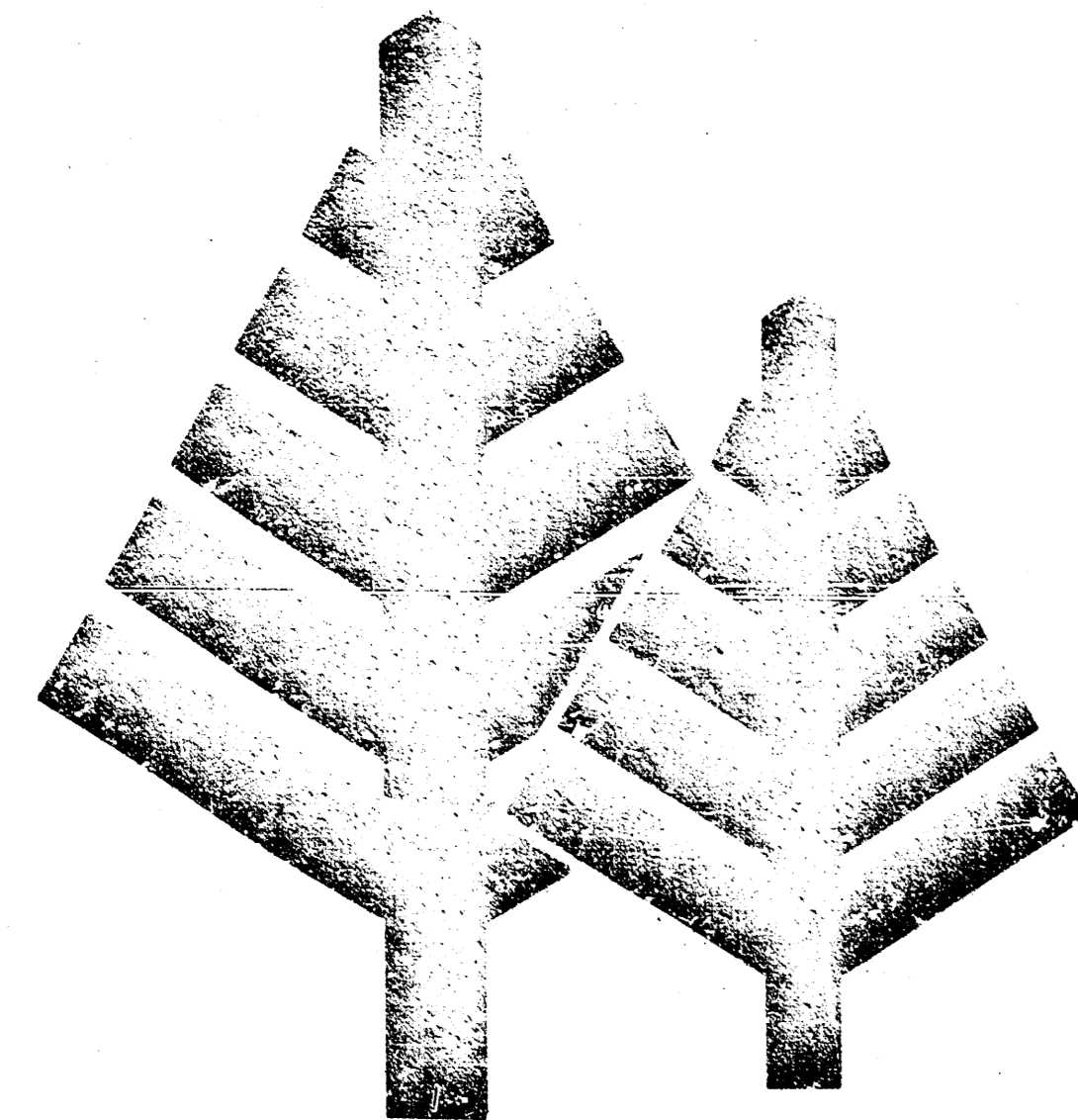


ALTERATIONS TO



the timbers

PACKAGE 3

NOTE TO CONTRACTOR

INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR THE PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED IN DEDICATED EASEMENTS OR PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

SANITARY SEWERS _____

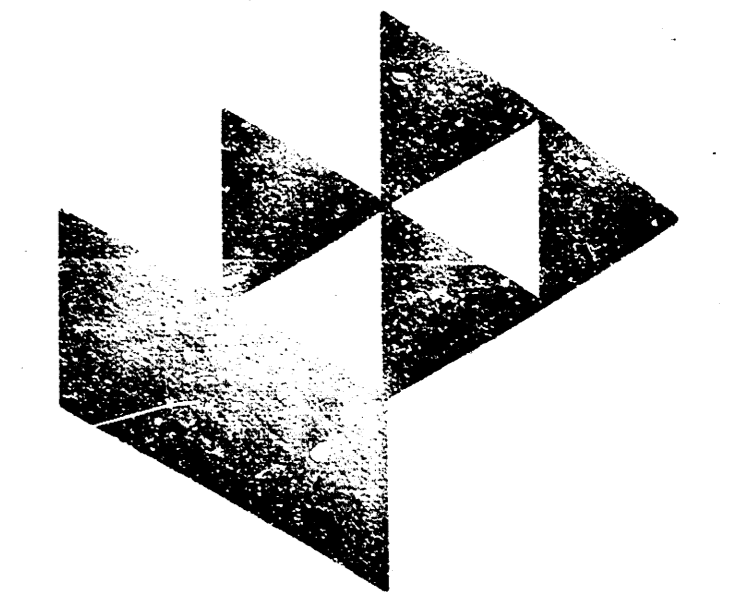
STORM SEWERS URH 9/30/96

DRIVEWAY APPROACHES _____

WATER MAIN _____

PAVING _____

CITY OF WICHITA
MICHAEL E. LINDEBAK, P.E. - CITY ENGINEER
PRIVATE PROJECT NO. = 65TPPS(607861)



Gosson Livingston

Architecture
425 South Oregon
Wichita, KS 67202
Tel: (316) 251-1387
Fax: (316) 251-2466

DATA INFORMATION

SITE

ZONING: "B"
FIRE ZONE: NUMBER THREE (3)
COVER DENSITY: TEN (10) UNITS/ACRE
PARKING SPACES: ONE HUNDRED FORTY-TWO (142) REQUIRED
ONE HUNDRED SIXTY-FOUR (64) SHOWN

SIXPLEX "A" LIVING UNITS: 10 BUILDINGS AT 3,374 S.F./BLDG. = 33,740 S.F.

FOURPLEX "A" LIVING UNITS: 1 BUILDING AT 2,254 S.F./BLDG. = 2,254 S.F.

FOURPLEX "C" LIVING UNITS: 3 BUILDINGS AT 3,128 S.F./BLDG. = 9,384 S.F.

TOI FACILITY:

"B" LIVING UNITS: 24 UNITS AT 560 S.F./UNIT
= 13,440 S.F.

CONGREGATE: = 14,466 S.F.

BASEMENT: = 1,431 S.F.

TOTAL TOI FACILITY: = 29,337 S.F.

1301 FACILITY:

FIRST FLOOR: = 9,458 S.F.

BASEMENT: = 1,479 S.F.

TOTAL 1301 FACILITY: = 10,937 S.F.

MAINTENANCE BUILDINGS: 2 BUILDINGS = 1304 S.F.

BUILDING TYPES: TYPE V UNPROTECTED
TYPE V ONE (1) HOUR AT BUILDING NUMBER'S ONE (1) AND TEN (10)

OCCUPANCIES: ALL FOURPLEX'S AND SIXPLEX'S, R-3 AND R-2 (MIXED)
TOI FACILITY: B-2
1301 FACILITY: B-2

SEPARATION: TWO (2) HOUR AREA SEPARATION WALLS BETWEEN BUILDINGS NOTED AS NUMBERS EIGHT (8), NINE (9), TEN (10) AND ELEVEN (11) (TOI FACILITY)

LIVE LOADS: ROOF: THIRTY POUNDS PER SQUARE FOOT (30 P.S.F.)
FLOOR: AT LIVING UNITS: FORTY POUNDS PER SQUARE FOOT (40 P.S.F.)
TOI FACILITY: ONE HUNDRED POUNDS PER SQUARE FOOT (100 P.S.F.)
1301 FACILITY: ONE HUNDRED POUNDS PER SQUARE FOOT (100 P.S.F.)
WIND LOAD: TWENTY-FIVE POUNDS PER SQUARE FOOT (25 P.S.F.)

OCCUPANT LOADS:	UNIT A:	2	BUILDING EIGHT (8):	2
	UNIT B:	3	BUILDING NINE (9):	3
	UNIT C:	3	BUILDING ELEVEN (11):	3
	BUILDING TEN (10):	65	1301 FACILITY:	45
	BASEMENT:	46	BASEMENT:	5

NUMBER OF LIVING UNITS: ONE HUNDRED (100)

MECHANICAL

PLUMBING FIXTURE COUNT:	WATER CLOSETS	107	WATER COOLER	1
	URINALS	2	ICE MACHINE	1
	SINKS	214	WAITRESS WATER STATION	1
	SHOWERS	100	WASHING MACHINES	4
	DISHWASHERS	101		

SPRINKLERS: NO

FIRE HYDRANTS: YES

ELECTRICAL SERVICE: TOI FACILITY: 1200 AMP (AT MAINS SWITCH)
1301 FACILITY: 500 AMP (AT MAIN SWITCH)
MAINTENANCE BUILDINGS: 60 AMP
SIXPLEX "A" LIVING UNITS: 300 AMP
FOURPLEX "A" LIVING UNITS: 200 AMP
FOURPLEX "C" LIVING UNITS: 225 AMP

DATA INFORMATION

ZONING: "B"

GARAGE/MAINTENANCE BUILDING

OCCUPANCY GROUP: S-3/F-1

CONSTRUCTION TYPE: V-N

FIRE PROTECTION: FIRE EXTINGUISHERS (PORTABLE)

GROSS BUILDING AREA: 1533 S.F. MAINTENANCE SECTION
2100 S.F. GARAGE SECTION
4233 S.F. TOTAL

BUILDING HEIGHT: 20'-0"

OCCUPANCY LOAD: GARAGE SECTION 40
MAINTENANCE SECTION 51
TOTAL 141

UBC 1994 TABLE 5-C: S-3, V-N 8000 S.F. MAX.
F-1, V-N 8000 S.F. MAX.

AREA INCREASE: OPEN (4) SIDES 8000 S.F. X 2 = 16000 S.F.
BUILDING ACTUAL 12710 S.F. IS LESS THAN WHAT IS ALLOWED
BY CODE 16000 S.F.

PARKING REQUIRED: 1 PER 3 EMPLOYEES = 2 SPACES
PARKING AVAILABLE: 4 SPACES

SYMBOL LEGEND

SECTION IDENTIFICATION

5 SECTION NUMBER
AA1.4 SHEET NUMBER OF DWG. WHERE SECTION IS SHOWN

DETAIL IDENTIFICATION

5 SECTION NUMBER
AA1.4 SHEET NUMBER OF DWG. WHERE SECTION IS SHOWN

EXTERIOR ELEVATION

5 SECTION NUMBER
AA1.4 SHEET NUMBER OF DWG. WHERE SECTION IS SHOWN

INTERIOR ELEVATION

5 SECTION NUMBER
AA1.4 SHEET NUMBER OF DWG. WHERE SECTION IS SHOWN

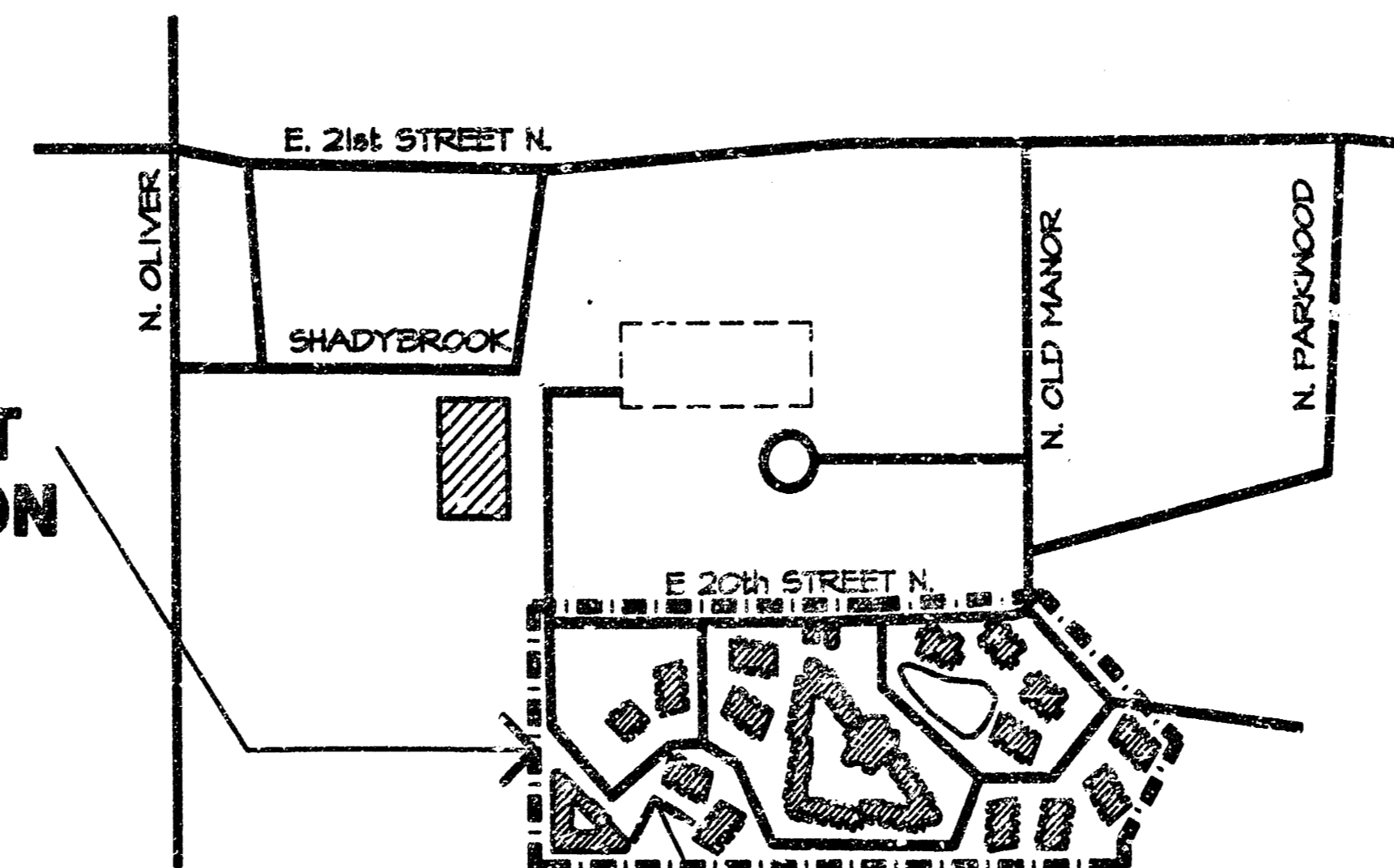
DOOR DESIGNATION

5 DOOR AND FRAME NUMBER

PARTITION DESIGNATION

1 PARTITION TYPE

PROJECT LOCATION



VICINITY MAP

NO SCALE

SHEET INDEX

61	COVER SHEET
	SITE
561	SITE SURVEY
5A1	PROJECT LOCATION SITE PLAN
5A2	SLURRY SEAL SITE PLAN
5A3	POND DEMOLITION, ARCHITECTURAL AND LANDSCAPE PLAN
5A4	GAZEBO AND DECK PLANS, ELEVATIONS, SECTIONS AND DETAILS
5A5	DECK GRADING, LANDSCAPE AND DETAILS
5A6	SITE SURVEY AND DRAINAGE IMPROVEMENT PLAN
5A7	BUILDING TOI COURTYARD
5A8	BUILDING 1301 COURTYARD
5A9	BUILDING 1301 COURTYARD
5A10	GARAGE/MAINTENANCE BUILDING SITE ARCHITECTURAL PLAN
5A11	GARAGE/MAINTENANCE BUILDING PAVING DETAILS
5A12	PAVING RESURFACING SITE PLAN
5A13	UNDERGROUND IRRIGATION SITE PLAN
	ARCHITECTURAL
A1.1	BUILDING TOI - DEMOLITION PLANS
A1.2	BUILDING TOI - FLOOR PLANS
A1.3	LIVING UNITS "A", "B" AND "C" - DEMOLITION PLANS
A1.4	LIVING UNITS "A", "B" AND "C" - FLOOR PLANS AND ROOM FINISH SCHEDULE
A1.5	LIVING UNITS "A", "B" AND "C" - ENLARGED PLANS AND INTERIOR ELEVATIONS
A2.1	EXISTING MAINTENANCE BUILDING FLOOR PLAN AND BUILDING ELEVATIONS
A2.2	BUILDING TOI - BUILDING ELEVATIONS
A2.3	BUILDING TOI - BUILDING ELEVATIONS
A2.4	BUILDING 1301 - BUILDING ELEVATIONS
A2.5	INDIVIDUAL LIVING UNITS BUILDING ELEVATIONS
A4.1	BUILDING TOI - ROOF PLAN
A4.2	BUILDING 1301 - ROOF PLAN
A4.3	BUILDING TOI AND BUILDING 1301 - MISCELLANEOUS DETAILS
A6.1	BUILDING TOI - ROOM FINISH SCHEDULE
AB1.1	GARAGE/MAINTENANCE BUILDING PLANS AND ROOM FINISH SCHEDULE
AB2.1	GARAGE/MAINTENANCE BUILDING ELEVATIONS AND SECTIONS
AB3.1	GARAGE/MAINTENANCE BUILDING WALL SECTIONS
AB3.2	GARAGE/MAINTENANCE BUILDING WALL SECTION AND MISCELLANEOUS DETAILS
AB5.1	GARAGE/MAINTENANCE BUILDING DOOR SCHEDULE AND DOOR DETAILS
	STRUCTURAL
5B1.1	GARAGE/MAINTENANCE BUILDING FOUNDATION AND ROOF FRAMING PLAN
5B2.1	GARAGE/MAINTENANCE BUILDING SECTION AND DETAILS
5B3.1	GARAGE/MAINTENANCE BUILDING SECTIONS, SCHEDULES AND GENERAL NOTES
	MECHANICAL
M1.1	LIVING UNITS "A", "B", & "C" HEAT PUMP REPLACEMENT SITE PLAN
M2.1	BUILDING TOI LAUNDRY MECHANICAL
M2.2	LIVING UNITS "A", "B", & "C" MECHANICAL PLANS
M3.1	GARAGE/MAINTENANCE BUILDING MECHANICAL PLAN
	ELECTRICAL
E1	BUILDING TOI AND TYPICAL UNITS SCHEDULES
E2	BUILDING TOI FLOOR PLANS
E3	LIVING UNITS "A", "B", & "C" FLOOR PLANS
EB1.1	GARAGE/MAINTENANCE BUILDING SCHEDULE, DETAILS
EB2.1	GARAGE/MAINTENANCE BUILDING FLOOR PLAN

SWS
BOOKED
2-12-97
MCS
D-328

As Built
also 10/25/96

ALTERATIONS TO
the timbers
PACKAGE 3
WICHITA, KANSAS

THE TIMBERS AND
GARAGE/MAINTENANCE
BUILDING

COVER SHEET

JOB NO. 850.000

DATE 3-21-96

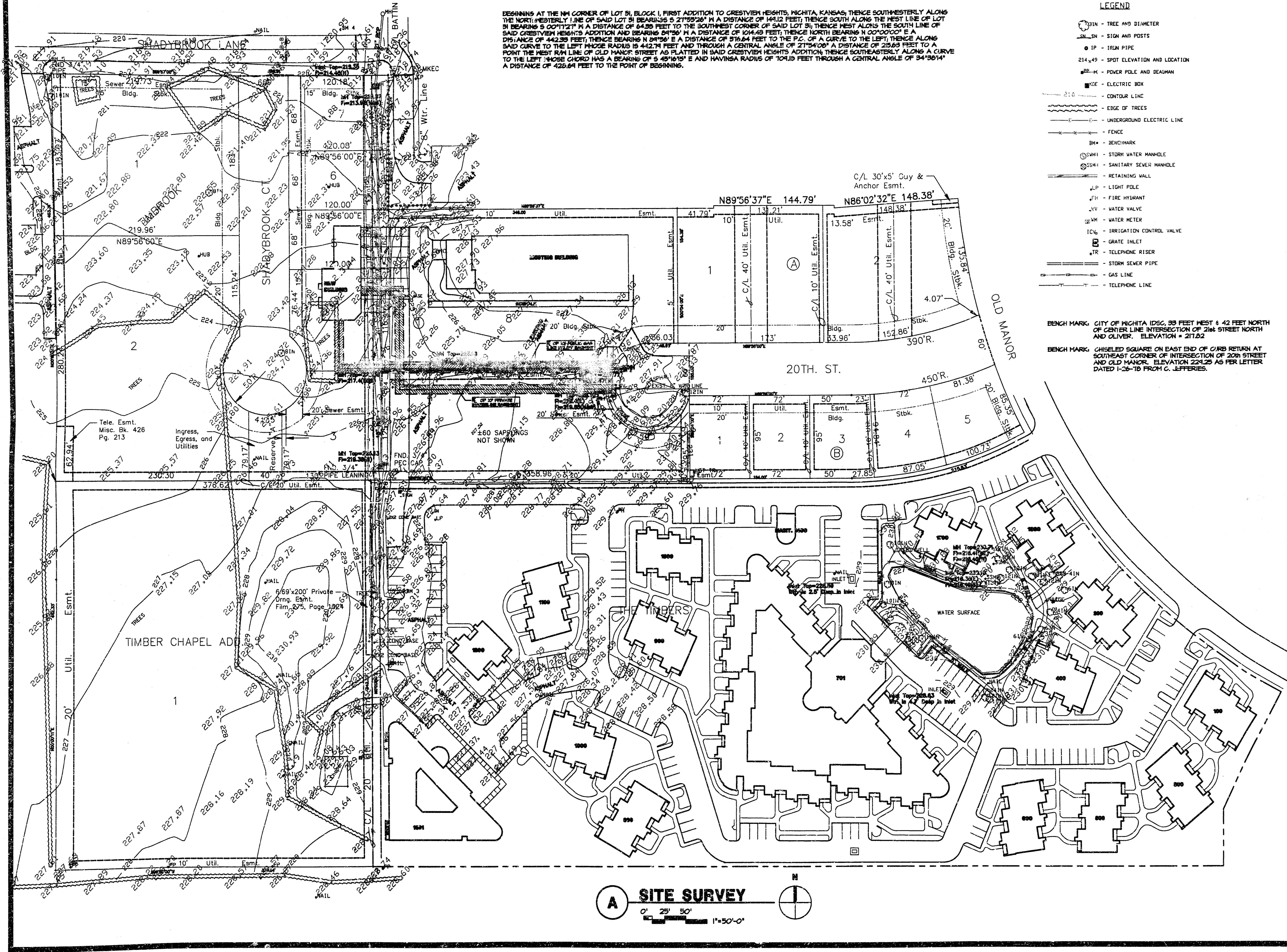
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CHECKED MEK

G1
OF

LEGAL DESCRIPTION

BEGINNS AT THE NW CORNER OF LOT 51, BLOCK 1, FIRST ADDITION TO CRESTVIEW HEIGHTS, WICHITA, KANSAS; THENCE SOUTHWESTERLY ALONG THE NORTH-WESTERLY LINE OF SAID LOT 51 BEARING S 27°52'20" W A DISTANCE OF 144.12 FEET; THENCE SOUTH ALONG THE WEST LINE OF LOT 51 BEARING 9°00'12" W A DISTANCE OF 64.95 FEET TO THE SOUTHWEST CORNER OF SAID LOT 51; THENCE WEST ALONG THE SOUTH LINE OF SAID CRESTVIEW HEIGHTS ADDITION BEARING 04°30' W A DISTANCE OF 104.43 FEET; THENCE NORTH BEARING N 00°00'00" E A DISTANCE OF 442.39 FEET; THENCE BEARING N 84°56' E A DISTANCE OF 516.64 FEET TO THE P.C. OF A CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 442.71 FEET AND THROUGH A CENTRAL ANGLE OF 27°54'00" A DISTANCE OF 25.69 FEET TO A POINT THE WEST R/W LINE OF OLD MANOR STREET AS PLATTED IN SAID CRESTVIEW HEIGHTS ADDITION; THENCE SOUTHEASTERLY ALONG A CURVE TO THE LEFT WHOSE CHORD HAS A BEARING OF S 49°16'19" E AND HAVING A RADIUS OF 104.15 FEET THROUGH A CENTRAL ANGLE OF 34°36'14" A DISTANCE OF 429.64 FEET TO THE POINT OF BEGINNING.



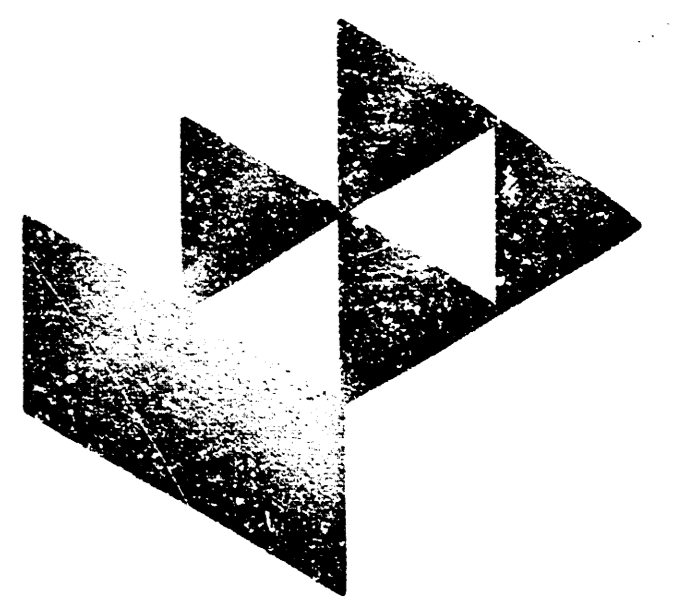
- LEGEND**
- 3IN - TREE AND DIAMETER
 - SN - SIGN AND POSTS
 - IP - IRON PIPE
 - 214.49 - SPOT ELEVATION AND LOCATION
 - P - POWER POLE AND DEADMAN
 - E - ELECTRIC BOX
 - 21.0 - CONTOUR LINE
 - - - - EDGE OF TREES
 - - - - UNDERGROUND ELECTRIC LINE
 - X — FENCE
 - BM+ - BENCHMARK
 - SWH+ - STORM WATER MANHOLE
 - SSH+ - SANITARY SEWER MANHOLE
 - - - - RETAINING WALL
 - LP - LIGHT POLE
 - FH - FIRE HYDRANT
 - WV - WATER VALVE
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - GI - GRATE INLET
 - TR - TELEPHONE RISER
 - - - - STORM SEWER PIPE
 - - - - GAS LINE
 - - - - TELEPHONE LINE

BENCH MARK: CITY OF WICHITA DSCG, 33 FEET WEST & 42 FEET NORTH OF CENTER LINE INTERSECTION OF 21st STREET NORTH AND OLIVER. ELEVATION = 217.82

BENCH MARK: CHISELED SQUARE ON EAST END OF CURB RETURN AT SOUTHEAST CORNER OF INTERSECTION OF 20th STREET AND OLD MANOR. ELEVATION 224.25 AS PER LETTER DATED 1-26-78 FROM C. JEFFERIES.

A SITE SURVEY

0' 25' 50' 1"=50'-0"



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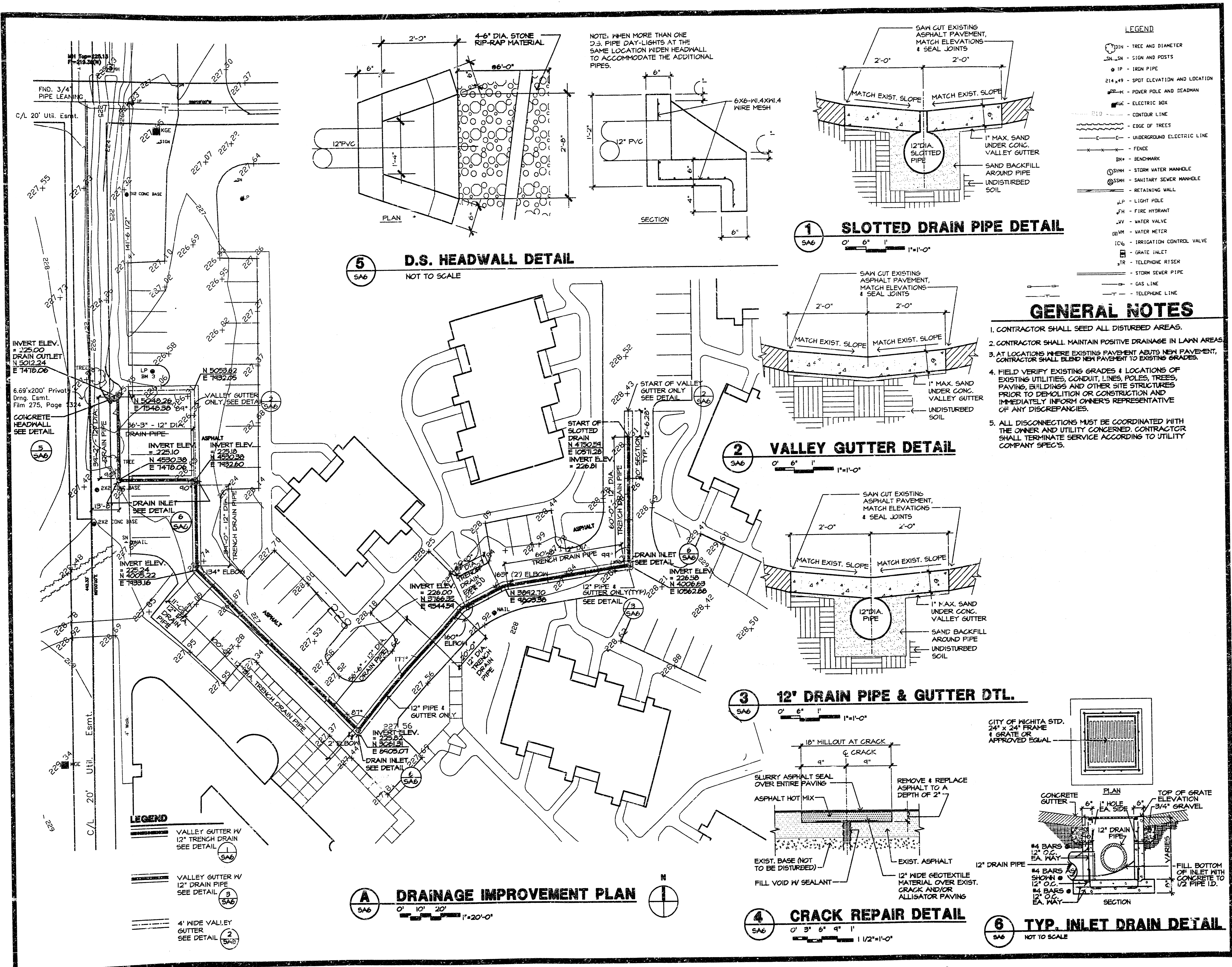
ALTERATIONS TO
the timbers
PACKAGE 3
WICHITA, KANSAS

OVERALL SITE SURVEY
FOR REFERENCE ONLY

SITE SURVEY

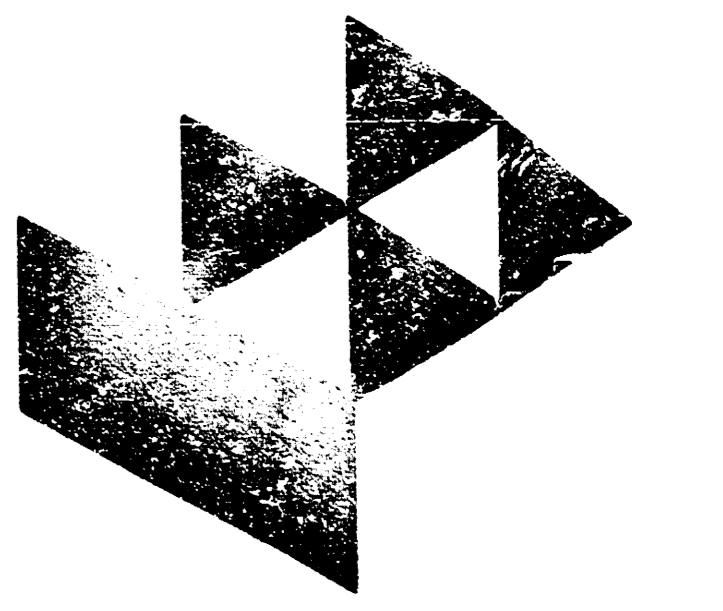
JOB NO. 050.000
DATE 3-21-46
DRAWN DRW
CHECKED MEK

SS1
OF



- LEGEND**
- - TREE AND DIAMETER
 - SN - SIGN AND POSTS
 - IP - IRON PIPE
 - 214 x 49 - SPOT ELEVATION AND LOCATION
 - P - POWER POLE AND DEADMAN
 - E - ELECTRIC BOX
 - C - CONTOUR LINE
 - E - EDGE OF TREES
 - U - UNDERGROUND ELECTRIC LINE
 - F - FENCE
 - BM - BENCHMARK
 - S - STORM WATER MANHOLE
 - S - SANITARY SEWER MANHOLE
 - R - RETAINING WALL
 - LP - LIGHT POLE
 - FH - FIRE HYDRANT
 - W - WATER VALVE
 - M - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - G - GRATE INLET
 - TR - TELEPHONE RISER
 - S - STORM SEWER PIPE
 - G - GAS LINE
 - T - TELEPHONE LINE

- GENERAL NOTES**
- CONTRACTOR SHALL SEED ALL DISTURBED AREAS.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 - AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW PAVEMENT, CONTRACTOR SHALL BLEND NEW PAVEMENT TO EXISTING GRADES.
 - FIELD VERIFY EXISTING GRADES & LOCATIONS OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDINGS AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
 - ALL DISCONNECTIONS MUST BE COORDINATED WITH THE OWNER AND UTILITY CONCERNED. CONTRACTOR SHALL TERMINATE SERVICE ACCORDING TO UTILITY COMPANY SPECS.



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ALTERATIONS TO
the timbers
PACKAGE 3
WICHITA, KANSAS

BASE BID

SITE SURVEY AND DRAINAGE IMPROVEMENT PLAN

JOB NO. 850.000
DATE 3-21-96
DRAWN DRW/GDL
CHECKED MEK

SA6
OF