

Meridian 53 Second Addition - SUB2023-00026

CERTIFICATE OF SURVEY

I, Ernest Patrick Fink, a Professional Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "MERIDIAN 53 SECOND ADDITION" an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, and Reserves, the same being accurately set forth in the accompanying plat and described herein:

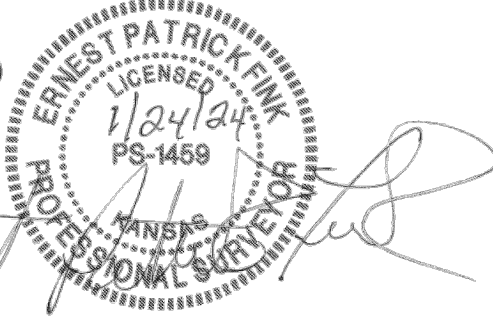
A replat of all of Lots 1, 2, 3, 4, Block A, and Reserves A and B, Meridian 53 Addition, Wichita, Sedgwick County, Kansas.

CONTAINING: 1,121,020 square feet or 25.73 acres of land, more or less.

All streets, easements, rights-of-way, building setbacks, access controls, together with all other public dedications within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512b, as amended.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 24th day of January, 2024.

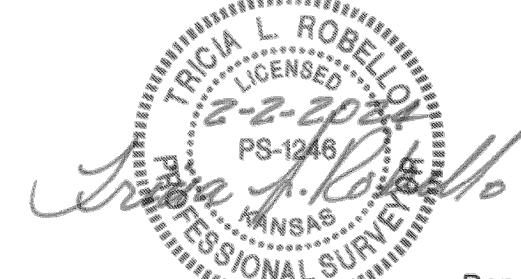
Ernest Patrick Fink, P.S. #1459
MKEC Engineering, Inc. (CLS 39)
411 North Webb Road
Wichita, Kansas 67206



COUNTY SURVEYOR

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Reviewed in accordance with K.S.A. 58-2005 on this 2nd day of February, 2024.



Deputy County Surveyor

Tricia L. Robello, P.S. #1246
Deputy County Surveyor
Sedgwick County, Kansas

OWNER'S CERTIFICATE

Know all men by these presents that we the undersigned property owners of the land above set forth in the Professional Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, Blocks, and Reserves, the same to be known as "MERIDIAN 53 SECOND ADDITION" an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of utilities, as indicated hereon, are hereby granted to the public. Easements for the construction and maintenance of drainage, as indicated hereon, are hereby granted to the public. Easements for the construction and maintenance of drainage and utilities, as indicated hereon, are hereby granted to the public. No sign, light poles, private drainage systems, berms, walls, masonry trash enclosures or other structures shall be located within public utility easements unless permitted by the City of Wichita Department of Engineering and that they do not inhibit the conveyance of surface drainage. Easements by separate instrument shall be obtained for the extension of utilities to service lots with the design and construction of said infrastructure.

All abutters rights of access to or from Meridian Avenue over and across the east line of "MERIDIAN 53 SECOND ADDITION," are hereby granted to the appropriate governing body, provided however one full movement and two right in/out openings, as indicated hereon. All abutters rights of access to or from West 53rd Street North over and across the north line of "MERIDIAN 53 SECOND ADDITION," are hereby granted to the appropriate governing body, provided however one full movement and an additional right in/out openings or an additional full movement opening across the W. 196.73 feet of 53rd St. frontage: One access point is allowed as follows. The minimum distance between a full turning movement drive shall be 400 feet. The minimum distance between a right-in/right-out drive and either another right-in/right-out drive or a full movement drive shall be 200 feet.

Reserves A, B, and C, are platted for ingress and egress access, landscaping, irrigation, sidewalks (private), signs, monuments, fences/walls, cross-lot drainage, utilities confined by easement (platted or otherwise separate instrument), and all land uses permitted per the recitals of CUP DP-361. Reserves D & E, are platted for landscaping, irrigation, sidewalks (private), fences (provided that they not inhibit the conveyance of the roadway), drainage facilities, including but not limited to drainage structures, drainageway, drainage pipes and culverts, detention/retention, conveyance of cross-lot drainage, and utilities confined by easement (platted or otherwise separate instrument). The drainageway within Reserves D & E shall be maintained by the City of Wichita and/or Sedgwick County for regional flood controls. The Reserves are hereby reserved for the stated uses and shall be owned and maintained by the developer, and/or a lot owner's association, and/or their successors and/or assigns. No regrading within abutting rights-of-way shall be allowed with the construction of berms allowed within said Reserves, if any. Compliance with any platted restrictions and applicable restrictive covenants affecting said Reserves shall be binding on any owners, successors, heirs, or assigns.

A master drainage plan has been developed for this plat. All drainage easements, rights-of-way, and reserves shall remain at established grades (unless modified with the approval of the City Engineer) and shall be unobstructed to allow for the conveyance of stormwater in accordance with the Stormwater Manual. Lots 1 and 3, Block 1, are required to adhere to the minimum pad elevation as per the "Minimum Pad Elevation" tables shown hereon.

FEMA floodplain and regulatory floodway boundaries are subject to periodic change and such change may affect the intended land use within the subdivision. Portions of the land within the plat boundaries are encumbered with a floodplain at the time of final platting. No permanent buildings shall be constructed within the floodplain, nor any fill, change in grade, creation of channel or other work be carried on without the written permission of the Floodplain Manager. For further information, see current applicable FEMA Flood Insurance Rate Maps (FIRM). See drainage plan/report on file with the City of Wichita for the base flood elevations and floodway/floodplain delineations.

The property is within a zone identified by the City Engineer's office as likely to have groundwater at some or all times within ten feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineer's office.

This plat shall comply with the recitals of the Meridian 53 Community Unit Plan (CUP) DP-361 on file at the Wichita-Sedgwick County Planning Department.

Broadmoor One, LLC, a Kansas limited liability company
by: Circle C, L.P., a Kansas limited liability company, manager
by: Louise A. Caro 2012 Irrevocable Family Trust, manager

Alfred A. Caro, Trustee

STATE OF KANSAS, SEDGWICK COUNTY) ss:
This instrument was acknowledged before me on 29th day of January, 2024, by Alfred A. Caro, Trustee, Louise A. Caro 2012 Irrevocable Family Trust, as manager of, Circle C, L.P., a Kansas limited liability company, as manager of, Broadmoor One, LLC, a Kansas limited liability company, and on behalf of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Affix Seal: Notary Public, My Term Expires: May 5, 2025

MORTGAGE CERTIFICATE

Stryv Bank, holder of a mortgage on the above described property, does hereby consent to the "MERIDIAN 53 SECOND ADDITION" final plat.

STRYV BANK

Zachary Weast, Executive Vice President

STATE OF KANSAS, SEDGWICK COUNTY) ss:
This instrument was acknowledged before me on this 25th day of January, 2024 by Zachary Weast, Executive Vice President, Stryv Bank, on behalf of the bank.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Affix Seal: DENAL GOODALL, Notary Public - State of Kansas, My Term Expires: 3-23-2025

PLANNING COMMISSION CERTIFICATE

This plat of "MERIDIAN 53 SECOND ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Area Planning Commission, Wichita, Kansas.

Dated this 11 day of January, 2024.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, Wichita, Kansas.

By: Robert Dool, Chair

Attest: Scott A. Wadle, Secretary

GOVERNING BODY CERTIFICATE

This plat approved and all dedications shown hereon, accepted by the Wichita City Council of the City of Wichita, Kansas dated this 20th day of February, 2024.

At the direction of the City Council.

Lily Wu, Mayor

Attest: Jamie Buster, City Clerk

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Entered on transfer record this 4th day of March, 2024.

Kelly B. Arnold, County Clerk

REGISTER OF DEEDS' CERTIFICATE

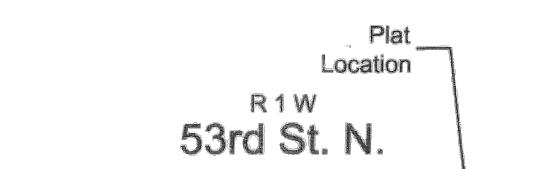
STATE OF KANSAS, SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this 5th day of March, 2024, at 10:32:54 o'clock A.M. and is duly recorded.

Tonya E. Buckingham, Register of Deeds

Kenly Zehring, Deputy

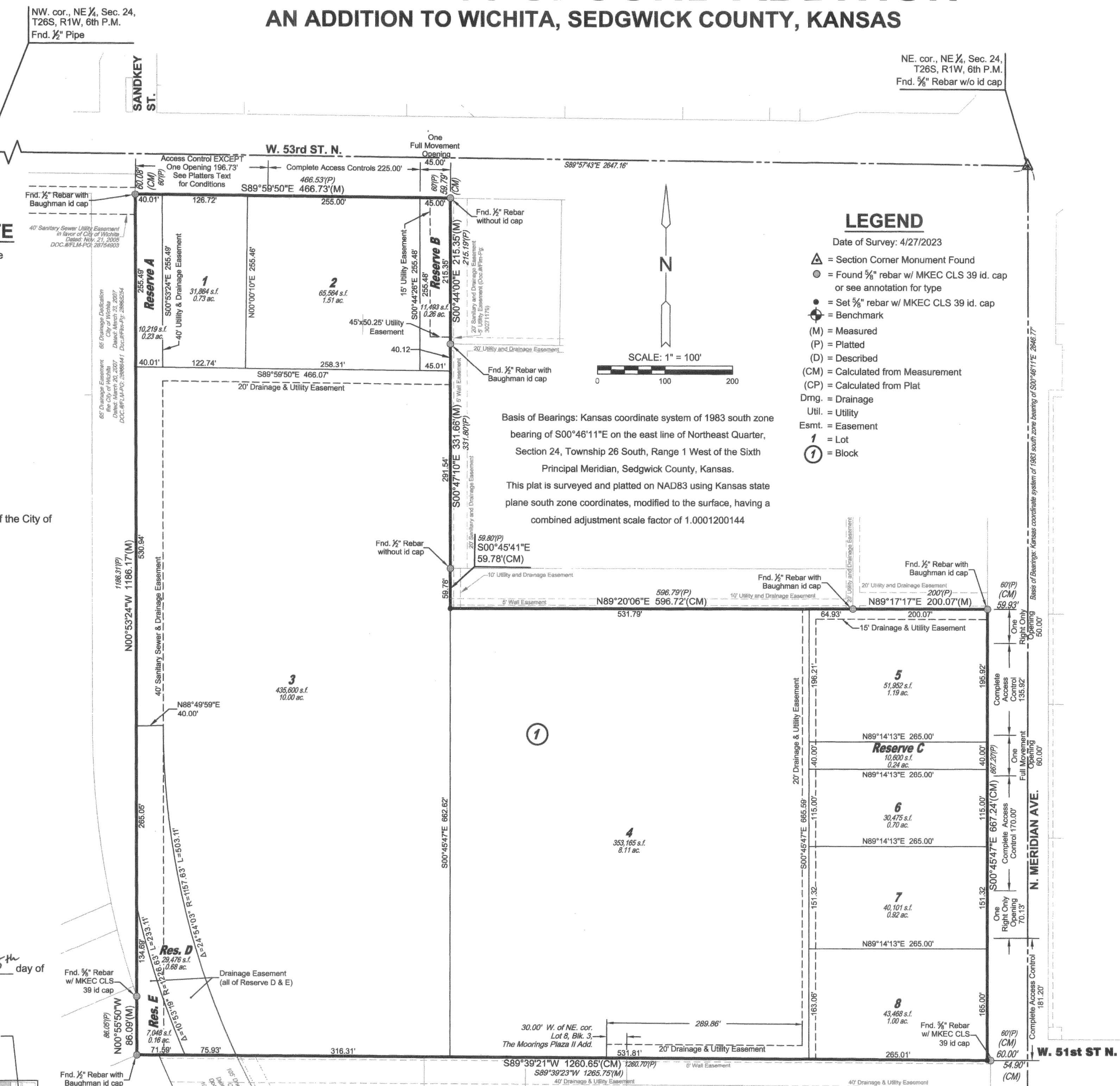
Register of Deeds - Sedgwick County, Kansas
Doc #/Fim-Pg: 30294250
Recorded: 03/05/2024 10:32:54 AM



VICINITY MAP

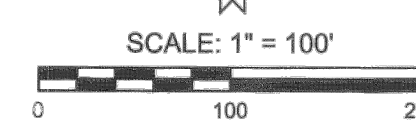
Table with 3 columns: LOT(S) inclusive, BLOCK, ELEVATION NAVD 88. Rows: 1, 1, 1331.9; 3, 1, 1331.3

FINAL PLAT
MERIDIAN 53 SECOND ADDITION
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



LEGEND

- Date of Survey: 4/27/2023
Delta = Section Corner Monument Found
Circle with dot = Found 3/4" rebar w/ MKEC CLS 39 id. cap or see annotation for type
Circle with dot and line = Set 3/8" rebar w/ MKEC CLS 39 id. cap
Square with dot = Benchmark
(M) = Measured
(P) = Platted
(D) = Described
(CM) = Calculated from Measurement
(CP) = Calculated from Plat
Dmg. = Drainage
Util. = Utility
Esmt. = Easement
1 = Lot
1 = Block



Basis of Bearings: Kansas coordinate system of 1983 south zone bearing of S00°46'11"E on the east line of Northeast Quarter, Section 24, Township 26 South, Range 1 West of the Sixth Principal Meridian, Sedgwick County, Kansas.
This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.0001200144

NOTES

- 1.) This plat of "MERIDIAN 53 SECOND ADDITION" is subject to the conditions of the Community Unit Plan DP-361. The building setbacks are established with the C.U.P.
2.) FEMA floodplain and regulatory floodway boundaries are subject to periodic change and such change may affect the intended land use within the subdivision. Portions of the land within the plat boundaries are encumbered with a floodplain at the time of final platting. No permanent buildings shall be constructed within the floodplain, nor any fill, change in grade, creation of channel or other work be carried on without the written permission of the Floodplain Manager. For further information, see current applicable FEMA Flood Insurance Rate Maps (FIRM). See drainage plan/report on file with the City of Wichita for the base flood elevations and floodway/floodplain delineations.
3.) Access Controls to Lots 1 and 2 across the W. 196.73 feet of 53rd St. frontage: One access point is allowed as follows. The minimum distance between full turning movement drives shall be 400 feet. The minimum distance between a right-in/right-out drive and either another right-in/right-out drive or a full movement drive shall be 200 feet.

