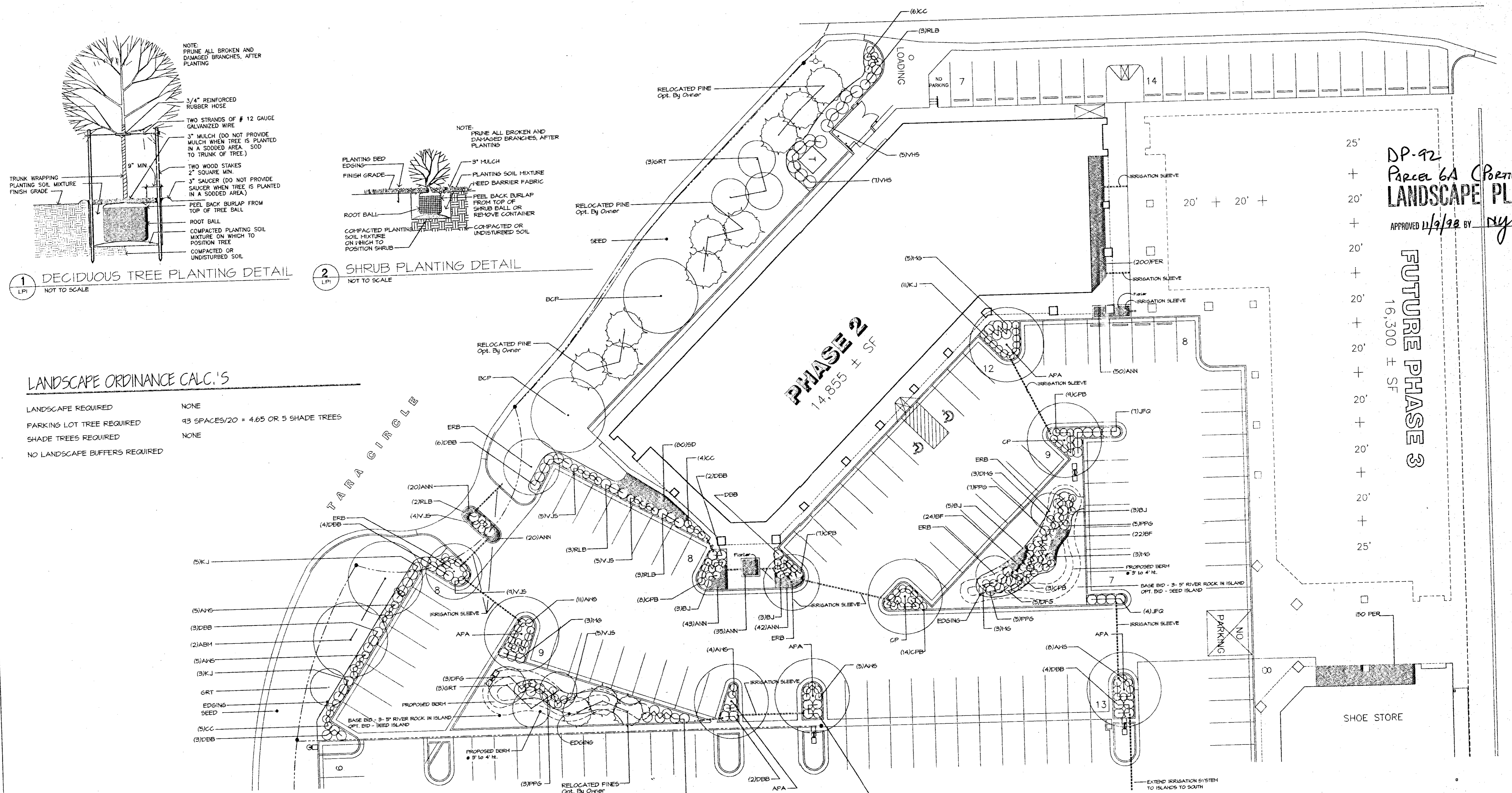
RODGER A. BROOKS / ARCHITECT
 1180 SW 10th STREET, AUGUSTA, KS 67010-9004
 316-775-6382 fax: 775-6161 pager: 685-4053

PROJECT NUMBER
3742105
 ISSUE DATE
07-13-99

LANDSCAPE PLAN
LPI

DP-92
 Parcel 6A (Portion)
LANDSCAPE PLAN
 APPROVED 11/9/98 BY *[Signature]*

FUTURE PHASE 3
 16,300 ± SF



LANDSCAPE ORDINANCE CALC.'S

LANDSCAPE REQUIRED	NONE
PARKING LOT TREE REQUIRED	93 SPACES/20 = 4.65 OR 5 SHADE TREES
SHADE TREES REQUIRED	NONE
NO LANDSCAPE BUFFERS REQUIRED	

GENERAL LANDSCAPE NOTES

- All work shall be done in accordance with these Landscape Specifications and Local Industry Standards.
- Landscape Contractor shall submit bid with unit prices for all plants which include mulch, installation, guarantee, etc.
- Prior to any excavation for landscaping purposes, the location of underground utilities shall be determined by calling the local utility companies. Contractor shall be responsible for any damage done to existing utilities.
- The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
- Report any discrepancies in the planting plan to the Owner's representative prior to starting construction.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic representing local soils which produce heavy growth of crops, grass or other vegetation. It shall be free of subsoil, clay lumps, brush, weeds, roots, stones, trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Owner's representative.
- Plastic edging shall be used to separate all turf areas from planting beds. Edging shall be "Kobra Commercial Heavy Duty Grade" from Old Dutch Materials Co. or approved equal.
- All planting beds shall be prepared by killing off existing vegetation with Round-Up (or equal) according to label directions. A pre-emergent herbicide shall be applied per label directions.
- Contractor to install Derritt Weed Barrier Fabric or approved equal in all planting beds prior to mulching.
- Mulch 4\" deep around trees and 2\" deep in all shrub planting beds with shredded cypress mulch.
- All grass areas called out as "Seed" are to be seeded and fertilized as follows:
 SEEDING: Local Fescue Variety/Plant Same Variety as First Phase
 FERTILIZER: 16-20-6 ratio - 1/1000 sq. ft. or approved equal.
- Irrigation - Water for establishment and maintenance of plant materials on this project will be provided by an irrigation system. It is intended that the Contractor provide the design, all labor, materials and equipment required to construct a complete and operational automatic irrigation system. The automatic irrigation system shall be designed to irrigate all new grass and planted areas. Care should be taken in the irrigation design to ensure that no water is sprayed on the building, fences, walls, walkways or paved areas. Prior to installation, the Contractor shall submit for approval to the Architect an irrigation layout plan, irrigation equipment details, and a booklet containing catalog cuts, performance charts and technical information in sufficient detail to determine system suitability for this project. The irrigation system shall be equipped with moisture-sensing devices or automatic rain shut-off devices as well as a freeze detector.

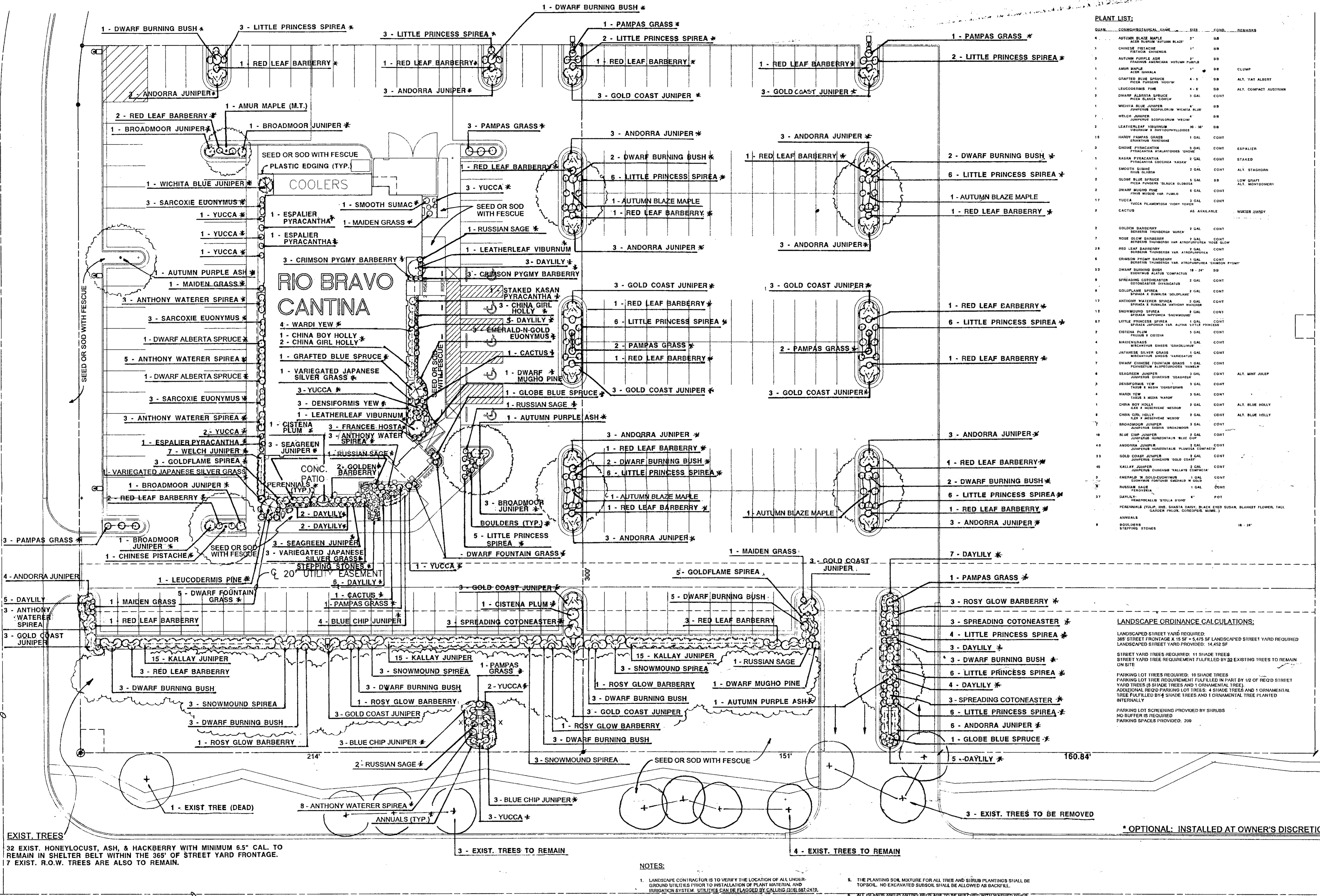
PLANT LIST

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TR	2	CHINESE PISTACHE	<i>Pistacia chinensis</i>	2" to 2 1/2" col.	Balled-in-Burlap
CP	2	BALDIPRESS	<i>Taxodium distichum</i>	2" to 2 1/2" col.	Balled-in-Burlap
BCP	2	BALDIPRESS	<i>Taxodium distichum</i>	2" to 2 1/2" col.	Balled-in-Burlap
ADM	2	AUTUMN BRAZE MAPLE	<i>Acer plantanoides</i>	8"-10" tall, Multi-Stem	Balled-in-Burlap
ERB	5	EASTERN REDBUD	<i>Cercis canadensis</i>	2" to 2 1/2" col.	Balled-in-Burlap
AFA	5	AUTUMN PURPLE ASH	<i>Fraxinus sp.</i>	2" to 2 1/2" col.	Balled-in-Burlap
GRT	6	GOLDEN RAINTREE	<i>Koeleruteria paniculata</i>	8"-10" tall, Multi-Stem	Balled-in-Burlap
SEEDS					
JFD	11	JAPANESE FLOWERING QUINCE	<i>Chaenomeles japonica</i>	3 gal.	Container
BJ	14	BROADWOOD JUNIPER	<i>Juniperus sabinia</i> "Broadmoor"	3 gal.	Container
CC	15	CRANBERRY COTONEASTER	<i>Cotoneaster apiculatus</i>	3 gal.	Container
VJS	28	VARIEGATED JAPANESE SILVER GRASS	<i>Miscanthus sinensis</i> "Variegatus"	3 gal.	Container
AWS	3	ANTHONY WATERER SPIREA	<i>Spiraea bumalda</i> "Anthony Waterer"	3 gal.	Container
DBB	29	DWARF BURNING BUSH	<i>Euonymus alatus</i> "compactus"	3 gal.	Container
KJ	19	KALLAY JUNIPER	<i>Juniperus chinensis</i> "Kallay's Compacta"	3 gal.	Container
RLB	20	RED LEAF BARBERRY	<i>Berberis thunbergii</i> var <i>Atropurpurea</i>	3 gal.	Container
VJS	12	VANHOUTE SPIREA	<i>Spiraea nipponica</i> "Vanhouttei"	3 gal.	Container
MG	20	MADEN GRASS	<i>Miscanthus sinensis</i> "Gracillimus"	3 gal.	Container
DFG	11	DWARF FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i> "Horneli"	3 gal.	Container
PPG	20	PAMPASS GRASS	<i>Carlodaria selbiana</i>	3 gal.	Container
CFB	41	CRIMSON PYGMY BARBERRY	<i>Berberis thunbergii</i> "nana"	3 gal.	Container
DMS	11	DWARF MINNESOTA SNOWFLAKE	<i>Phloxidaphne x virginica</i> "nana"	3 gal.	Container
BF	80	BLUE FESCUE	<i>Festuca ovina</i>	1 gal.	Container
OTHERS					
ANN	238	ASSORTED ANNUALS	Local Variety's, assorted colors	4" pots, 12" o.c.	Pots
SD	80	SEDUM	Sedum acre	4" pots, 12" o.c.	Pots
PER	SD	PERIWINKLE	Vinca Major	4" pots, 12" o.c.	Pots

***IF THERE ARE ANY DISCREPANCIES IN PLANT QUANTITIES, THE PLANTING PLAN WILL DICTATE.

LANDSCAPE PLAN 1/20

TARA CIRCLE



PLANT LIST:

QUAN.	COMMON/SCIENTIFIC NAME	SIZE	COND.	REMARKS
1	AUTUMN BLAZE MAPLE	2"	DB	
1	LEAF RUBUM AUTUMN BLAZE	2"	DB	
1	CHINESE PISTACHE	1"	DB	
1	FRAXINUS AMERICANA AUTUMN PUMILIO	1"	DB	
1	AMUR MAPLE	1"	DB	CLUMP
1	ACER GINSELA	1"	DB	
1	GRAFTED BLUE SPRUCE	4-5	DB	ALT. FAT ALBERT
1	LEUCODERMIS PINE	4-5	DB	ALT. COMPACT AUSTRIAN
1	DWARF ALBERTA SPRUCE	3 GAL	CONT	
1	PICEA ALBICA	3 GAL	CONT	
1	WICHITA BLUE JUNIPER	4"	DB	
1	JUNIPERUS HORIZONTALIS WICHITA BLUE	4"	DB	
1	WELCH JUNIPER	4"	DB	
1	LEATHERLEAF VIBURNUM	4-6-30"	DB	
1	VIBURNUM X BURTIROPHILLOIDES	4-6-30"	DB	
1	HARDY PALMIA CRASSA	1 GAL	CONT	
1	ERANTHIS TAVEGAE	1 GAL	CONT	
1	ONOME PYRACANTHA	1 GAL	CONT	ESPALIER
1	FRAXINUS AMERICANA ONOME	1 GAL	CONT	STAKED
1	NASAA PYRACANTHA	1 GAL	CONT	STAKED
1	FRAXINUS AMERICANA NASAA	1 GAL	CONT	STAKED
1	SMOOTH SUMAC	1 GAL	CONT	ALT. STAGHORN
1	RUBUS ILLINOENSIS	1 GAL	CONT	
1	GLOBE BLUE SPRUCE	1 GAL	DB	LOW GRAFT
1	PICEA PUMILIO BLANCA GLOBOSA	1 GAL	DB	ALT. MONTGOMERY
1	DWARF MUGHO PINE	1 GAL	CONT	
1	PRUNUS MUGHO VAR. PUMLO	1 GAL	CONT	
1	YUCCA	1 GAL	CONT	
1	YUCCA FLAMMEOLA 'TODD TORO'	1 GAL	CONT	
1	CACTUS	AS AVAILABLE		WINTER HARDY
1	GOLDEN BARBERRY	1 GAL	CONT	
1	BERTONIA THUNDERBOLT	1 GAL	CONT	
1	ROSE OLIVE BARBERRY	1 GAL	CONT	
1	BERTONIA THUNDERBOLT VAR. ATROPURPUREA	1 GAL	CONT	NOSE SLOW
1	RED LEAF BARBERRY	1 GAL	CONT	
1	BERTONIA THUNDERBOLT VAR. ATROPURPUREA	1 GAL	CONT	
1	CRIMSON PYGMY BARBERRY	1 GAL	CONT	
1	DWARF BURNING BUSH	1 GAL	CONT	
1	EQUICESTRIS ALATA COMPACTUS	18-24"	DB	
1	SPREADING COTONEASTER	1 GAL	CONT	
1	COTONEASTER SPYRACANTHA	1 GAL	CONT	
1	GOLDFLAME SPIREA	1 GAL	CONT	
1	SPYRACA X ROSAURIA GOLDFLAME	1 GAL	CONT	
1	ANTHONY WATERER SPIREA	1 GAL	CONT	
1	JAPANESE SILVER GRASS	1 GAL	CONT	
1	MOCHLODENDRON SILVER GRASS	1 GAL	CONT	
1	DWARF CHINESE FOUNTAIN GRASS	1 GAL	CONT	
1	PENSTEMON ALBOVITATUS 'HARLE'	1 GAL	CONT	ALT. WINT. JULEP
1	SEAGREEN JUNIPER	1 GAL	CONT	
1	PERNANDESA CHINESE 'SEAGREEN'	1 GAL	CONT	
1	DEFORMIS YEW	1 GAL	CONT	
1	TAXUS MEDIA 'SUNSHINE'	1 GAL	CONT	
1	HAND YEW	1 GAL	CONT	
1	TAXUS MEDIA 'WARD'	1 GAL	CONT	
1	CHINA BOY HOLLY	1 GAL	CONT	ALT. BLUE HOLLY
1	ILEX X BREVIFLORUS MESOP.	1 GAL	CONT	ALT. BLUE HOLLY
1	CHINA GIRL HOLLY	1 GAL	CONT	ALT. BLUE HOLLY
1	ILEX X BREVIFLORUS MESOP.	1 GAL	CONT	ALT. BLUE HOLLY
1	BROADMOOR JUNIPER	1 GAL	CONT	
1	JUNIPERUS HORIZONTALIS BROADMOOR	1 GAL	CONT	
1	BLUE CHIP JUNIPER	1 GAL	CONT	
1	JUNIPERUS HORIZONTALIS BLUE CHIP	1 GAL	CONT	
1	ANDORRA JUNIPER	1 GAL	CONT	
1	JUNIPERUS HORIZONTALIS PLUMOSA COMPACTA	1 GAL	CONT	
1	GOLD COAST JUNIPER	1 GAL	CONT	
1	JUNIPERUS CHINENSIS GOLD COAST	1 GAL	CONT	
1	KALLAY JUNIPER	1 GAL	CONT	
1	JUNIPERUS CHINESE 'KALLAY COMPACTA'	1 GAL	CONT	
1	EMERALD M. GOLD EUCONYMUS	1 GAL	CONT	
1	EUCONYMUS FORTUNEI EMERALD M.	1 GAL	CONT	
1	RUSSIAN SAGE	1 GAL	CONT	
1	PEROVSKIA	1 GAL	CONT	
1	DAYLILY	1"	POT	
1	'HEALTHYCALLOUS' SHEILA GOOD	1"	POT	
1	PERENNIAL STULP. (BEE, SHASTA DASHY, BLACK EYED SUSAN, BLANKET FLOWER, TALL GARDEN PHLOX, COREOPSIS, MUMS.)			
1	ANNUALS			
1	BOULDERS	18-24"		
1	STEPPING STONES			

LANDSCAPE ORDINANCE CALCULATIONS:

LANDSCAPED STREET YARD REQUIRED: 365 STREET FRONTAGE X 15 SF = 5,475 SF LANDSCAPED STREET YARD REQUIRED
 LANDSCAPED STREET YARD PROVIDED: 14,452 SF

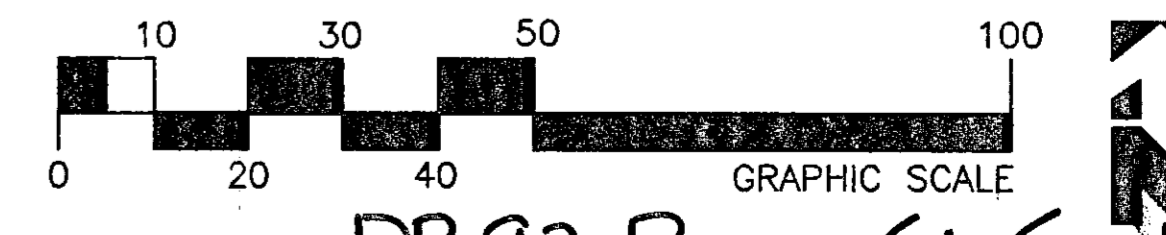
STREET YARD TREES REQUIRED: 11 SHADE TREES
 STREET YARD TREE REQUIREMENT FULFILLED BY 22 EXISTING TREES TO REMAIN ON SITE

PARKING LOT TREES REQUIRED: 10 SHADE TREES
 PARKING LOT TREE REQUIREMENT FULFILLED IN PART BY 1/2 OF REQ'D STREET YARD TREES (5 SHADE TREES) AND 1 ORNAMENTAL TREE
 ADDITIONAL REQ'D PARKING LOT TREES: 4 SHADE TREES AND 1 ORNAMENTAL TREE FULFILLED BY 5 EXISTING TREES AND 1 ORNAMENTAL TREE PLANTED INTERNALLY

PARKING LOT SCREENING PROVIDED BY SHRUBS
 NO BUFFER IS REQUIRED
 PARKING SPACES PROVIDED: 200

* OPTIONAL: INSTALLED AT OWNER'S DISCRETION

- NOTES:**
- LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL AND IRRIGATION SYSTEM. UTILITIES CAN BE FLAGGED BY CALLING 685-2478.
 - THE PROPOSED LANDSCAPE PLAN IS TO BE IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM. THIS SYSTEM SHALL INCLUDE AN AUTOMATIC RAIN SENSOR DEVICE. THE AREAS TO BE IRRIGATED INCLUDE ALL PARKING ISLANDS, ALL SHRUB BEDS, AND ALL AREAS OF SEED OR SOD AS INDICATED ON THIS PLAN.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A MINOR STREET PRIVILEGE PERMIT FROM THE CITY ENGINEER'S OFFICE PRIOR TO ANY TREE PLANTING, OR OR ANY OTHER PERMANENT STRUCTURE IN THE PUBLIC RIGHT-OF-WAY.
 - THE PROPOSED PARKING ISLANDS NEED TO BE EXCAVATED TO A DEPTH 3" BELOW THE TOP OF THE PROPOSED ISLAND CURB OR TO A DEPTH SUFFICIENT TO REMOVE ALL TRACES OF SOIL STABILIZATION MATERIAL AND COMPACTED SOIL WITHIN THE LIMITS OF THE ISLAND PERIMETER. THE ISLANDS SHALL BE BACKFILLED WITH TOPSOIL PRIOR TO PLANTING OPERATIONS.
 - THE PLANTING SOIL MIXTURE FOR ALL TREE AND SHRUB PLANTINGS SHALL BE TOPSOIL. NO EXCAVATED SUBSOIL SHALL BE ALLOWED AS BACKFILL.
 - ALL HEADS AND PLANTING BEDS ARE TO BE MULCHED WITH WASHED RIVER ROCK TO A MINIMUM DEPTH OF 2". THE AUTUMN PURPLE ASH IN THE GRASSED ISLAND IS TO BE MULCHED WITH SHREDDED COPPERS MULCH TO A MINIMUM DEPTH OF 4". WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL ISLANDS AND PLANTING BEDS EXCLUDING ANNUAL BEDS. PLASTIC EDGING IS TO BE INSTALLED WHERE PLANTING BEDS MEET AREAS OF SOD OR SEED.
 - LOCATE CONCRETE FLOWS AND/OR FLEXIBLE EXTENSIONS AT ALL DOWN SPOUTS WITHIN PLANTING BEDS TO DIVERT WATER OUT OF BEDS.
 - EXISTING TREES TO BE REMOVED HAVE BEEN MARKED ON SITE. VERIFY THOSE TO REMAIN WITH OWNER OR ARCHITECT. PRUNE FROM EXISTING TREES TO REMAIN ALL DEAD AND DAMAGED VEGETATION. TRIM ALL SUCKERING VEGETATION UP TO A MINIMUM OF 6 FEET.



DP-92 PARCEL 6A (portion)
LANDSCAPE PLAN
 1" = 20'-0"

APPROVED 4/2/96 BY *[Signature]*

PART OF LOT 1 AND ALL OF LOT 2, BLOCK 1 OF THE SHOPS AT TALLGRASS ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, 379SP3

1 SITE PLAN - LANDSCAPE

Proposed Rio Bravo Cantina
J. S. VENTURES, INC.
 2400 N. Woodlawn - Suite 140
 Wichita, Kansas 67220
 TELEPHONE 316-683-7799 FAX 316-683-9969

RIO BRAVO CANTINA

RODGER A. BROOKS / ARCHITECT
 Professional Building
 200 South Rock Road
 Wichita, Kansas 67207-1160 / 316-684-7525

PROJECT NUMBER	95379
ISSUE DATE	5-1-96
REVISION DATE	
1	-
2	-
3	-
4	-
5	-
SHEET	SD4
OF	-

MAPD 1 of 1

LANDSCAPE ORDINANCE CALCULATIONS:

LANDSCAPED STREET YARD REQ'D:
160.84' STREET FRONTAGE X 15 SF = 2412.60 SF LANDSCAPED STREET YARD REQ'D.
LANDSCAPED STREET YARD PROVIDED: 10,584 SF

STREET YARD TREES REQ'D: 2412.60 / 500 = 4.8 OR 5 SHADE TREES
STREET YARD TREE REQUIREMENT FULFILLED BY 6 EXIST. SHELTER BELT TREES TO REMAIN ON SITE

PARKING LOT TREES REQ'D: 35 / 20 = 1.75 OR 2 SHADE TREES
PARKING LOT TREE REQUIREMENT FULFILLED BY 1/2 OF REQ'D STREET YARD TREES

PARKING LOT SCREENING PROVIDED BY SHRUBS
LANDSCAPE BUFFER REQUIREMENT (INSTALLED) SUBMITTED BY SEPARATE INSTRUMENT
PARKING LOT STALLS: 35

HATCHED AREA IS "COMMON PARKING" AND COMMON APPROACH (EXISTING)

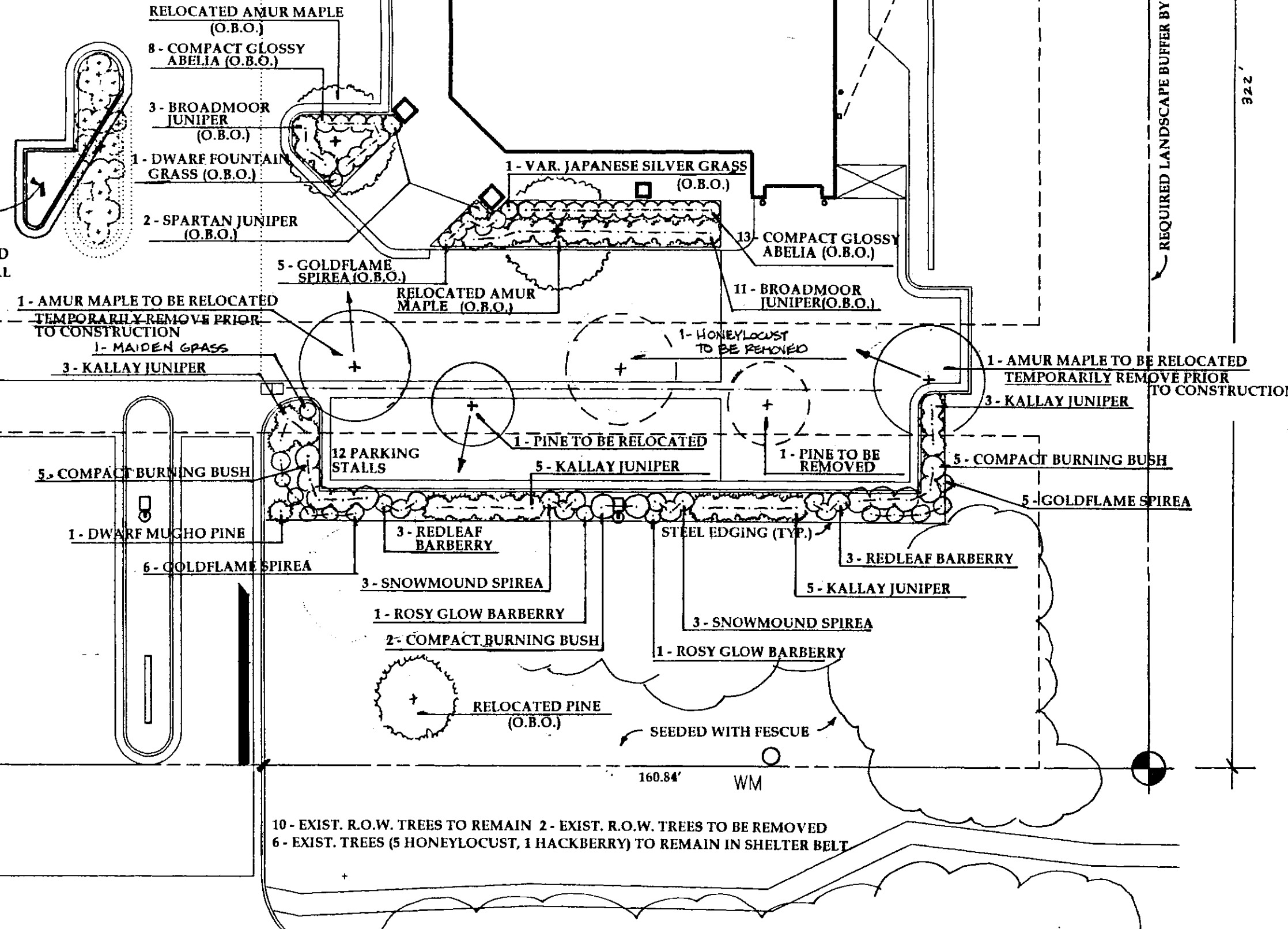
PLANT LIST:
OPTIONAL BY OWNER:

QTY	COMMON/BOTANICAL NAME	SIZE	CONT.
2	SPARTAN JUNIPER <i>JUNIPERUS CHINENSIS 'SPARTAN'</i>	4'-5"	BB
14	BROADMOOR JUNIPER <i>JUNIPERUS SABINA 'BROADMOOR'</i>		3 GAL. CONT.
21	COMPACT GLOSSY ABELIA <i>ABELIA X GRANDIFLORA</i>		3 GAL. CONT.
1	VARIEGATED JAPANESE SILVER GRASS <i>MISCANTHUS SINENSIS 'VARIEGATUS'</i>		3 GAL. CONT.
1	DWARF FOUNTAIN GRASS <i>PENISSETUM ALOPECUROIDES 'HAMELN'</i>		3 GAL. CONT.
5	GOLDFLAME SPIREA <i>SPIRAEA X BUMALDA 'GOLDFLAME'</i>		3 GAL. CONT.

REQUIRED BY CITY:

16	KALLAY JUNIPER <i>JUNIPERUS CHINENSIS 'KALLAY'S COMPACTA'</i>		2 GAL. CONT.
11	GOLDFLAME SPIREA <i>SPIRAEA X BUMALDA 'GOLDFLAME'</i>		2 GAL. CONT.
12	COMPACT BURNING BUSH <i>EGONOPSIS ALATUS 'COMPACTUS'</i>	18 - 24" BB	
6	RED LEAF BARBERRY <i>BERBERIS THUNBERGII VAR. ATRORUPUREA</i>		2 GAL. CONT.
2	ROSY GLOW BARBERRY <i>BERBERIS THUNBERGII VAR. ATRORUPUREA 'ROSE GLOW'</i>		2 GAL. CONT.
6	SNOWMOUND SPIREA <i>SPIRAEA NIIPPONICA 'SNOWMOUND'</i>		2 GAL. CONT.
1	MAIDEN GRASS <i>MISCANTHUS SINENSIS 'GRACILLIMUS'</i>		2 GAL. CONT.
1	DWARF MUGHO PINE <i>PINUS MUGHO VAR. PUMILO</i>		5 GAL. CONT.

EXIST. TREE & SHRUBS IN THIS ISLAND TO BE TEMPORARILY REMOVED BY LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, THEN RELOCATED IN SAME ISLAND AFTER ITS RECONFIGURATION IS COMPLETE. PRIOR TO REPLANTING, REMOVE FROM ISLAND ALL TRACES OF SOIL STABILIZATION MATERIAL & COMPACTED SOIL. BACKFILL ISLAND WITH TOPSOIL PRIOR TO PLANTING OPERATIONS.



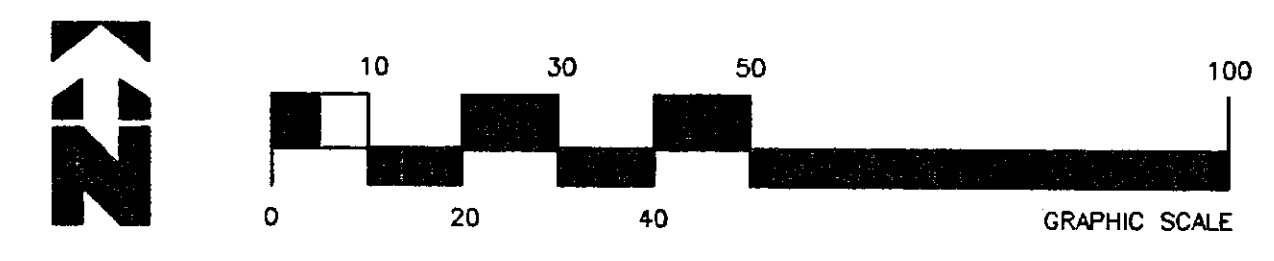
DP-92
Portion of Parcel 6A
LANDSCAPE PLAN
APPROVED 9/10/97 BY ay

NOTES:

- LANDSCAPE AND/OR IRRIGATION CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL AND IRRIGATION SYSTEM.
- THE PROPOSED LANDSCAPE PLAN IS TO BE IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM. THIS SYSTEM SHALL INCLUDE AN AUTOMATIC RAIN SENSOR DEVICE. THE AREAS TO BE IRRIGATED INCLUDE ALL PARKING ISLANDS, ALL SHRUB BEDS, AND ALL AREAS OF SEED OR SOD AS INDICATED ON THIS PLAN.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A MINOR STREET PRIVILEGE PERMIT FROM THE CITY ENGINEER'S OFFICE PRIOR TO ANY TREE PLANTING OR ANY OTHER PERMANENT STRUCTURE INSTALLATION IN THE PUBLIC STREET RIGHT-OF-WAY.
- PROPOSED PARKING ISLANDS NEED TO BE EXCAVATED TO A DEPTH 3" BELOW THE TOP OF THE PROPOSED ISLAND CURB OR TO A DEPTH SUFFICIENT TO REMOVE ALL TRACES OF SOIL STABILIZATION MATERIAL AND COMPACTED SOIL WITHIN THE LIMITS OF THE ISLAND PERIMETER. THE ISLANDS SHALL BE BACKFILLED WITH TOPSOIL PRIOR TO PLANTING OPERATION.

- THE PLANTING SOIL MIXTURE FOR ALL TREE AND SHRUB PLANTINGS SHALL BE TOPSOIL. NO EXCAVATED SUBSOIL SHALL BE ALLOWED AS BACKFILL.
- ALL PROPOSED ISLANDS AND PLANTING BEDS ARE TO BE MULCHED WITH WASHED RIVER ROCK TO A MINIMUM DEPTH OF 2". ALL PROPOSED TREES IN GRASSED AREAS ARE TO BE MULCHED WITH SHREDDED CYPRESS TO A MINIMUM DEPTH OF 4". WEED BARRIER FABRIC IS TO BE INSTALLED IN ALL ISLANDS AND PLANTING BEDS. PLASTIC EDGING IS TO BE INSTALLED WHERE PLANTING BEDS MEET AREAS OF SEED OR SOD.
- LOCATE CONCRETE FLUMES AND/OR FLEXIBLE EXTENSIONS AT ALL DOWNSPOUTS WITHIN PLANTING BEDS TO DIVERT WATER OUT OF BEDS.
- EXISTING TREES TO BE REMAIN HAVE BEEN MARKED ON-SITE. VERIFY THOSE TO REMAIN WITH OWNER. PRUNE FROM EXISTING TREES TO REMAIN ALL DEAD AND DAMAGED VEGETATION. TRIM ALL SUCKERING VEGETATION UP TO A MINIMUM OF 4 FEET.

NOTE:
1) TREES TO REMAIN IN R.O.W. & SHELTER BELT HAVE BEEN TAGGED. REMAINING TREES IN SHELTER BELT MEET THE 6" MIN. CAL. REQ'D.
2) O.B.O. = OPTIONAL BY OWNER



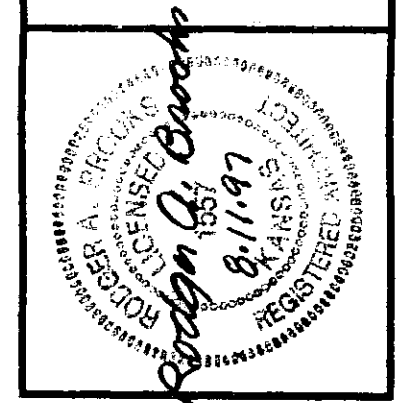
TARA CIRCLE

20' UTILITY EASEMENT

MH

21st STREET NORTH ASPHALT PAVEMENT

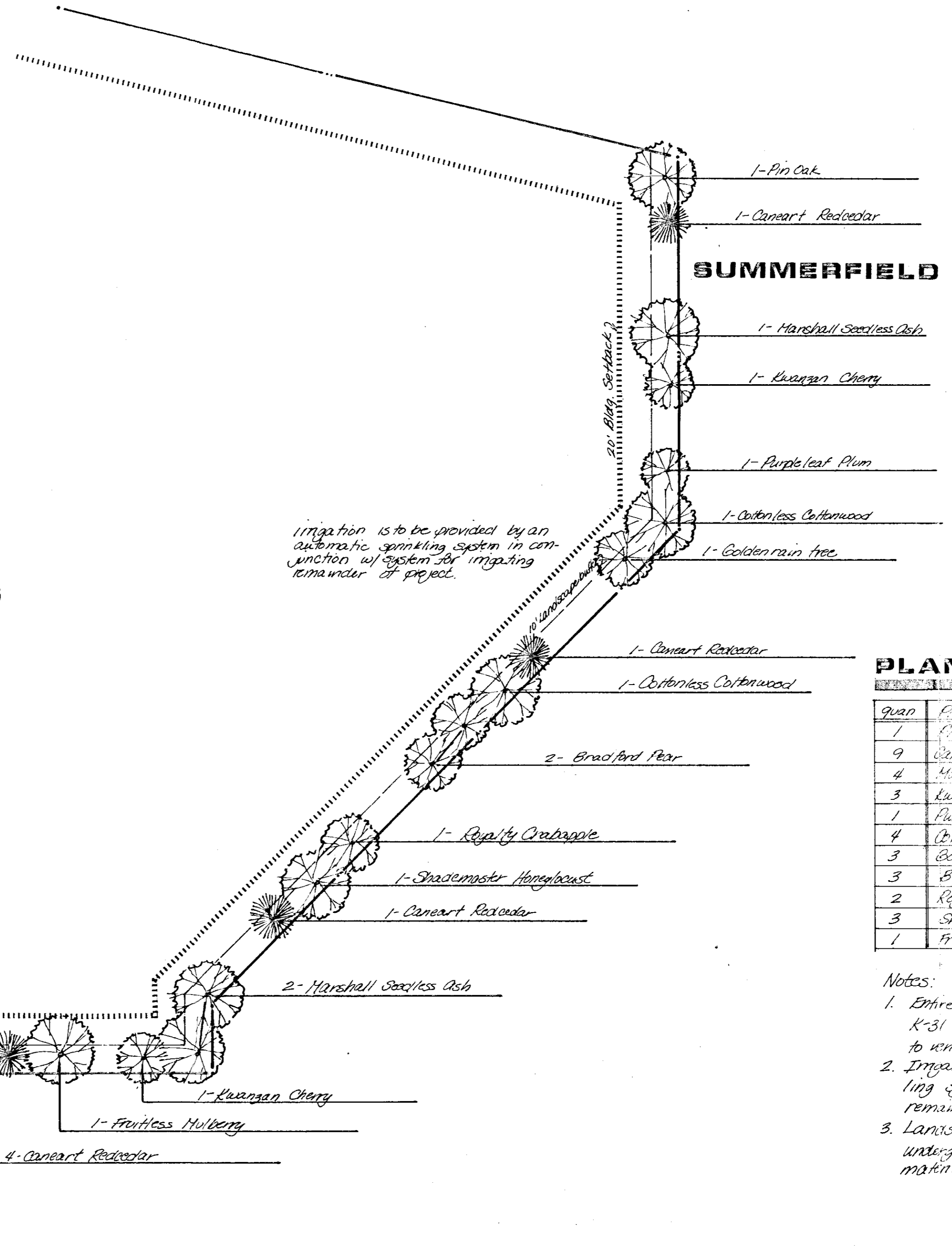
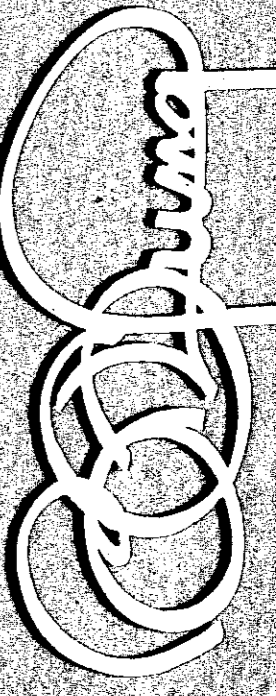
A Shopping Center by Slawson Realstate
THE SHOPS at TALLGRASS
Wichita, Kansas



ROGER A. BROOKS / ARCHITECT
Professional Building
200 South Rock Road / Suite A
Wichita, Kansas 67207-1160 / 316-684-7525

PROJECT NUMBER	97421
ISSUE DATE	8-11-97
REVISION DATE	
1	-
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SHEET
LSI
OF -



PARCEL 6

Irrigation is to be provided by an automatic sprinkling system in conjunction w/ system for irrigating remainder of project.

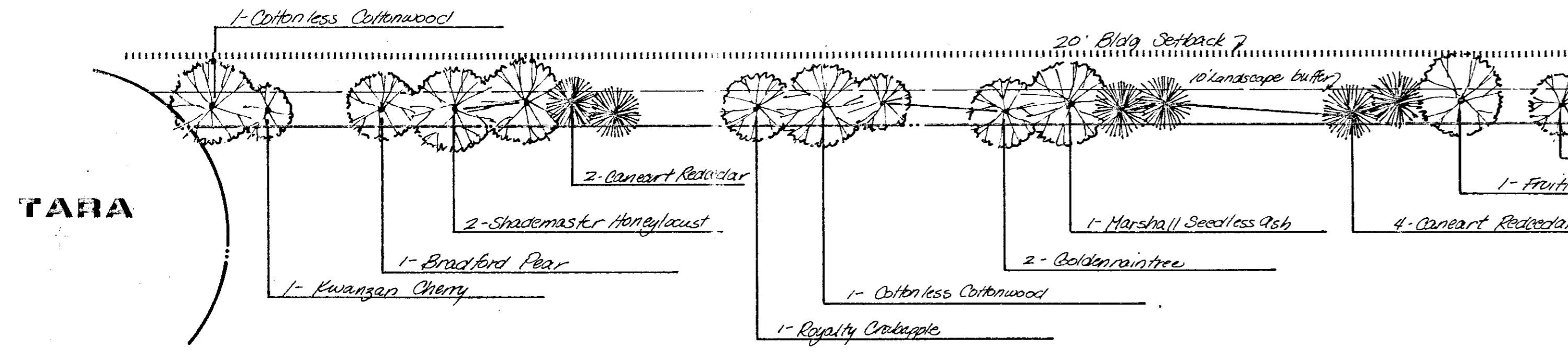
PLANT LIST

Quan	Plant Name	Size	Cond.
1	Pin Oak	10-12'	BB
9	Canearit Redcedar	5-6'	BB
4	Marshall Seedless Ash	10-12'	BB
3	Kwanzan Cherry	6-8'	BB
1	Purpleleaf Plum	6-8'	BB
4	Cottonless Cottonwood	10-12'	BB
3	Golden rain tree	6-8'	BB
3	Bradford Pear	6-8'	BB
2	Royalty Crabapple	6-8'	BB
3	Shademaster Honeylocust	10-12'	BB
1	Fruitless Mulberry	10-12'	BB

- Notes:
1. Entire 10' Landscape buffer is to be seeded w/ K-31 Rescue ± 8300 sqft. Landscape contractor to verify quantity.
 2. Irrigation to be provided by an automatic sprinkling system in conjunction w/ system for irrigating remainder of project.
 3. Landscape contractor to verify location of any underground utilities prior to installation of plant material.

DP-92 PARCEL 6
APPROVED LANDSCAPE BUFFER
11-9-04

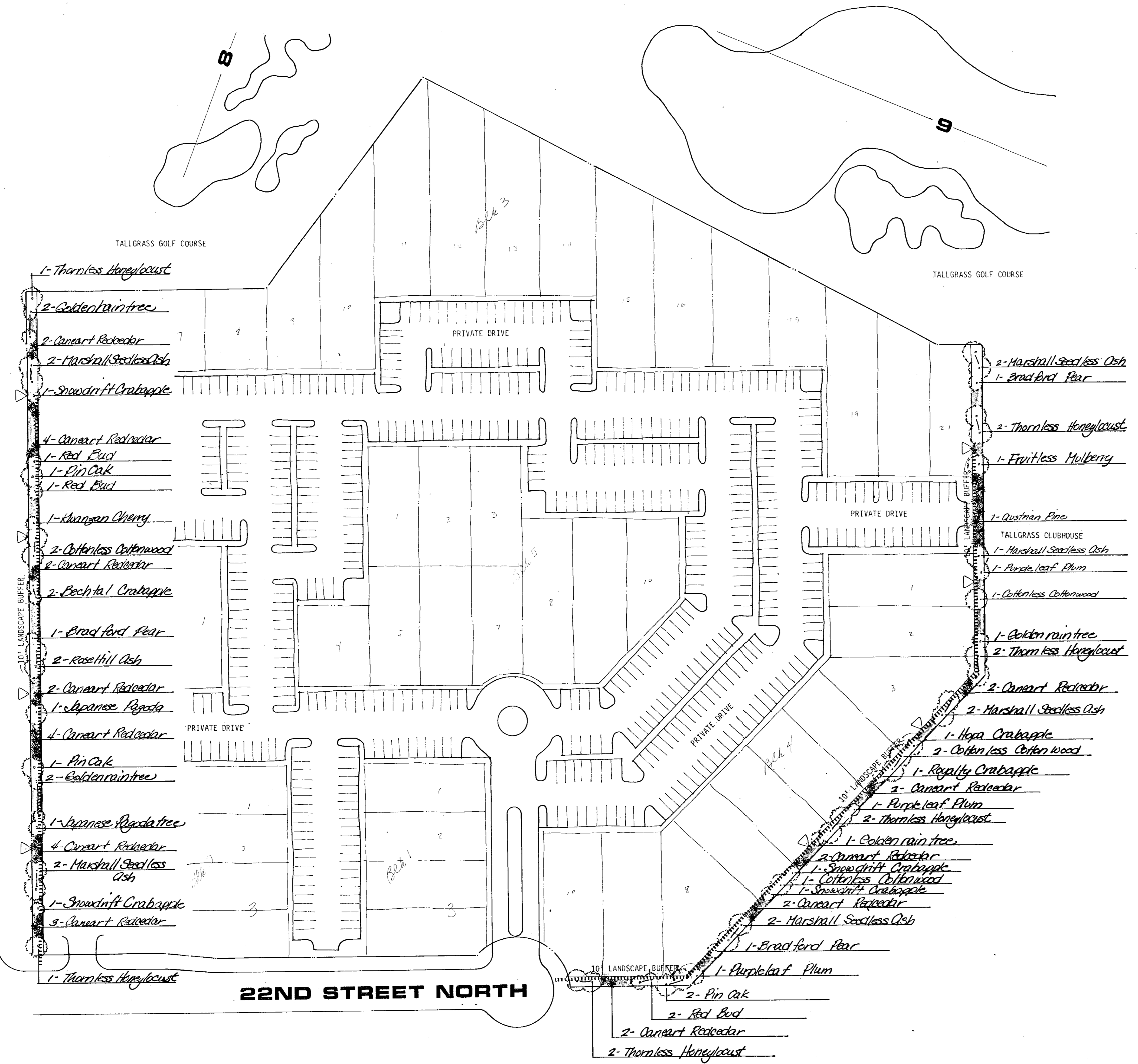
REQUIRED LANDSCAPE BUFFER C.U.P. D.P.-92
TALLGRASS COMMERCIAL AND OFFICE PARK



TARA

SYCAMORE VILLAGE 2ND ADDITION

ROCK ROAD

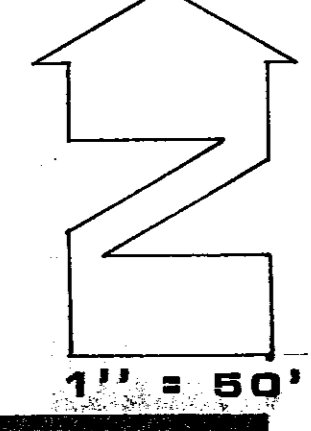


Approved Landscape Plan
 DP 92 PARCEL 5
 SEE MEMO DATED 1/23/84
[Signature]

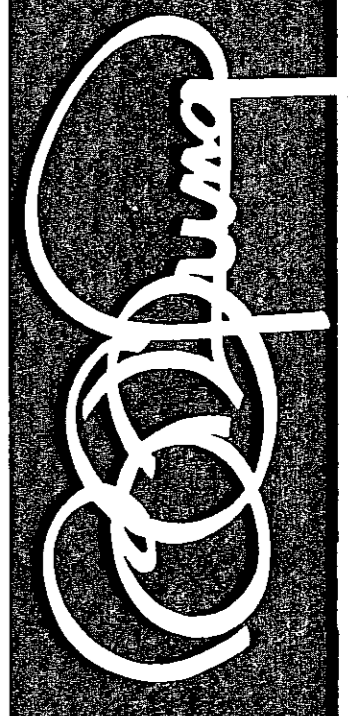
PLANT LIST

Quan	Plant Name	Size	Code
10	Thornless Honeylocust	8-10'	BB
6	Goldenrain tree	6-8'	BB
31	Canaert Redcedar	4-5'	BB
11	Marshall Seedless Ash	8-10'	BB
4	Snowdrift Crabapple	5-6'	BB
4	Red Bud	5-6'	BB
4	Pin Oak	8-10'	BB
1	Kuansan Cherry	5-6'	BB
6	Cottonless Cottonwood	8-10'	BB
2	Bechtal Crabapple	5-6'	BB
3	Bradford Pear	5-6'	BB
2	Rosehill Ash	8-10'	BB
2	Japanese Pagoda tree	8-10'	BB
1	Fruitless Mulberry	8-10'	BB
7	Qustran Pine	5-6'	BB
3	Purpleleaf Plum	5-6'	BB
1	Hoga Crabapple	5-6'	BB
1	Royalty Crabapple	5-6'	BB
2	Thornless Honeylocust	5-6'	BB
1	Goldenrain tree	5-6'	BB
2	Thornless Honeylocust	5-6'	BB
2	Canaert Redcedar	5-6'	BB
2	Marshall Seedless Ash	5-6'	BB
1	Hoga Crabapple	5-6'	BB
2	Cottonless Cottonwood	5-6'	BB
1	Royalty Crabapple	5-6'	BB
2	Canaert Redcedar	5-6'	BB
1	Purpleleaf Plum	5-6'	BB
2	Thornless Honeylocust	5-6'	BB
1	Goldenrain tree	5-6'	BB
2	Canaert Redcedar	5-6'	BB
1	Snowdrift Crabapple	5-6'	BB
1	Cottonless Cottonwood	5-6'	BB
1	Snowdrift Crabapple	5-6'	BB
2	Canaert Redcedar	5-6'	BB
2	Marshall Seedless Ash	5-6'	BB
1	Bradford Pear	5-6'	BB
1	Purpleleaf Plum	5-6'	BB
2	Pin Oak	5-6'	BB
2	Red Bud	5-6'	BB
2	Canaert Redcedar	5-6'	BB
2	Thornless Honeylocust	5-6'	BB

Notes:
 1. Irrigation to be provided by hose bibs ∇ max. spacing 200' linear ft. Water line to be indicated by ||||| . Owner may install automatic sprinkler system in lieu of hose bibs.
 2. Entire landscape buffer to be seeded w/ K-3 Tall Fescue. Area to be seeded approx. 14,750 sq. ft., denoted by |||||



LANDSCAPE BUFFER EXECUTIVE PARK AT TALLGRASS



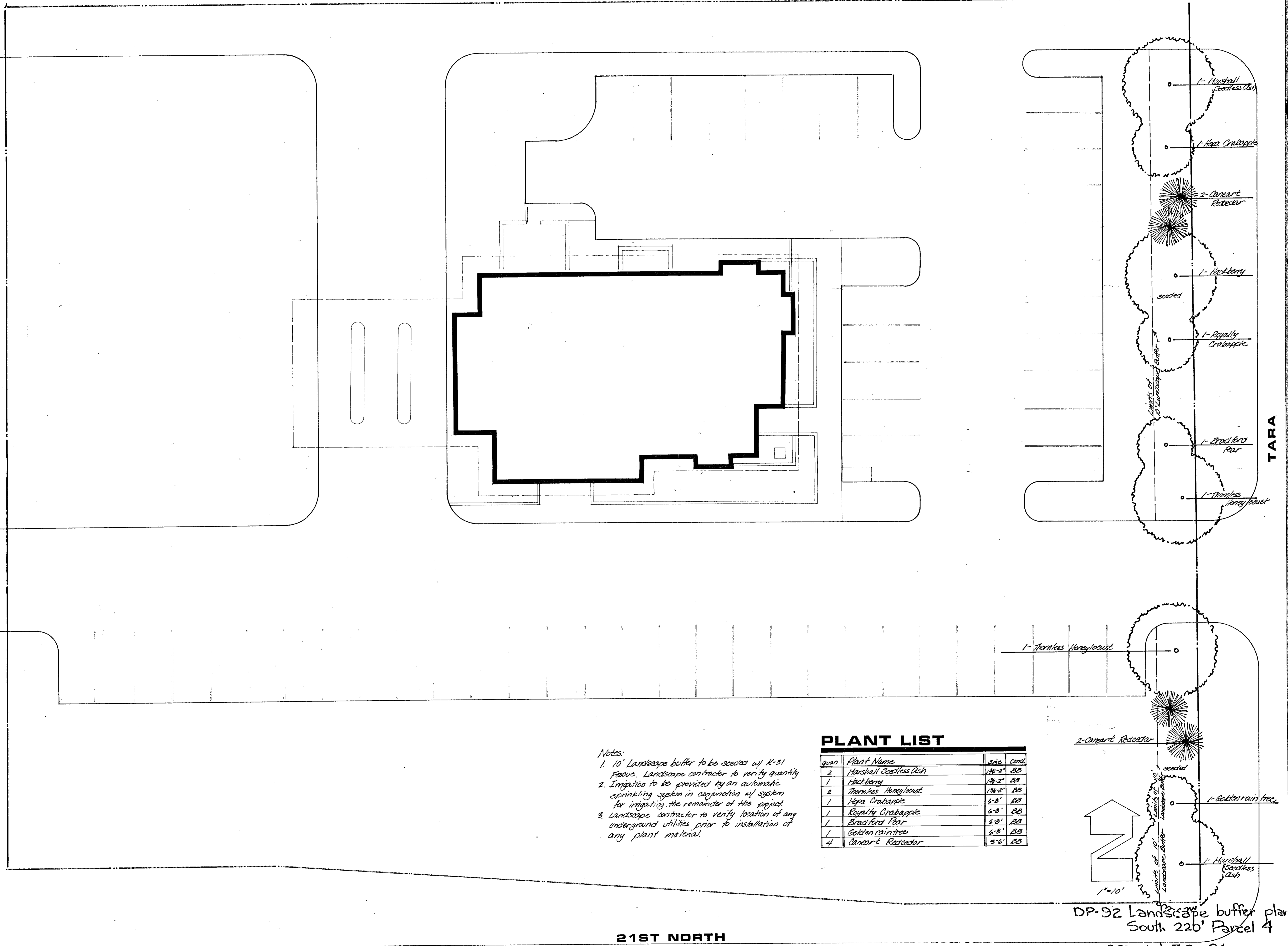
BILL G. YUNG DESIGN
 822 E. 35 TH. ST. NORTH, WICHITA, KS. 67226
 316-693-5567

date 11 October 83
 rev.

sheet title
 Planting Plan for 10' Buffer

project
 Executive Park at Tallgrass

sheet
 of



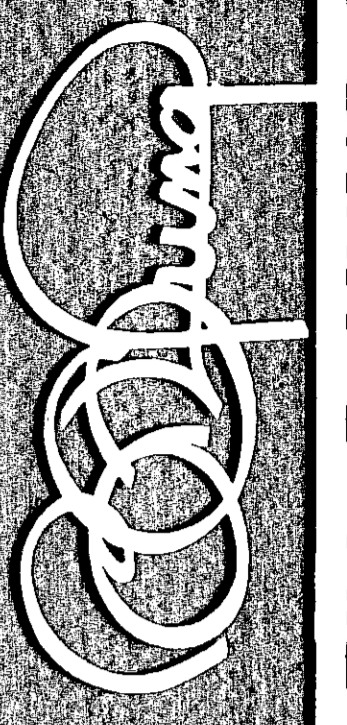
- Notes:
1. 10' Landscape buffer to be seeded w/ K-31 Fescue. Landscape contractor to verify quantity
 2. Irrigation to be provided by an automatic sprinkling system in conjunction w/ system for irrigating the remainder of the project
 3. Landscape contractor to verify location of any underground utilities prior to installation of any plant material.

PLANT LIST

quan	Plant Name	Size	Cond.
2	Marshall Seedless Ash	14'-2"	BB
1	Hackberry	14'-2"	BB
2	Thornless Honeylocust	13'-2"	BB
1	Hopa Crabapple	6'-8"	BB
1	Royalty Crabapple	6'-8"	BB
1	Bradford Pear	6'-8"	BB
1	Golden rain tree	6'-8"	BB
4	Caneart Redcedar	5'-6"	BB

DP-92 Landscape buffer plan
South 226' Parcel 4

approved 7-30-84



BILL G. YUNG DESIGN
316-663-5567
8225 E. 35 TH. ST. NORTH, WICHITA, KS. 67226

date 21 June 84
rev.

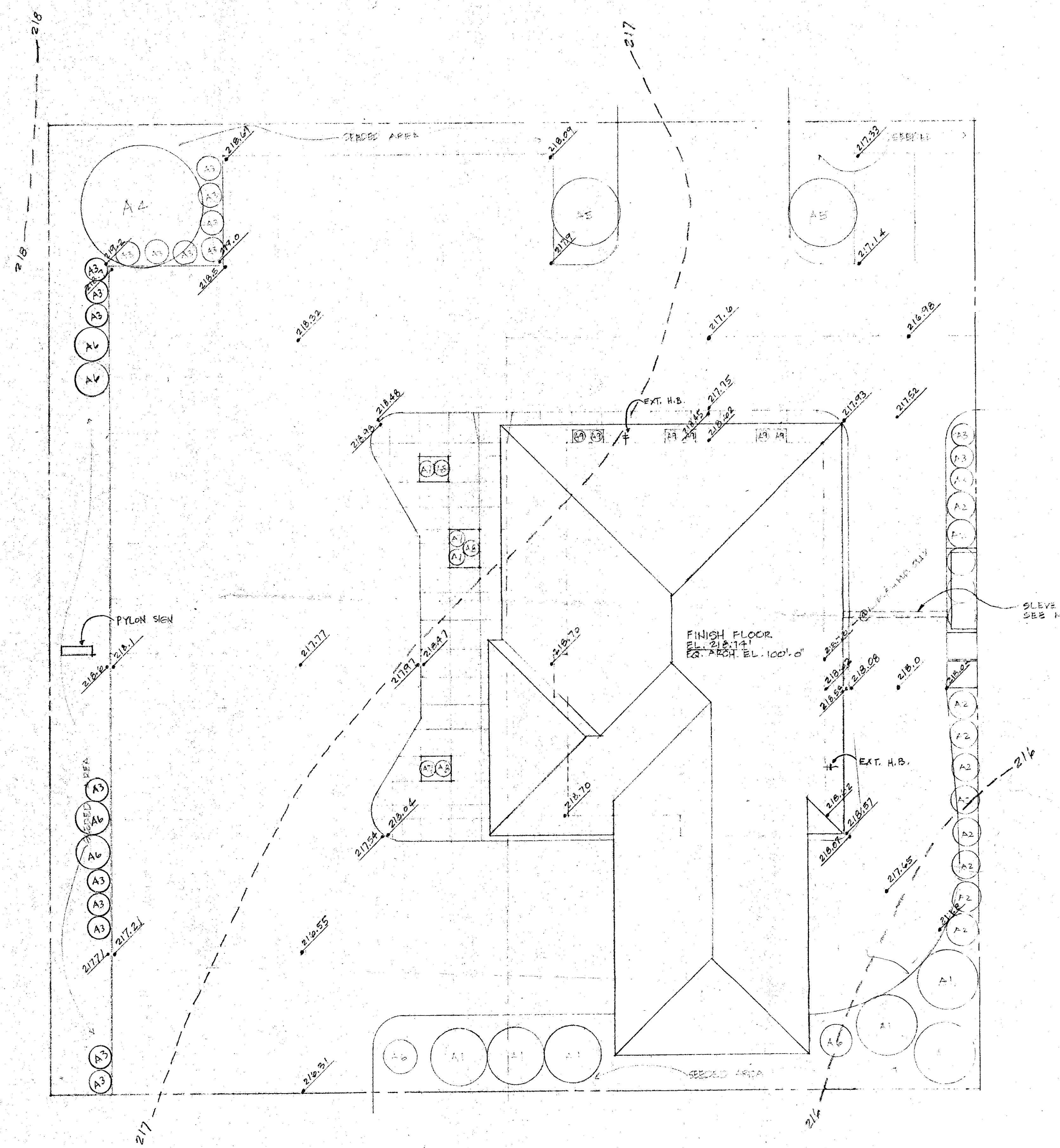
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Landscape Buffer Plan

Project
Central Bank of Trust

sheet 2
of 2

21ST NORTH

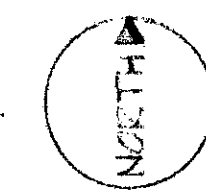
TARA



PLANT MATERIAL SCHEDULE			
PK	COMMON NAME	BOTANICAL NAME	PLANTING METHOD & SIZE
A1	AUSTRIAN PINE	PRUNUS NUBEA	6" TO 8" B&B
A2	NELCHI JUNIPER	JUNIPER SCOPULORUM (NELCHI)	3" TO 4" B&B
A3	BROADLEAF JUNIPER DWARF PITTZER	JUNIPER SPREADENSIS DWARF PITTZER	5 GAL.
A4	HONEYLOCUST	CESTROGIA TRILOCANTHOS (HONEYLOCUST)	1" TO 2" B&B
A5	AMUR MAPLE (TREE FORM)	ACER BINALA	1/4" TO 1/2" B&B
A6	PIFANISHA (DWARF)	HYDRANTHA DWARF (PIFANISHA)	5 GAL.
A7	"	" (GNOME)	5 GAL.
A8	BIRDS NEST SPRUCE	CECIDIUM NIDIFORMIS	5 GAL.
A9	SARCOXIE EUONYMUS	EUONYMUS FORTUNEI VEGETUS	5 GAL.

Water to be supplied by hoses from hose bibs (H.B.) on building

A SITE GRADING & LANDSCAPE PLAN
1" = 10'-0"



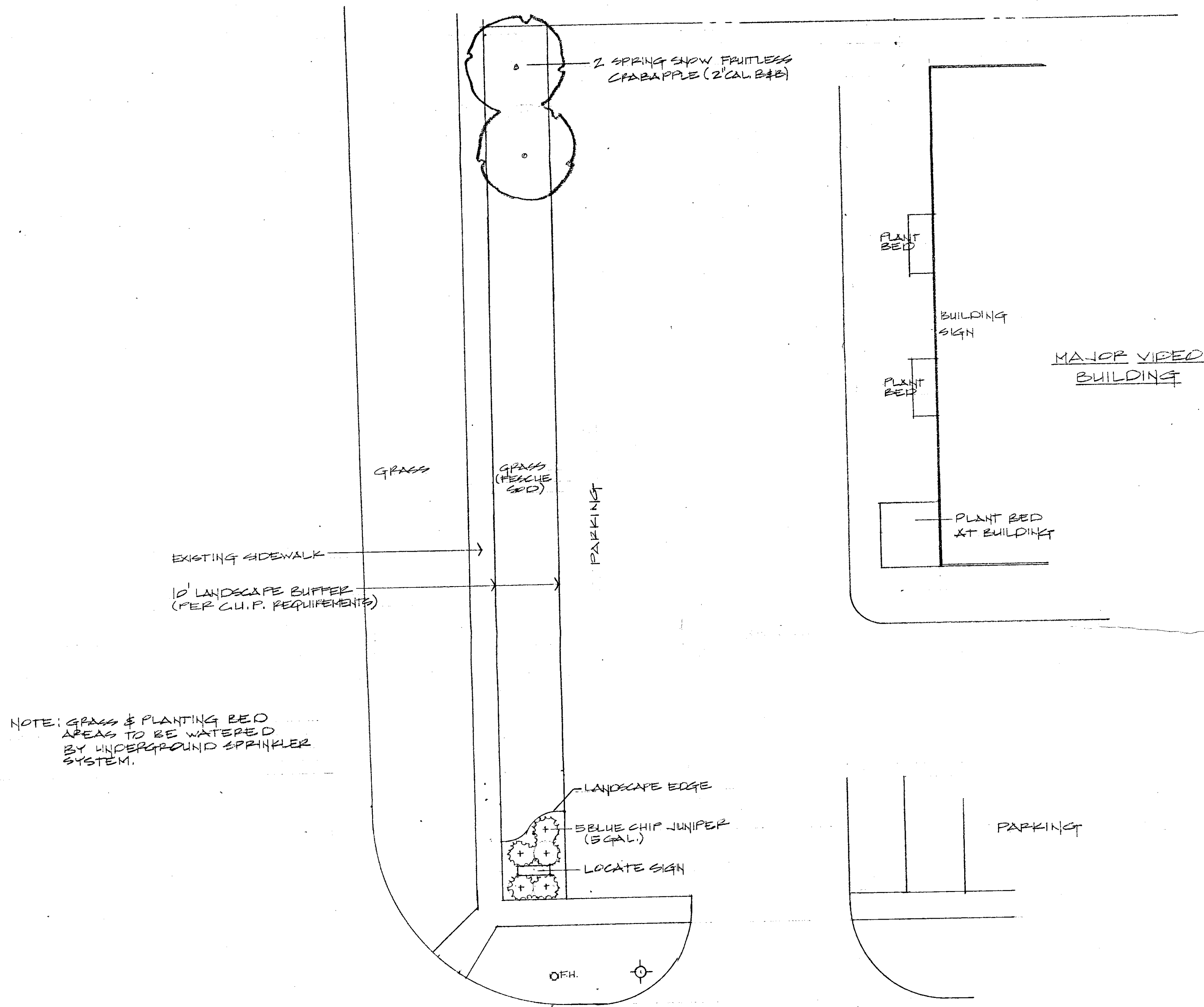
DP92
PARCEL 3
LOT #1

LEGEND

- 216 --- 216 --- EXISTING CONTOUR.
- 217 --- NEW SPOT ELEVATION TOP OF ASPHALT OR CONCRETE

Approved Landscape Plan
DP-92 PARCEL 3

12-22-83



APPROVED LANDSCAPE PLAN
 FOR
 PARCEL No. 2 DR 92
 Jack H. Halbrink
 by L.O. date
 Award Copy 2 of 2

MAJOR VIDEO

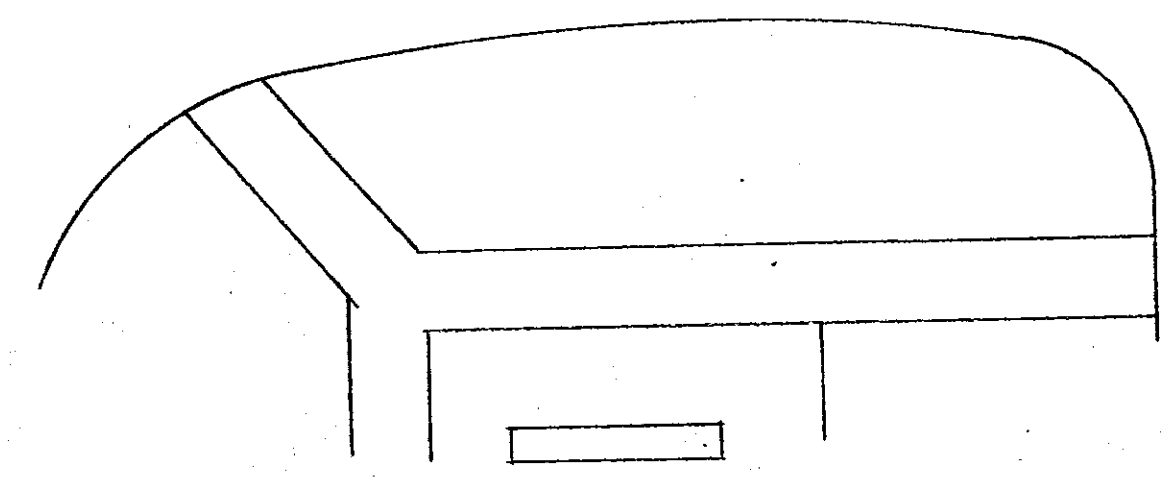
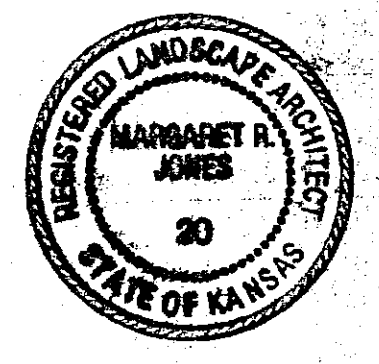
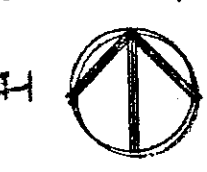
Landscape Buffer Planting

TALLGRASS PLAZA - ROCK ROAD & 21ST STREET NORTH

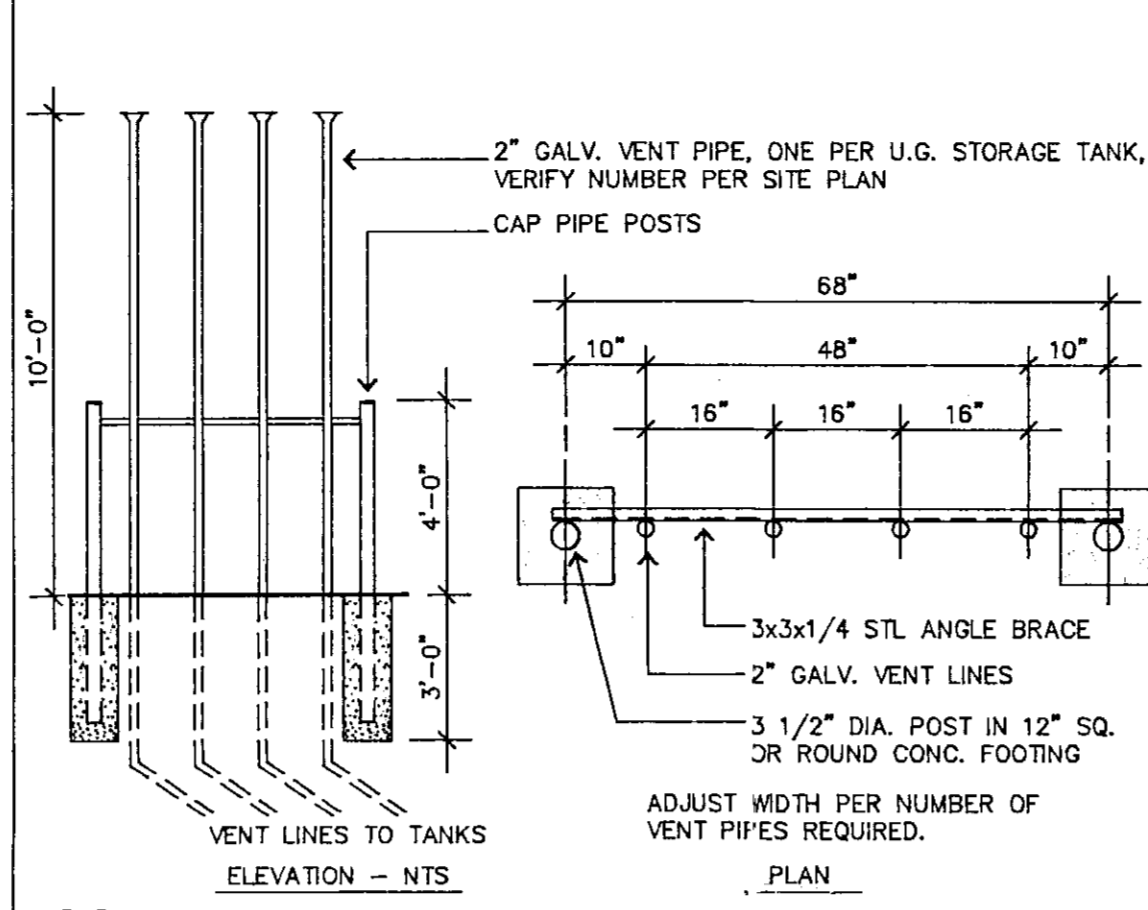
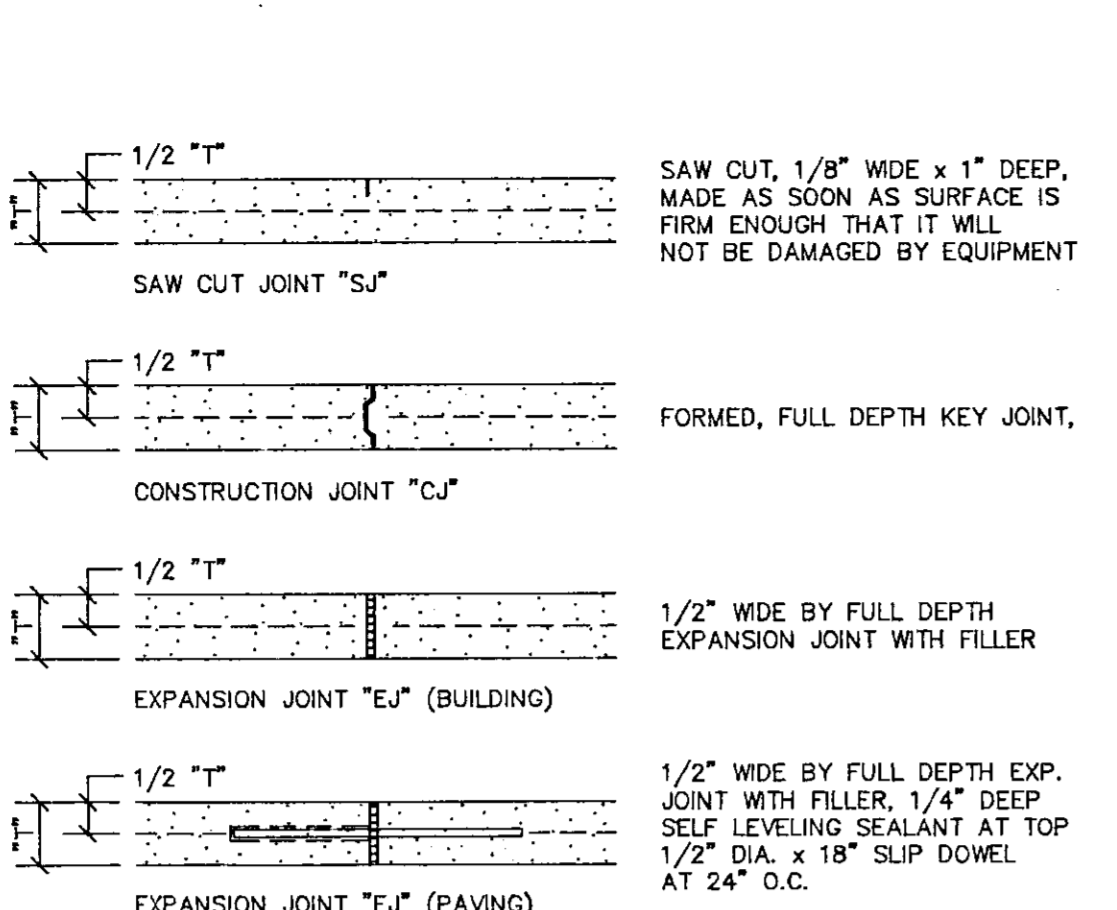
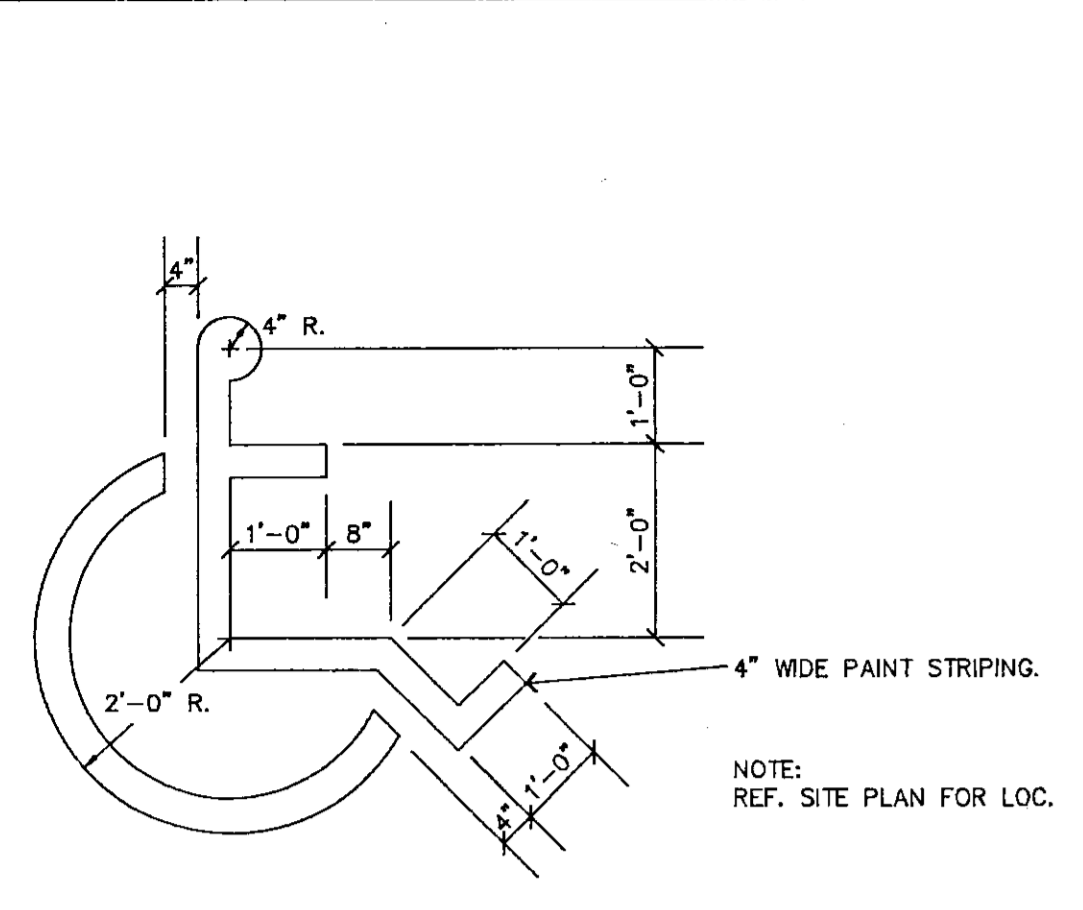
DEVELOPER: FUGATE ENTERPRISES

MARGARET R. JONES - LANDSCAPE ARCHITECT

SCALE: 1"=10' NORTH 9-22-88 L88079

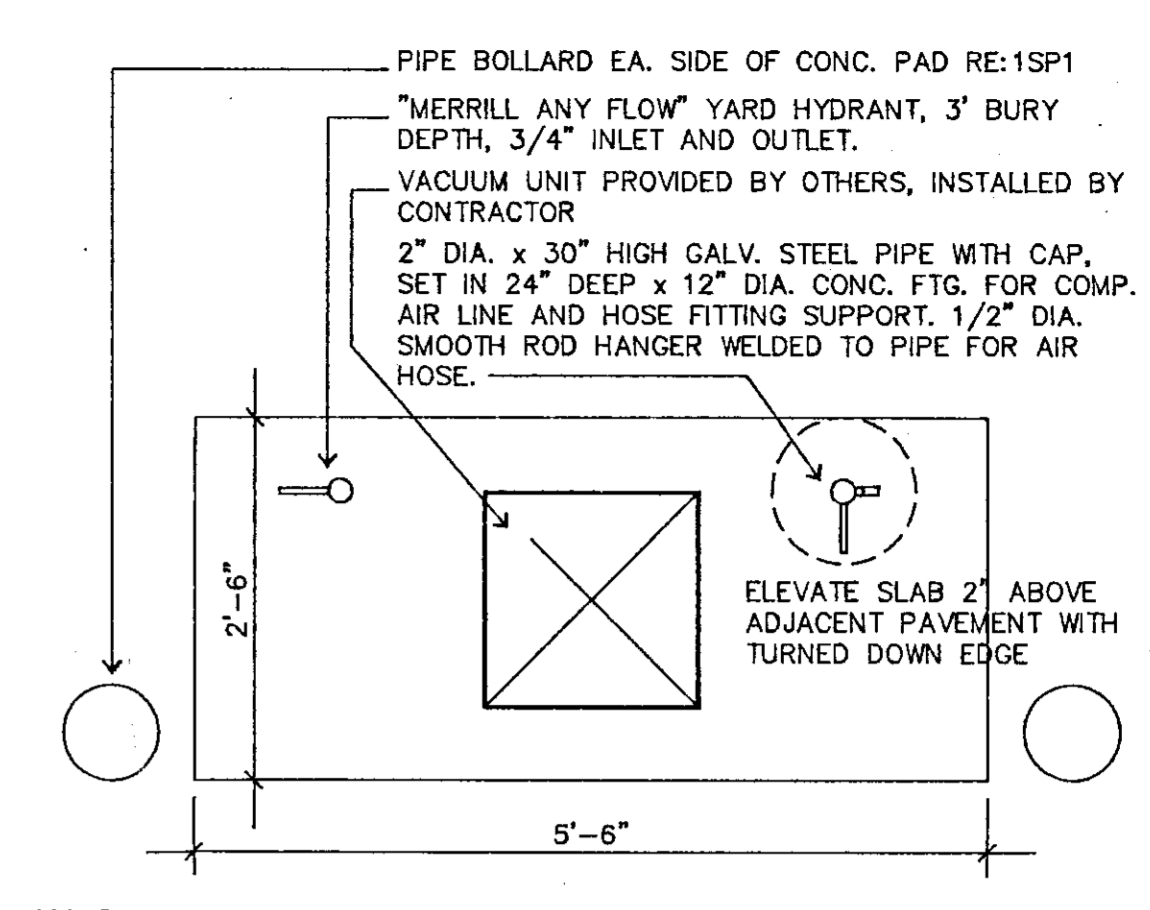


12-15-87



QUAN.	PLANT NAME	BOTANICAL NAME	SIZE	COND.
2	Autumn Purple Ash	Fraxinus Americana 'Autumn Purple'	2-2 1/2"	BB
3	Royalty Crabapple	Malus Sp. 'Royalty'	6-8'	BB

1. Landscape contractor is to verify the location of all underground utilities prior to installation of plant material or irrigation.
2. 10' landscape buffer is to be seeded or sodded with Rebel Fescue.
3. 10' landscape buffer is to be irrigated with an automatic irrigation system in conjunction with the remainder of project.
4. This planting plan is to satisfy landscape buffer requirement in Tallgrass Commercial and Office Park C.U.P. D.P. 62.



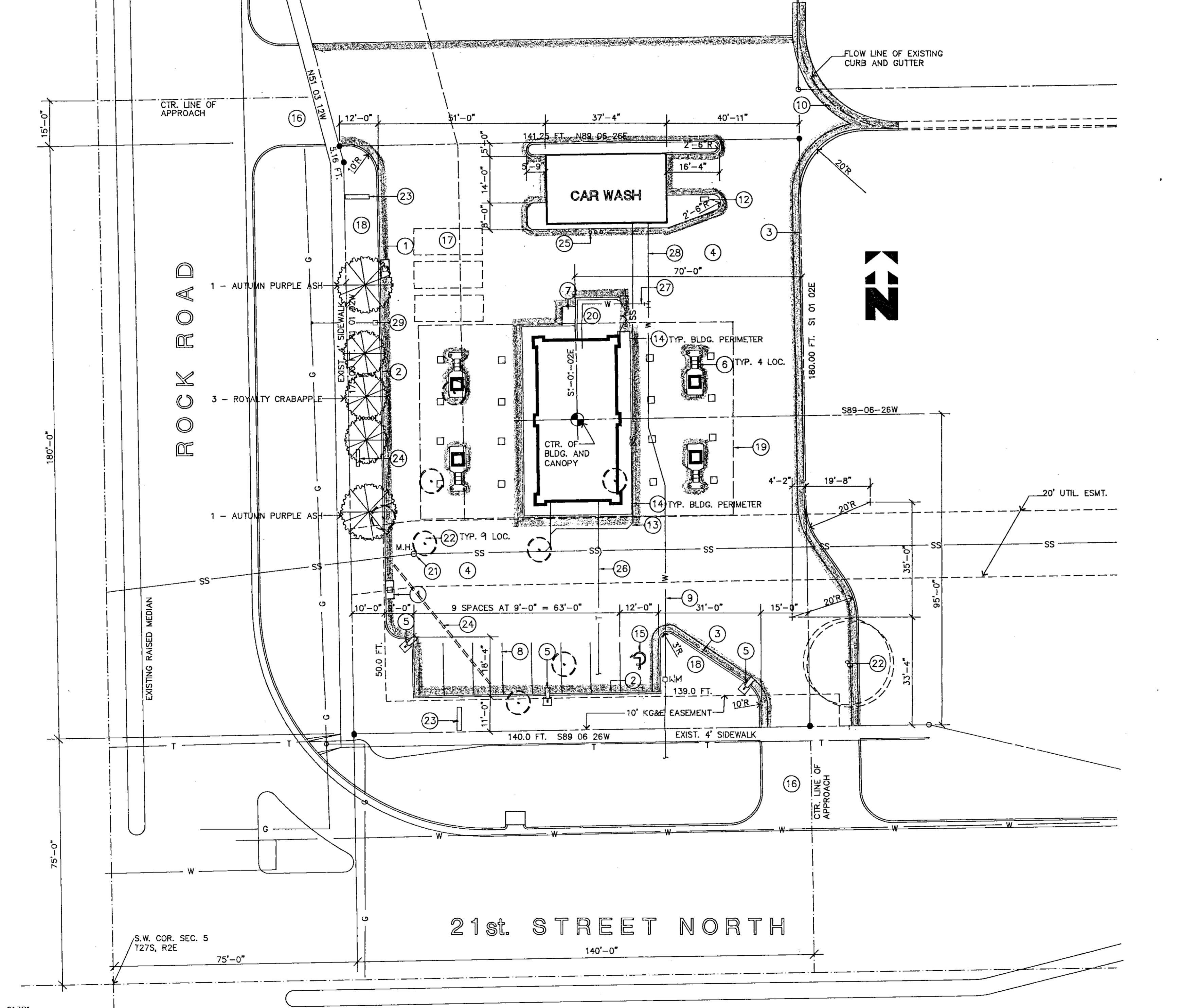
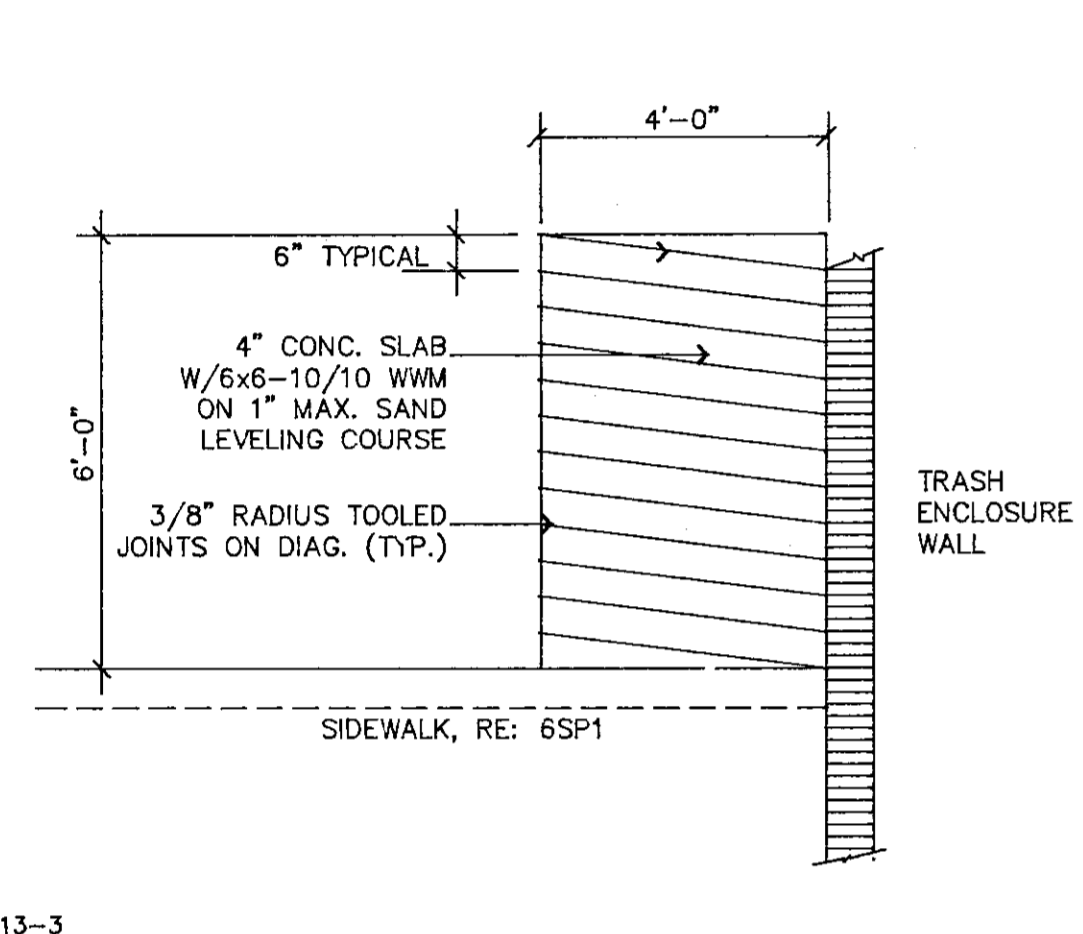
16 H.C. SYMBOL 1/2" = 1'-0"

17 SLAB JOINT DETAILS 1/2" = 1'-0"

18 VENT RISER DETAIL 1/2" = 1'-0"

19 LANDSCAPE NOTES

20 AIR, VAC, WATER 3/4" = 1'-0"



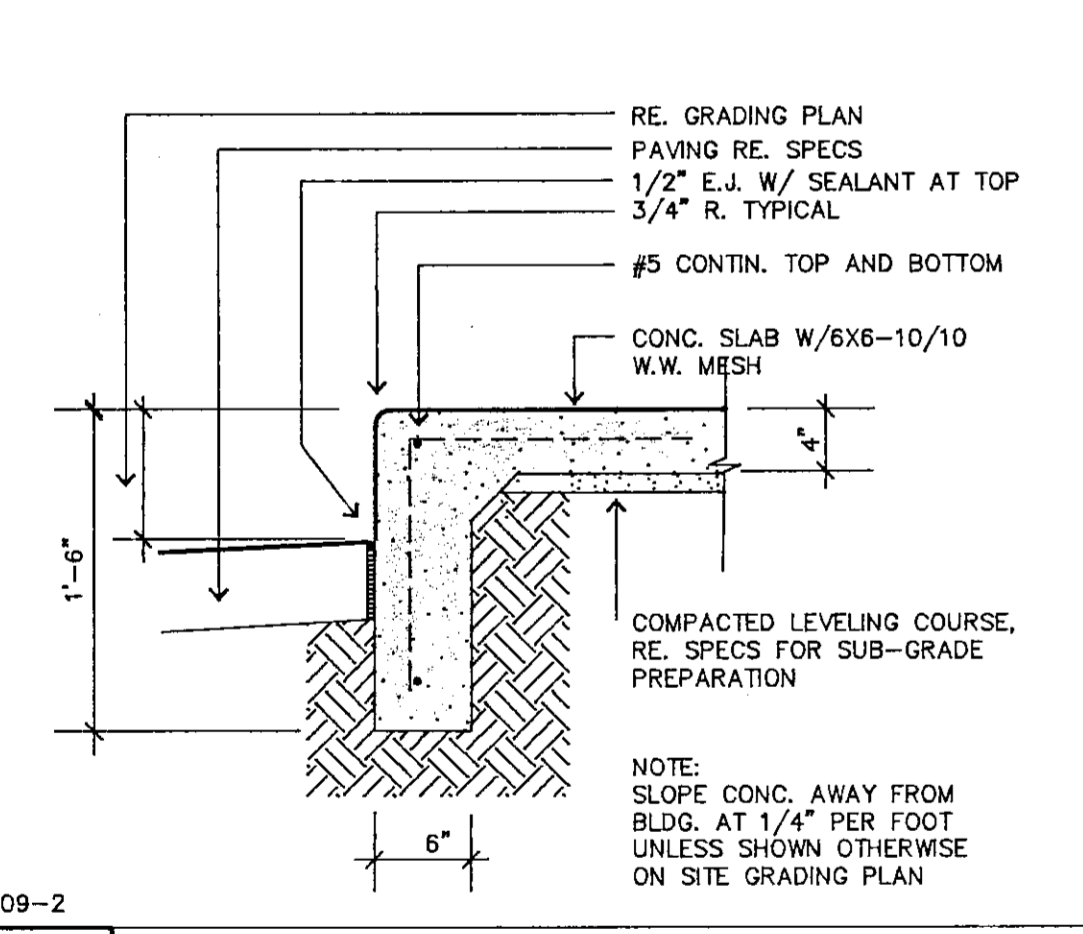
GENERAL NOTES

- NO WORK TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECK-OUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- VERIFY ALL LOCATIONS, DIMENSIONS AND GRADES ON ALL WORK OUTSIDE PROPERTY LINE WITH APPROPRIATE AUTHORITY.
- MINIMUM DEPTH FOOTING IS 2'-6" BELOW ADJACENT FINISHED GRADE, EXCEPT WHERE ADDITIONAL DEPTH IS REQUIRED FOR FIRM BEARING.
- PROVIDE CONTROL (CONSTRUCTION) JOINTS AS DETAILED, RE: 17SP1. PROVIDE CONTRACTION (SAW CUT OR TROWEL) JOINTS AT 25' MAXIMUM SPACING EACH WAY.

11 H.C. RAMP 3/8" = 1'-0"

15 GENERAL NOTES

15 GENERAL NOTES



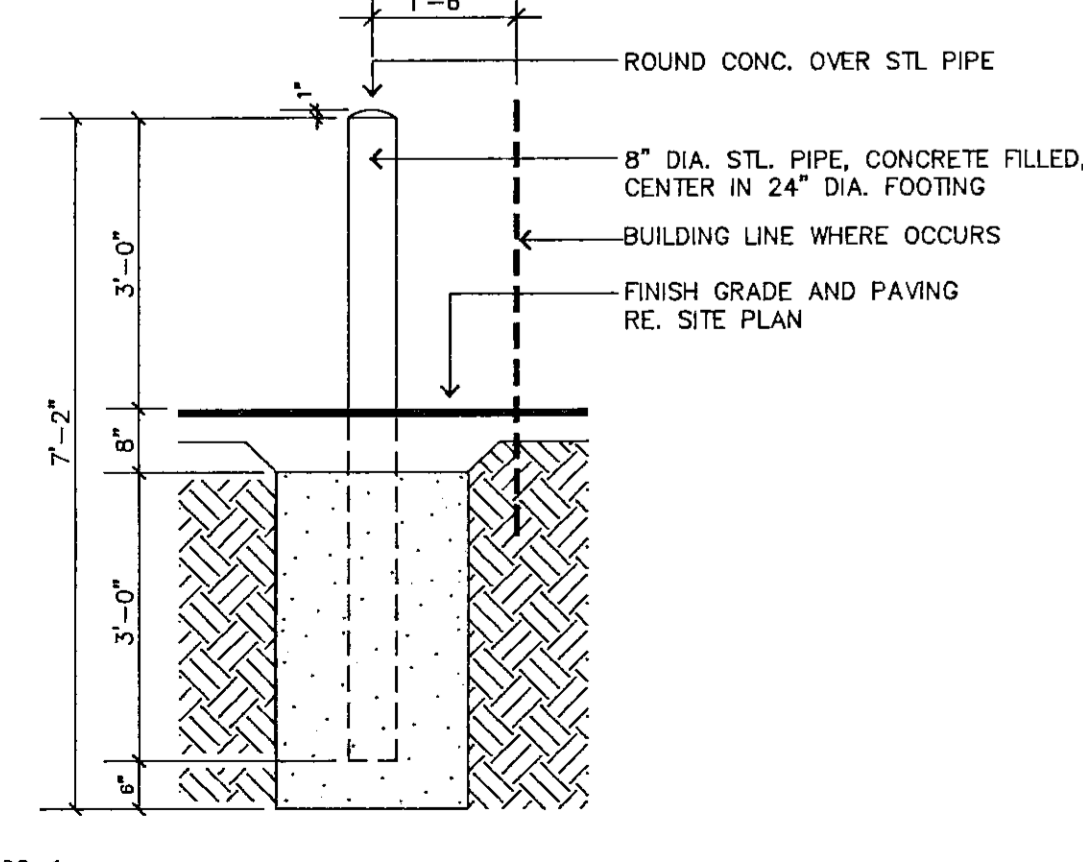
15 KEY NOTES

- KEY NOTES
- CONC. CURBED BASE SLAB FOR AIR-VACUUM-WATER, RE: 20SP1. VACUUM UNIT PROVIDED BY OWNER, VERIFY MOUNTING, ELECTRICAL REQMS. ALL OTHER BY CONTRACTOR.
 - CONCRETE CURB RE: 18SP2.
 - CONCRETE CURB AND GUTTER, RE: 19SP2.
 - CONCRETE PAVING - 6" THICK W/6x6-8/8 WWF, 3,000 PSI AT 28 DAY AIR ENTRAINED MIX.
 - AREA LIGHTING, RE: 11SP2.
 - NEW PRODUCT PUMPS (4 MPD)
 - HANDICAP RAMP, RE: 11SP1.
 - PAINTED STRIPING AT PARKING SPACES.
 - 2" COPPER WATER LINE FROM METER TO BLDG. SERVICE BRANCH.
 - REMOVE APPROX. 55' OF EXIST. CURB AND GUTTER AND CONSTRUCT CONC. DRAINAGE SWALE, RE: 17SP2.
 - CAR WASH ENTRY CONTROL PANEL, VERIFY CONSTRUCTION REQUIREMENTS.
 - 4" DIA. CAST IRON WASTE LINE FROM BUILDING AND CAR WASH TO EXIST. WASTE.
 - SIDEWALK EDGE, RE: 6SP1.
 - PAINTED HANDICAP SYMBOL, RE: 16SP1.
 - CONSTRUCT NEW 30 FOOT WIDE APPROACH TO CITY SPECIFICATIONS. VERIFY ALL REQUIRED CONDITIONS OF LOCATION AND CONSTRUCTION WITH CITY ENGINEERING DEPT.
 - THREE NEW 10,000 GAL. PRODUCT STORAGE TANKS, EACH 8' DIA. BY 28' LONG.
 - SEEDED LAWN, CURB LINE TO PROP. LINE, REBEL FESCUE.
 - CANOPY AND SUPPORT COLUMNS, PUMP ISLANDS, ETC. FURNISHED AND INSTALLED BY OTHERS. G.C. TO FURNISH TEN FOOTINGS FOR CANOPY COLUMNS ONLY. G.C. TO VERIFY REQUIREMENTS WITH OWNER.
 - TRASH ENCLOSURE, RE: 10SP2.
 - ADJUST MANHOLE TOP TO FINISH GRADE.
 - EXIST. TREES TO BE REMOVED.
 - MONUMENT SIGN, OWNER TO PROVIDE SIGN BOX AND INSTALLATION, RE: 15SP2.
 - COORDINATE AND NOTIFY OWNER FOR REMOVAL OF SIGN BY OTHERS.
 - UNDERGROUND STORAGE TANK VENT PIPE RISER, RE: 18SP1.
 - 2" DIA. PVC TELEPHONE LINE CONDUIT, VERIFY ROUTING REQUIREMENTS WITH PHONE CO.
 - 1" COPPER WATER LINE FOR BUILDING SERVICE.
 - 1 1/2" COPPER WATER LINE FOR CAR WASH SERVICE. SIZED TO SUPPLY 28 GPM AT 40 PSI. VERIFY ROUTING, METER REQMS. WITH UTILITY CO.
 - 1" GAS SERVICE TO BLDG. FROM UTILITY CO. METER. RE: 4M1.

6 SIDEWALK EDGE 1" = 1'-0"

5 KEY NOTES

5 KEY NOTES



2 ARCHITECTURAL SITE PLAN 1" = 20'-0"

2 ARCHITECTURAL SITE PLAN

1 PIPE BOLLARD 1/2" = 1'-0"

5 KEY NOTES

5 KEY NOTES

New Convenience Store for:
21st STREET NORTH at ROCK ROAD
COASTAL MART, INC., P.O. BOX 1030, WICHITA, KANSAS 67202 316-267-0361



RODGER A. BROOKS / ARCHITECT
Tallgrass Executive Park
8100 E. 22nd St. North / Bldg. 100 / Suite 5
Wichita, Kansas 67220-2301 / (316) 844-7626

PROJECT NUMBER	87913
ISSUE DATE	11-10-87
REVISION DATE	
1	-
2	-
3	-
4	-
5	-
SHEET	SP1
OF	-

REVISIONS

THIS DRAWING AND ALL INFORMATION HEREIN IS THE EXCLUSIVE PROPERTY OF CABER ASSOCIATES ARCHITECTS AND IS NOT TO BE COPIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF CABER ASSOCIATES ARCHITECTS. ALL DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT.

07414

STATE OF KANSAS
JANUARY 17, 1983
RANDAL JAY DAVIS
365
6-24-07

PROJECT:
A PROPOSED TACO BELL FOR:
FUGATE ENTERPRISES
21st & ROCK ROAD
WICHITA, KANSAS

CABER ASSOCIATES INC.
ARCHITECTS/ DESIGNERS/ PLANNERS
REFLECTION RIDGE OFFICE PARK
7570 WEST 21ST STREET/ BUILDING 1014
WICHITA, KANSAS 67205 (316)773-7900

DATE:
JUNE, 2007

PROJECT NO.:

331W07

SHEET NO.:

L1.0

ROCK ROAD

LANDSCAPE ORDINANCE CALCULATIONS:

FRONTAGE OF SITE (ROCK ROAD) = 178', DEPTH OF LOT = 155'
 SQUARE FOOTAGE FACTOR = 8
 REQUIRED LANDSCAPED STREET YARD = 178' x 8' = 1424 SF
 LANDSCAPED STREET YARD PROVIDED = 3221 SF
 STREET YARD TREES REQUIRED = 1424/500 = 2.8 ROUNDS UP TO 3 SHADE TREES EQUIV.
 TREES PROVIDED = 2 SHADE PLUS 11 SHRUBS = 3 SHADE TREE EQUIVALENT
 PARKING STALLS PROVIDED = 25
 PARKING LOT TREES REQUIRED = 1.25 ROUNDS UP TO 2
 PARKING LOT TREES PROVIDED = 2 (1 STREET YARD TREE IS COUNTED AS PARKING LOT TREE)
 ALL PARKING STALLS AND THE DRIVE-THROUGH LANE ARE SCREENED FROM ROCK ROAD BY SHRUB PLANTINGS.

LANDSCAPE NOTES:

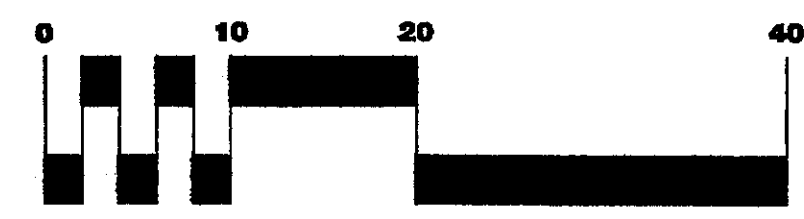
1. ALL PAVEMENT, SIDEWALKS, CURB & GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WICHITA SPECIFICATIONS.
2. WHEELCHAIR RAMP LOCATIONS TO SERVE THE PROPOSED BUILDINGS SHALL BE COORDINATED WITH THE BUILDING PLANS PRIOR TO CONSTRUCTION.
3. EDGING SHALL BE PRO-STEEL OR RYERSON, 14 GAUGE X 4". INSTALL TOP FLUSH WITH TOP OF ADJOINING WALKS OR BACKS OF CURBS.
4. MULCH SHALL BE 3" DEPTH SHREDDED HARDWOOD BARK. MULCH 36" DIAMETER RING X 6" DEPTH AROUND EACH TREE PLANTED IN TURF AREA.
5. BACK-TO-EARTH COTTON BUR COMPOST AND MILORGANITE MIXED INTO BACKFILL SOIL PLUS NEW LAWN STARTER FERTILIZER (INCORPORATED INTO THE TOP 1-2" OF BACKFILL SOIL) PLANTING SOIL AMENDMENTS.
6. ALL LAWN AND SHRUB BED AREAS ON SITE SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. (SEE SPECIFICATION SECTION). IRRIGATION SYSTEM SHALL BE EQUIPPED WITH TWO QUICK COUPLERS AND AN AUTOMATIC RAIN SENSING DEVICE WHICH WILL SHUT OFF SYSTEM FOLLOWING PERIODS OF ADEQUATE RAIN.
7. ALL PLANTS SHALL CONFORM TO ANSI Z60.1 FOR SIZE AND QUALITY STANDARDS.
8. INSTALL KANSAS PREMIUM BLEND FESCUE SOD IN ALL TURF AREAS SHOWN ON PLAN.
9. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL GOVERN.

DP-92 PARCEL 1A
 SUPERCEDES PLAN
 APPROVED 09-09-BB
LANDSCAPE PLAN

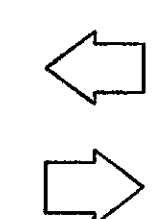
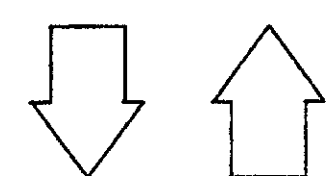
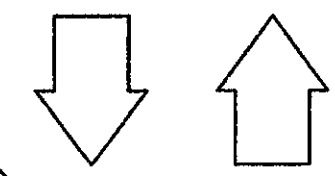
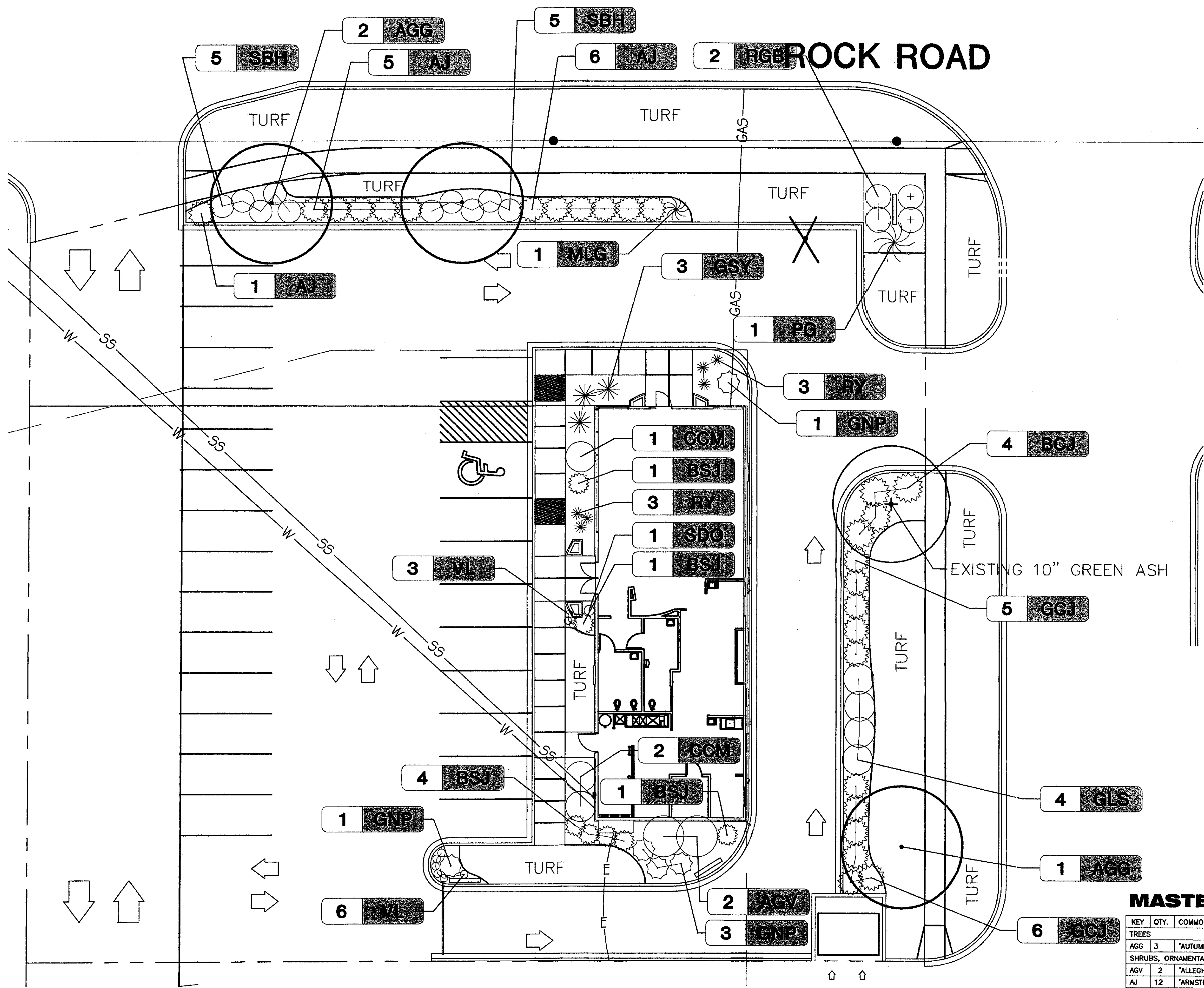
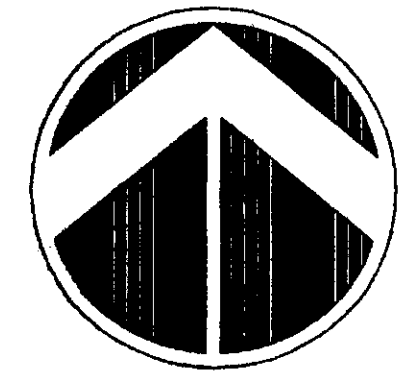
MAPD Copy 1 of 2

MASTER PLANT LIST

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION/REMARKS
TREES					
AGG	3	'AUTUMN GOLD' GINKGO	Ginkgo biloba 'Autumn Gold'	2" cal.	Balled and Burlapped
SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS					
AGV	2	'ALLEGHANY' LEATHERLEAF VIBURNUM	Viburnum rhytidophyloides 'Alleghany'	5 gal	Container
AJ	12	'ARMSTRONG' JUNIPER	Juniperus chinensis 'Armstrong'	2 gal	Container
BCJ	4	'BLUE CHIP' JUNIPER	Juniperus horizontalis 'Blue Chip'	3 gal	Container
BSJ	7	'BLUE STAR' JUNIPER	Juniperus squamata 'Blue Star'	3 gal	Container
CCM	3	'CATAWBA' (PURPLE) CRAPEMYRTLE	Lagerstroemia indica 'Catawba'	5 gal	Container
GCJ	11	'GOLD COAST' JUNIPER	Juniperus chinensis 'Gold Coast'	2 gal	Container
GLS	4	'GRO-LOW' FRAGRANT SUMAC	Rhus aromatica 'Gro-low'	3 gal	Container
GNP	5	'GNOME' PYRACANTHA	Pyracantha angustifolia 'Monon'	5 gal	Container
GSY	3	'GOLD SWORD' YUCCA	Yucca filamentosa 'Gold Sword'	5 gal	Container
MLG	1	'MORNING LIGHT' PLUME GRASS	Miscanthus sinensis 'Morning Light'	3 gal	Container
PG	1	PAMPAS GRASS (HARDY)	Eriarthus rovenae	5 gal	Container
RGB	2	'ROSE GLOW' BARBERRY	Berberis thunbergii var. atropur. 'Rose Glow'	5 gal	Container
RY	6	RED YUCCA	Hesperaloe parviflora	1 gal	Container
SBH	2	'SUNBURST' HYPERICUM	Hypericum frondosum 'Sunburst'	2 gal	Container
SDO	1	'STELLA DE ORO' DAYLILY	Hemerocallis 'Stella de Oro'	1 gal	Container
VL	9	VARIEGATED LIRIOPE	Liriope muscari 'Silvery Sunproof'	1 gal	Container



SCALE: 1" = 10'



PLANT LIST

	QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES	1	SM	SHANTUNG MAPLE	MAPLE TRUNCATUM	2-1/2" CAL	B&B
	4	LE	LACEBARK ELM	ULMUS PARVIFOLIA	2-1/2" CAL	B&B
SHRUBS	34	CR	CORAL DRIFT ROSE	ROSA MEIDRIFORA	2 GAL	CONT.
	51	SJ	SEA GREEN JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'	5 GAL	CONT.
	6	WB	WINTER GEM BOXWOOD	BUXUS MYCROPHYLLOLA 'WINTER GEM'	5 GAL	CONT.
GROUND COVER	50	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	CONT.

WATERING REQUIREMENTS
 SOD AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLERS SYSTEM

LANDSCAPE STREET YARD

181 = LINEAR STREET FRONTAGE-ROCK ROAD
 140 = LINEAR STREET FRONTAGE-21ST STREET NORTH
 321 = TOTAL STREET FRONTAGE
 -78 = GREATEST PERPENDICULAR DISTANCE
 245 = ADJUSTED STREET FRONTAGE
 x 10 = SQUARE FOOTAGE FACTOR
 2450 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 1448 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD PROVIDED
 1435 = TOTAL SQ. FT. OF OFF-SITE (MINOR STREET PRIVILEGE AREA) PROVIDED

AVERAGE LOT DEPTH	SQ. FT. FACTOR
175' OR LESS	8 SF/LIN FT
175'-275'	10 SF/LIN FT
275'-375'	15 SF/LIN FT
375'+	20 SF/LIN FT

2450 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 -500 = SF PER LANDSCAPE YARD TREE
 5 = TOTAL LANDSCAPE YARD TREES REQUIRED

5 = TOTAL LANDSCAPE YARD SHADE TREES PROVIDED

PARKING LOT SCREENING AND LANDSCAPING

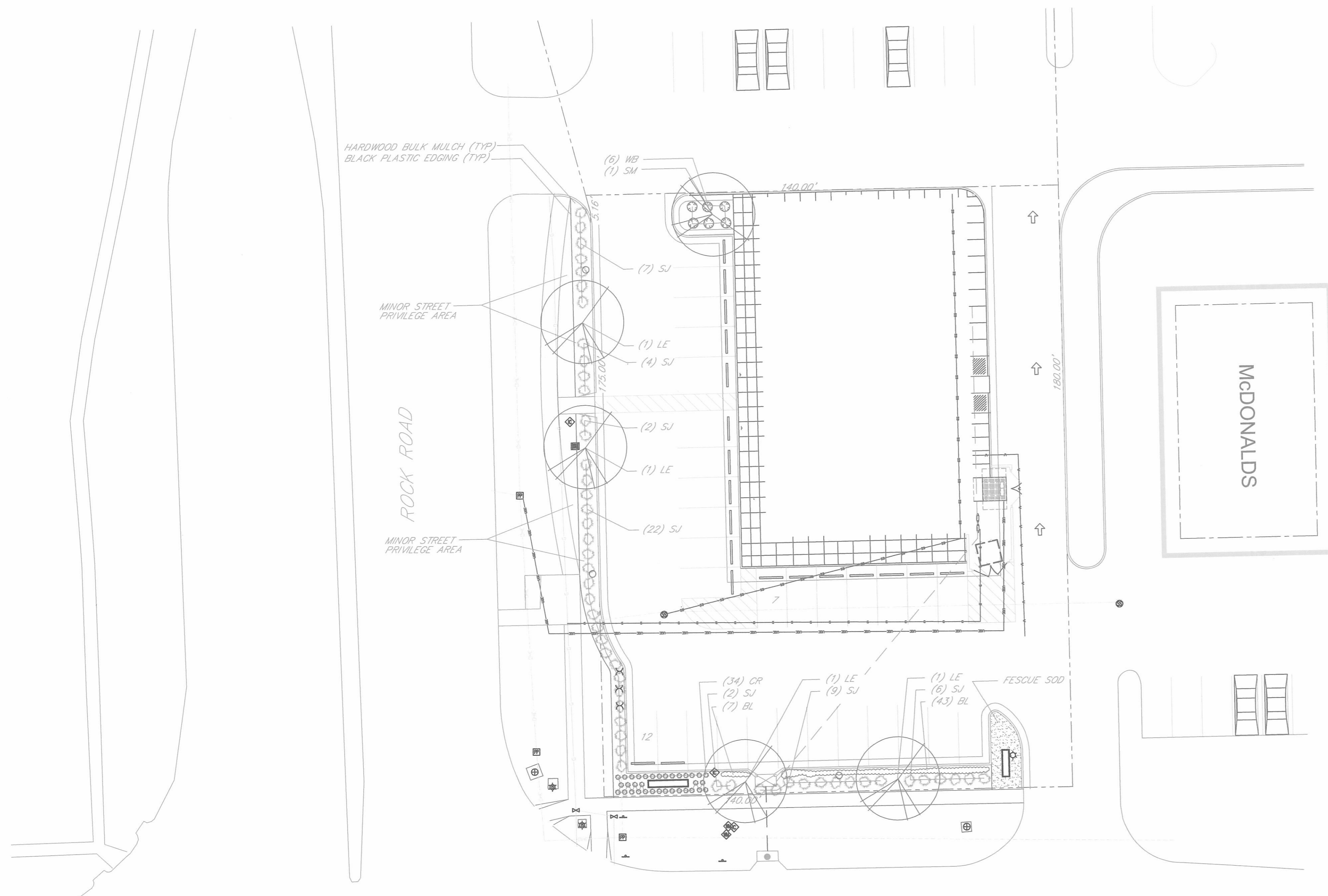
30 = TOTAL NUMBER OF PARKING SPACES
 -20 = NUMBER OF PARKING SPACES PER TREE
 2 = TOTAL PARKING LOT TREES REQUIRED

2 = TOTAL PARKING LOT SHADE TREES PROVIDED

CONTINUOUS PARKING LOT SCREEN REQUIRED
 CONTINUOUS PARKING LOT SCREEN PROVIDED WITH SHRUBS

(1/2 OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

PERIMETER BUFFERS - N/A



DP-92 PARCEL 1B

LANDSCAPE PLAN

APPROVED 11/21/11 BY DG
 DOES NOT CONVEY MINOR STREET PRIVILEGE
 MAPD Copy 1 of 2

REVISE ENTIRE SHEET



TREE TOP
 NURSERY & LANDSCAPING, INC.

5910 E. 37th NORTH
 WICHITA, KS 67220
 TEL 316.686.7491
 FAX 316.686.9625

SCALE: 1" = 20'-0"

LANDSCAPE PLAN

SHELDENARCHITECTURE
 800 E. FIRST STREET, TEL: 316.263.4300
 STE. 140
 WICHITA, KANSAS
 67202
 FAX: 316.263.4301



LAHAM
 DEVELOPMENT
 150 North Market T 316.292.3950
 Wichita, KS 67202 F 316.292.5877
 lahamdevelopment.com

TALLGRASS SHOPPING CENTER
 8008 E 21ST STREET NORTH
 WICHITA, KS. 67206

ISSUE:	DATE:
PERMIT	9 JUNE 11
OWNER REVISIONS	28 OCT 11

LANDSCAPE PLAN

L1.0
 2011
 SheldenArchitecture, Inc.

June 8, 2011

Regency Land Company, LLC
Attn: George Laham, II
150 N. Market Street
Wichita, KS 67202

RE: DP-92 - Administrative Adjustment to DP-92 Tallgrass Commercial and Office Park Community Unit Plan to move landscaping into right-of-way and adjust signage for Parcel 1-B, generally located on the northeast corner of Rock Road and 21st Street North. (CUP2011-00018)

Dear Mr. Laham:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-92 Tallgrass Commercial and Office Park Community Unit Plan (“CUP”). We understand that you wish to shift the landscape street yard and parking lot screening onto the Rock Road right-of-way. As part of this request, you have indicated you will shift the sidewalk to abutting the west side of the landscape bed wholly at your own expense.

We also understand that you have requested to add allowance for a second sign location on 21st Street North. The proposed spacing would be below the standard 150 feet but not be closer than allowed by Wichita Sign Code by administrative adjustment of 100 feet.

On the basis of our review, we feel that adjusting the CUP to grant the requested adjustment will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan.

Our signatures below indicate that an administrative adjustment has been granted as set forth in the attached statement, Exhibit 1 to CUP2011-00018, with the following modification: This adjustment shall not be deemed to allow an increase in the total number of sign locations on 21st Street North, said action requiring an amendment. This adjustment shall not be deemed to alter other signage provisions, or any parking, setback, transportation improvements/guarantees as approved by the Governing Body or any other provisions of the CUP. except as expressly stated herein. Please note that this action only adjusts provisions of the CUP and does not replace and/or authorize any other regulatory requirement, such as but not limited to a Minor Street

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Privilege, and does not convey approval of any or all of such other requirements.

We will make a notation of this change on the CUP. The zoning notification signs may now be removed from the property.

John L. Schlegel
Director of Planning

Kurt A. Schroeder
Superintendent of Central Inspection

cc: MKEC, Attn: Brian Lindebak, 411 North Webb Road, Wichita, KS 67226
Dale Miller, MAPD via email
Paul Hays, Office of Central Inspection via email
J.R. Cox, Office of Central Inspection via email
Leonard Fox, Office of Central Inspection via email
Terrill Florence, Office of Central Inspection via email