

STREET IMPROVEMENTS
FOR
WESTWIND SECOND ADDITION
**CORNELISON CIR., 20TH ST. CIR.,
and WESTLAWN CIR.**

FROM THE W.L. WOODCHUCK TO, AND INCLUDING CUL-DE-SACS

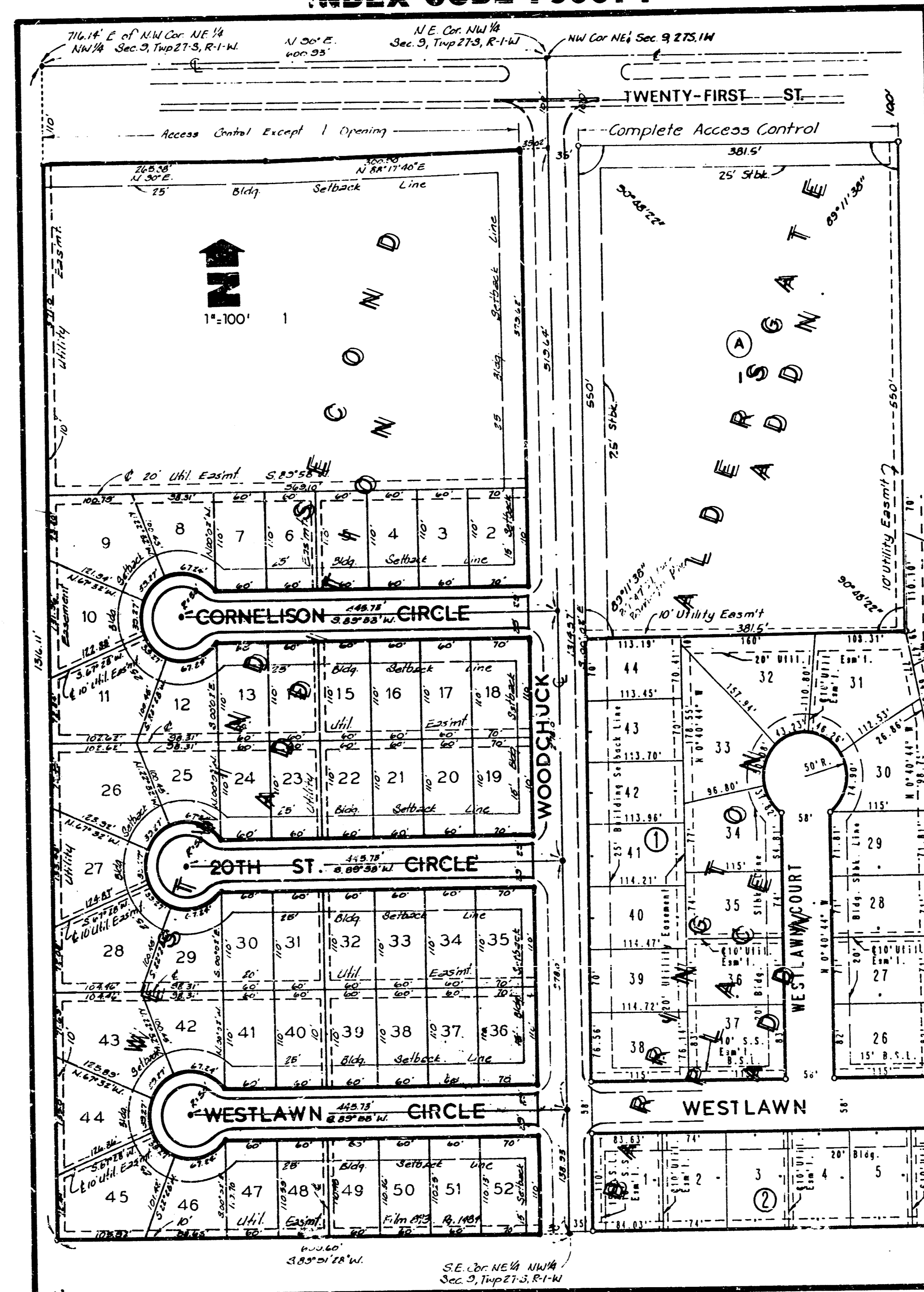
PROJECT NO. 472-76-245-81776-000-000-001
INDEX CODE 760074

BENCHMARKS

1. "C" Cut top ch. adjacent to NW Cor. lot 29, Blk. 1, BARRINGTON PLACE ADDITION. Elev. = 155.91 City datum
2. "C" Cut SW Cor. of catch basin, E. End of NE Return of 19TH ST. at Woodchuck. Elev. = 155.11 City datum
3. Top of Iron in Thimble NE Cor. NW 1/4, Sec. 9, T27S, R1W. (Intersection 21st ST. at Woodchuck.) Elev. = 162.70 City datum

GENERAL NOTES

1. Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
2. This project includes a certain amount of roll type curb construction. Roll Curbs shall be depressed through all driveway openings when such drives are constructed as a part of the project.
3. No more than 17 drives 18 feet in width, or equivalent combinations thereof, are to be constructed with this project.
4. Widened gutter section of combined curb and gutter at intersections will not be paid for directly, and this cost shall be considered as subsidiary to the other contract pay items of work.
5. Limits of earthwork shall match existing ground elevations at the right-of-way line unless otherwise noted on the plans with a new finished grade elevation. When a new finished grade elevation is shown, the earthwork shall extend one foot beyond the right-of-way line and then sloped up or down using permissible slopes to match the existing ground surface.
6. Contractor shall give property owners abutting this project, whose yards will be lower than the new finished grade elevations at the right-of-way line, an opportunity to utilize excess excavated material from the project to regrade their yards to drain to the new pavement. Contractor will be required to dump and spread the excess material as required by the specification when requested by the property owner. The contractor shall ascertain that a dirt order form has been properly executed by the property owner before any such excess material is delivered to such properties.
7. The Contractor will be permitted to bid only one of the alternate types of subgrade treatment. The type bid by the successful bidder will be the type of subgrade treatment used to construct the project.
8. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.



IMPROVEMENT DISTRICT

CITY of WICHITA, KANSAS
MICHAEL E. LINDEBAK
CITY ENGINEER

INDEX of SHEETS

- 1 TITLE SHEET
- 2 TYPICAL PAVT. SECTION
- 3-5 PLAN SHEETS
- 6-12 EARTHWORK X-SECTIONS
- 13 FINAL PLAT (COPY)

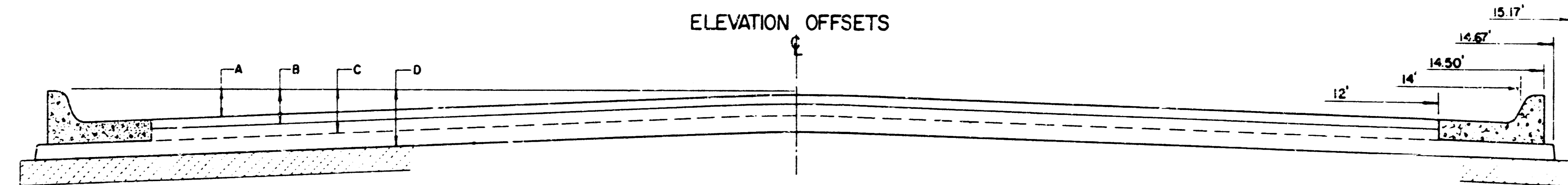
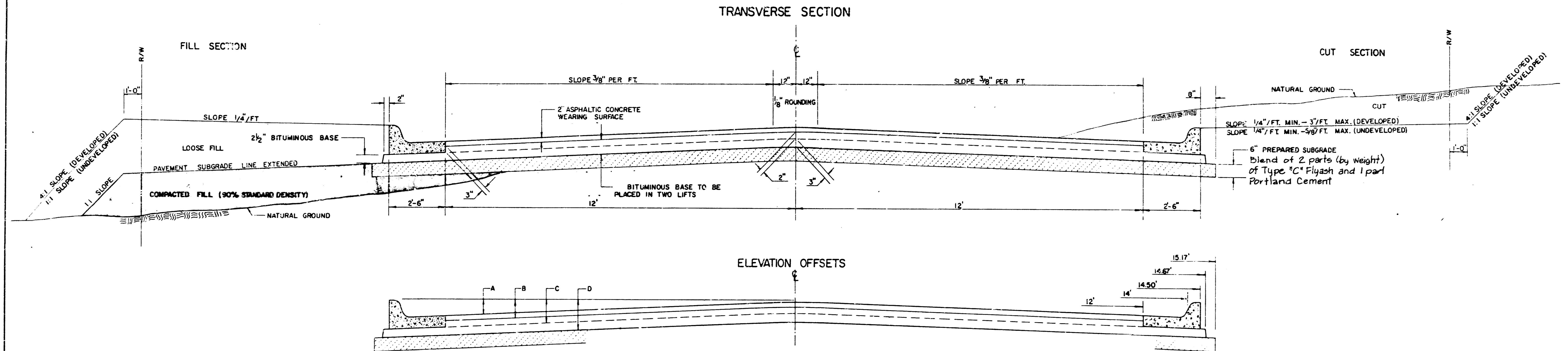


JULY 27, 1985

TITLE SHEET				
BAUGHMAN COMPANY, P.A. SURVEYING & ENGINEERING 312/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211				
Design:	Drawn:	Approved:	Date:	Sheet:
T. Rupples	Senny	Apr 85	as noted	1 13

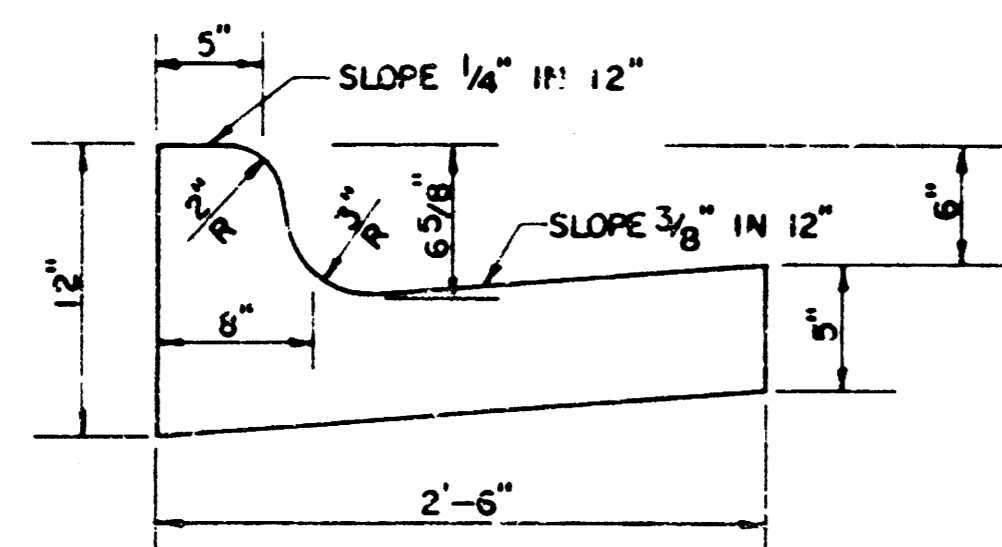
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TYPICAL 29' PAVEMENT DETAILS

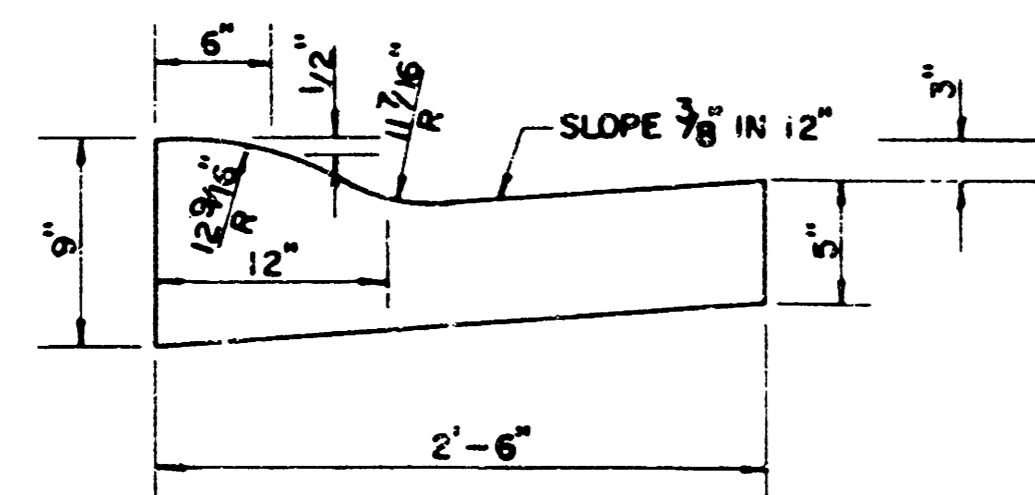


	DISTANCE FROM CENTERLINE (LT. & RT.)											
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'	14.67'	15.17'
A: TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—	—	—
B: TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.66	—	—	—	—
C: TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00	1.01	—
D: TOP OF CURBS TO TOP OF SUBGRADE	0.72	0.77	0.84	0.91	0.94	0.98	1.05	1.12	1.19	1.21	1.21	1.23

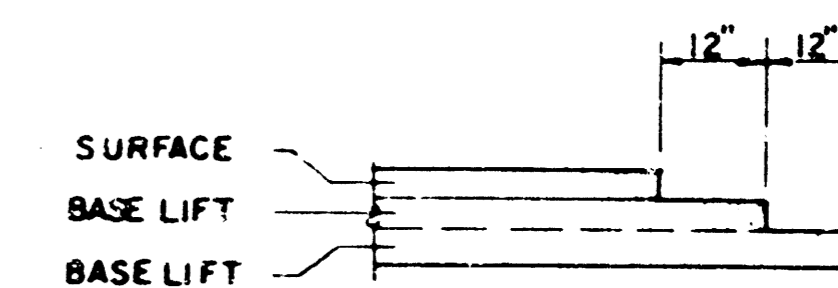
COMBINED CURB & GUTTER



ROLL TYPE COMBINED CURB & GUTTER



TRANSVERSE CONSTRUCTION JOINTS



TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7\"/>

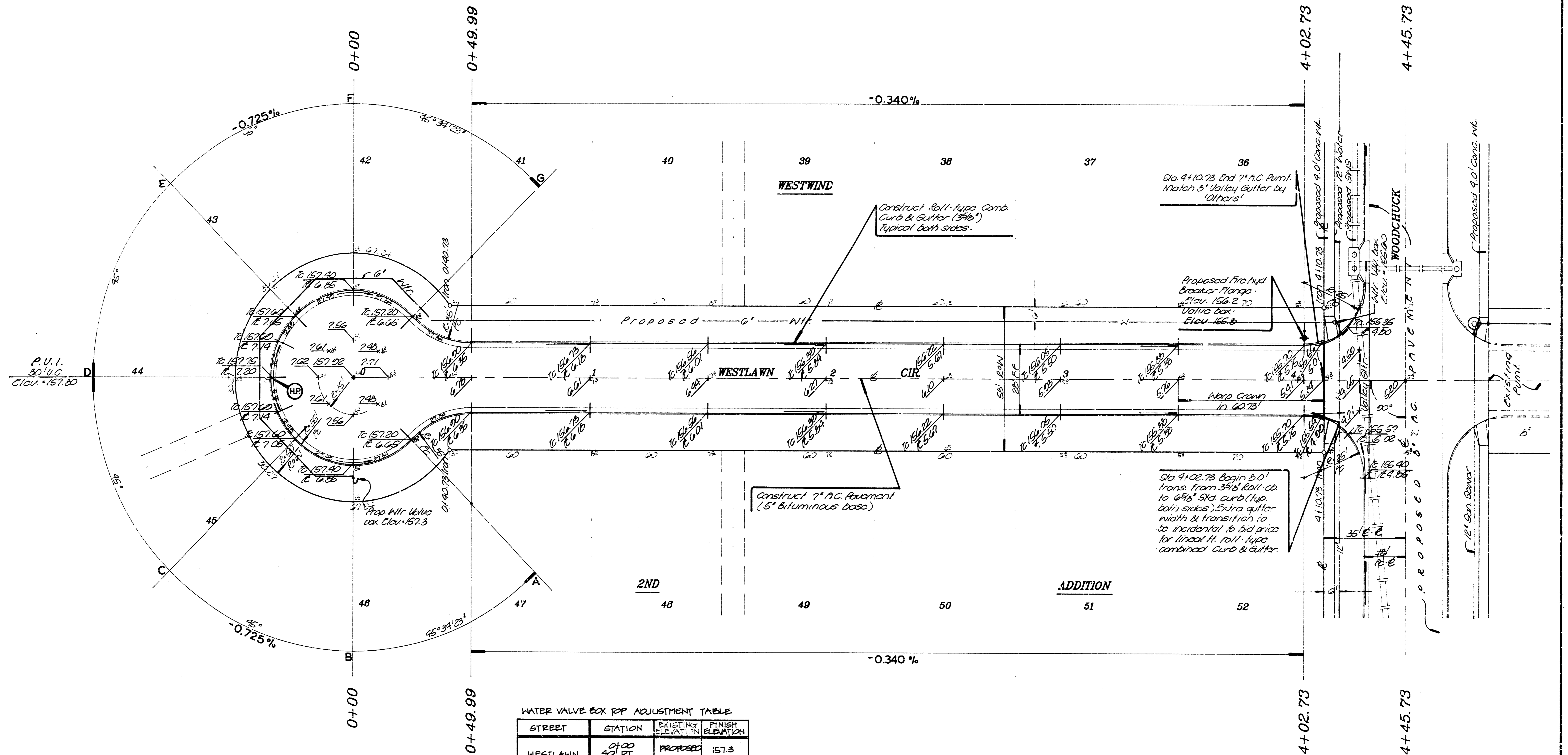
GENERAL NOTES

- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7\"/>
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2\"/>
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

7 INCH RESIDENTIAL ASPHALTIC CONCRETE PAVEMENT WITH 5 INCH BITUMINOUS BASE
CITY OF WICHITA, KANSAS
 PROJECT NUMBER
 472-76-245-81776-000-000-001 2/13

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NOTE:
Roll-type Curb & Gutter (3/8" & 1/2")
is to be constructed on this project.



WATER VALVE BOX TOP ADJUSTMENT TABLE

STREET	STATION	EXISTING ELEVATION	FINISH ELEVATION
WESTLAWN CIRCLE	0+00 RT.	PROPOSED	157.3
	4+02.73 10' LT.	PROPOSED	155.6
20TH STREET CIRCLE	0+00 RT.	PROPOSED	152.1
	4+02.73 10' LT.	PROPOSED	156.6
CORNELISON CIRCLE	0+00 RT.	PROPOSED	150.1
	4+02.73 10' LT.	PROPOSED	157.6

EARTHWORK QUANTITIES

EXCAVATION 2553 Cu. Yds.
COMPACTED FILL 4 Cu. Yds.
Subgrade Manip. 5195 Sq. Yds.

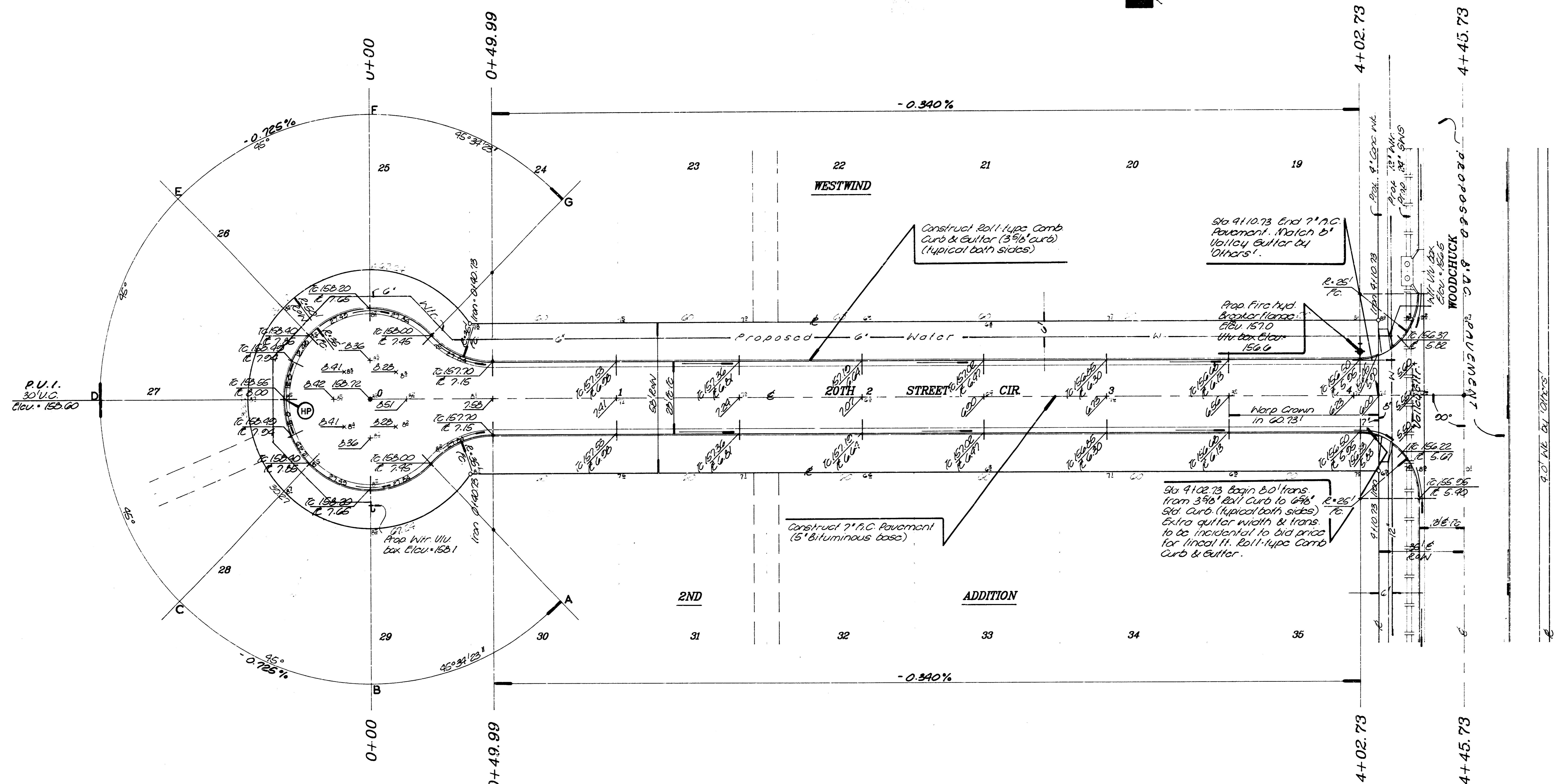
BENCHMARKS

1. "C" Curb top cb. adjacent to NW Cor. lot 29, Blk. 1, BARRINGTON PLACE ADDITION. Elev. = 155.91 City datum
2. "B" Cut SW. Cor. of catch basin, E. End of NE Return of 191H ST. at Woodchuck. Elev. = 155.11 City datum
3. Top of Iron in Thimble NE Cor. NW 1/4, Sec. 9, T-27-S, R-1-W. (Intersection 21st ST. at Woodchuck.) Elev. = 162.70 City datum

WESTLAWN CIRCLE			
BAUGHMAN COMPANY P. A.			
SURVEYING & ENGINEERING			
318/282-7271 • 315 ELLIS • MOHITA, KANSAS 67211			
PROJECT NUMBER			
472-76-245-81776-000-000-001			
DESIGN TOR	DRAWN GARY	APPROVED	DATE MAR 20
		SCALE 1" = 20'	SHEET 3 OF 13

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NOTE:
Roll-type Curb & Gutter (3'6" & 1'6")
is to be constructed on this project.



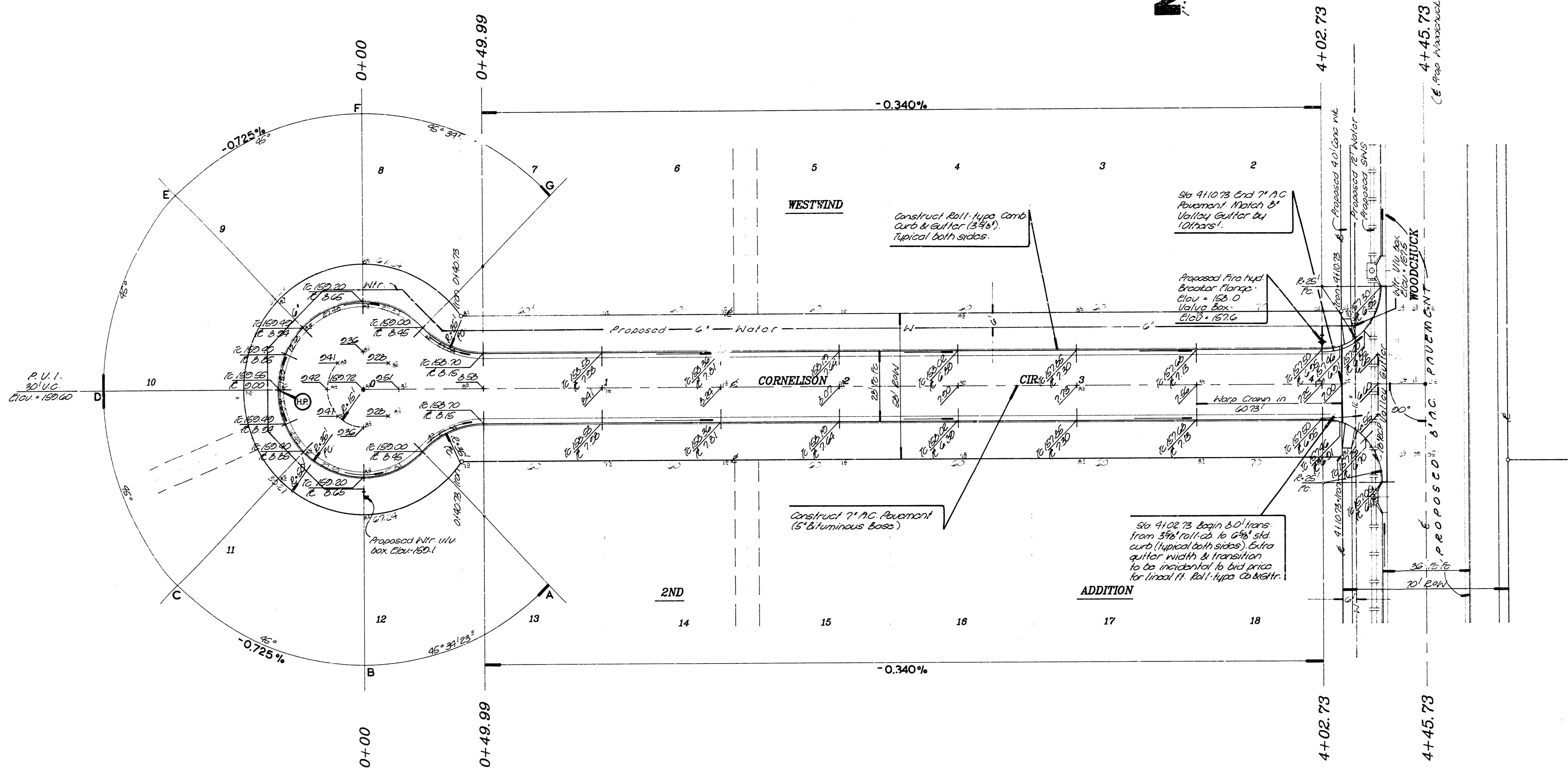
BENCHMARKS

1. "0" Cut top cb. adjacent to NW Cor. lot 29, Blk. 1, BARRINGTON PLACE ADDITION. Elev. = 155.91 City datum
2. "0" Cut SW Cor. of catch basin, E. End of NE Return of 19TH ST. at Woodchuck. Elev. = 155.11 City datum
3. Top of Iron in This Site NE Cor. NW 1/4, Sec. 9, T-27-S, R-1-W. (Intersection 21st St. at Woodchuck.) Elev. = 162.70 City datum

20TH STREET CIRCLE				
BAUGHMAN COMPANY P. A.				
SURVEYING & ENGINEERING				
315/282-7271 • 315 ELLIS • WICHITA, KANSAS 67211				
PROJECT NUMBER				
476 76 245 81776 000 000 001				
DESIGN	DRAWN	APPROVED	DATE	SCALE
TCR	sonny		Apr 80	1" = 20'
				SHEET
				4
				OF 13

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NOTE:
Roll-top Curb & Gutter (3 3/8" x 1 1/2")
is to be used on this project.

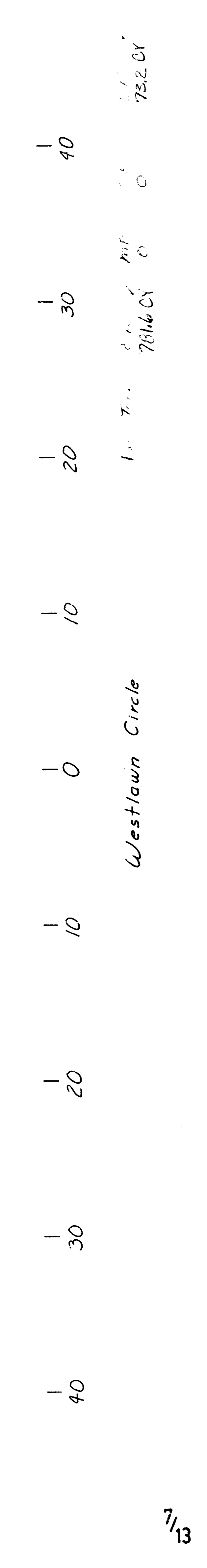
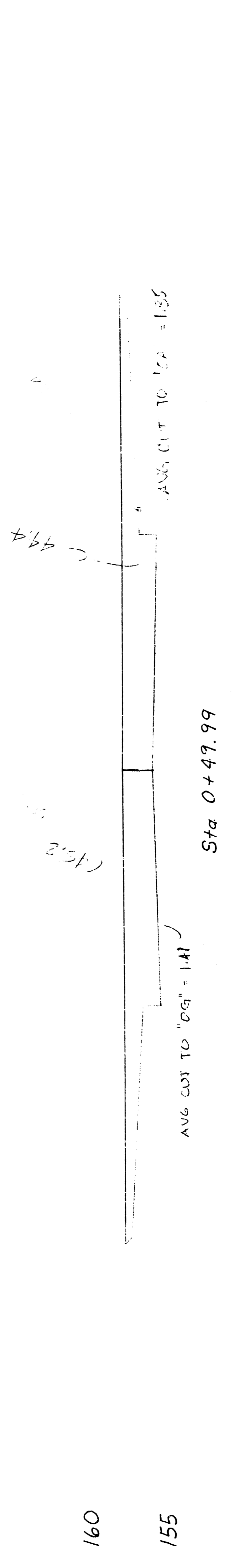
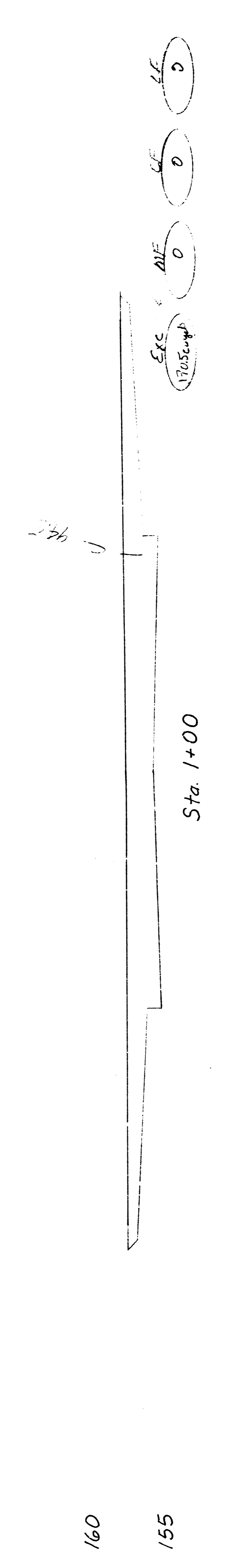
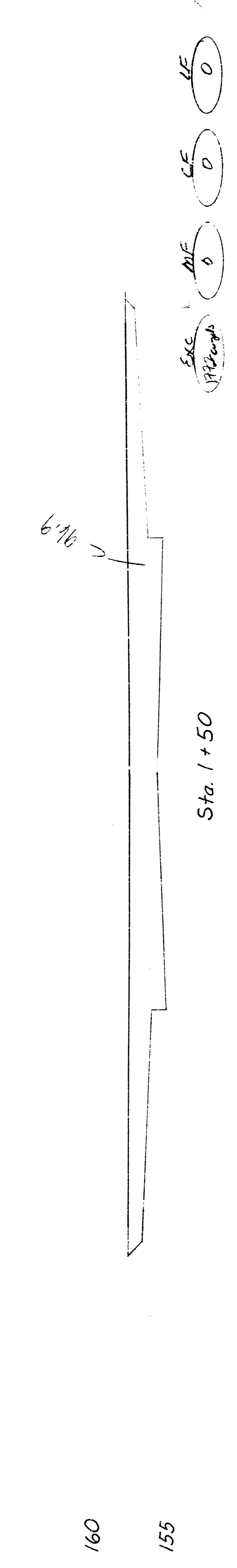
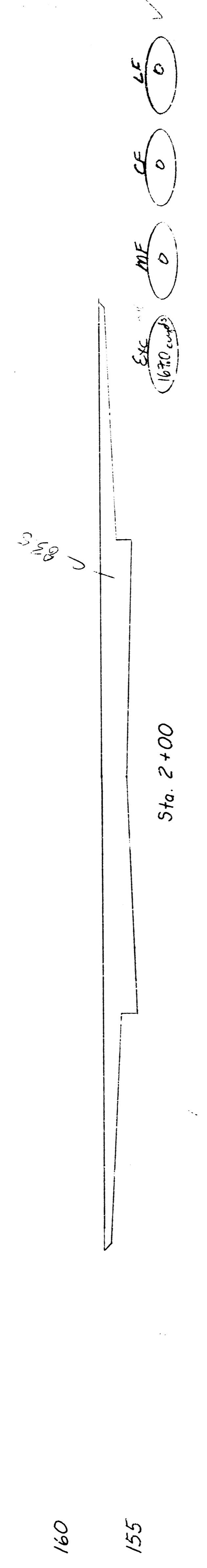
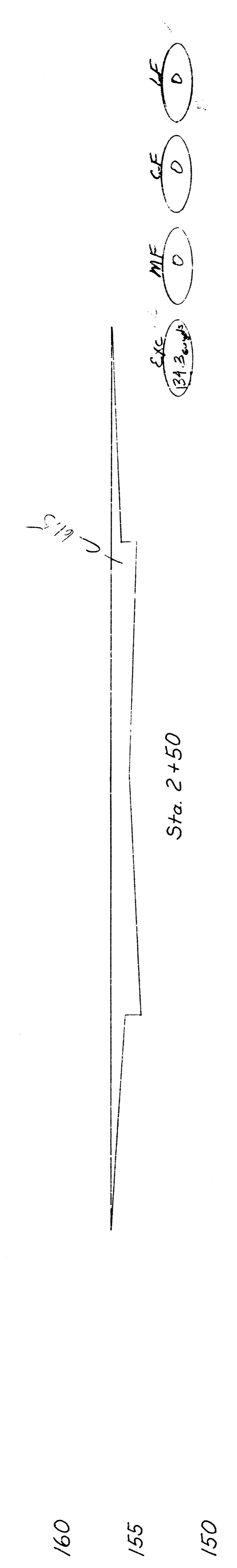
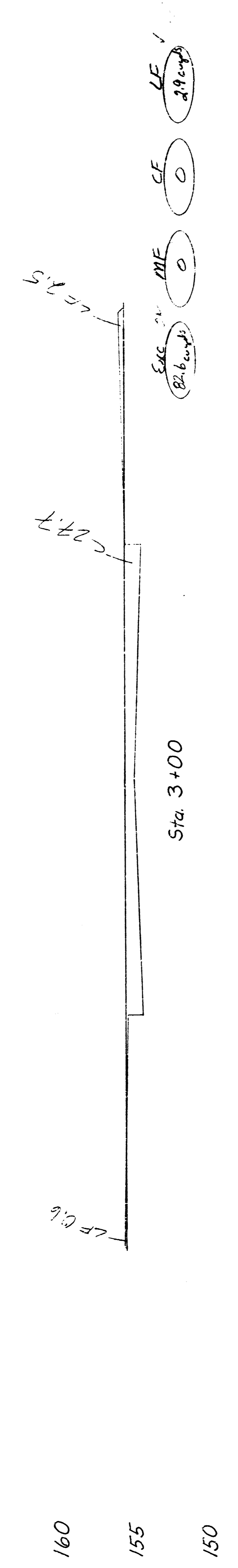
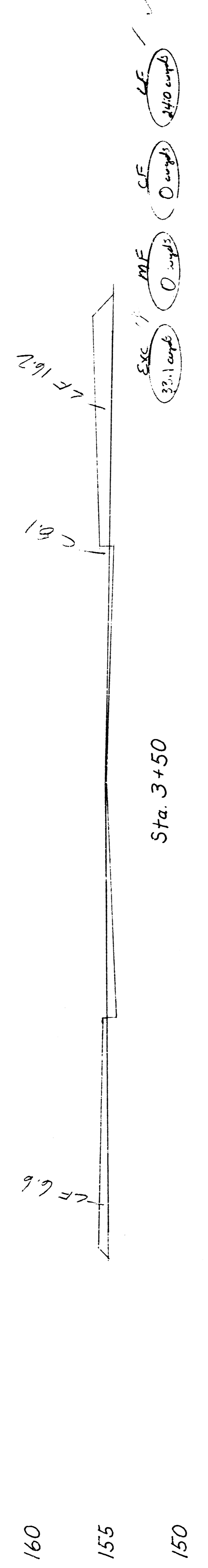
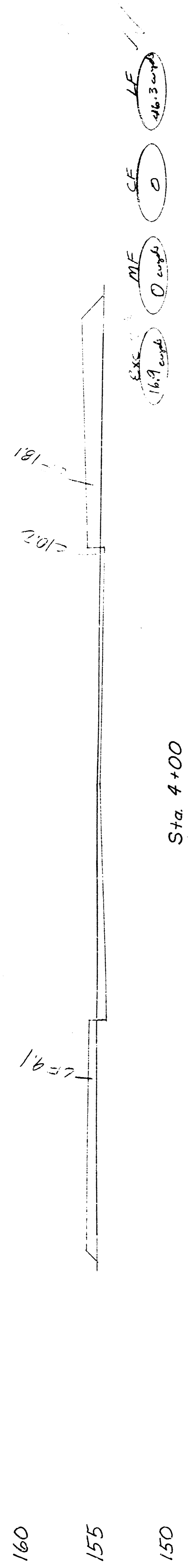


BENCHMARKS

1. "d" Cut top cb. adjacent to NW Cor. lot 29, Blk. 1, BARRINGTON PLACE ADDITION. Elev. = 155.91 City datum
2. "m" Cut SW Cor. of catch basin, E. End of NE Return of 19TH ST. at Woodchuck. Elev. = 155.11 City datum
3. Top of Iron in Thimble NE Cor. NW 1/4, Sec. 9, T-27-S, R-1-W. (Int. section 21st ST. at Woodchuck.) Elev. = 162.70 City datum

CORNELISON CIRCLE			
BAUGHMAN COMPANY P. A.			
SURVEYING & ENGINEERING			
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211			
PROJECT NUMBER			
472-76-245-81776-000-000-001			
DESIGN	DRAWN	APPROVED	DATE
TCR	Sony		7/20/00
SCALE			1" = 20'
SHEET			5
OF			13

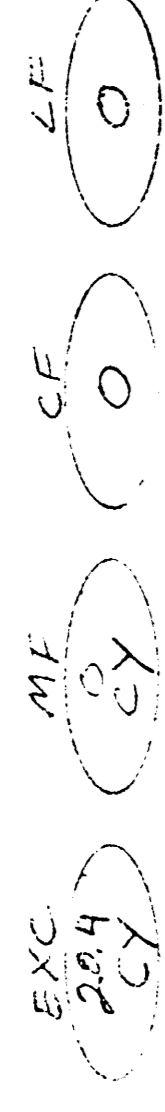
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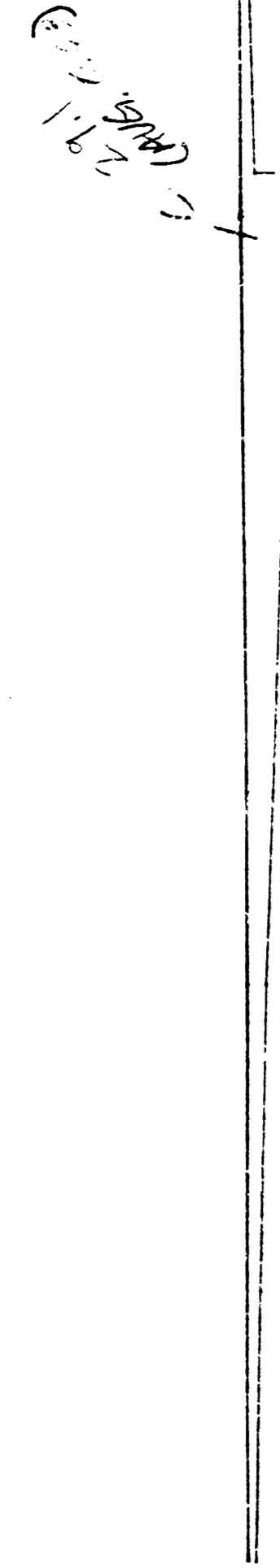
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AREA:

$EXC = (50)^2 \times \pi \times (\frac{55}{360}) = 981.75 \text{ sq'}$



160

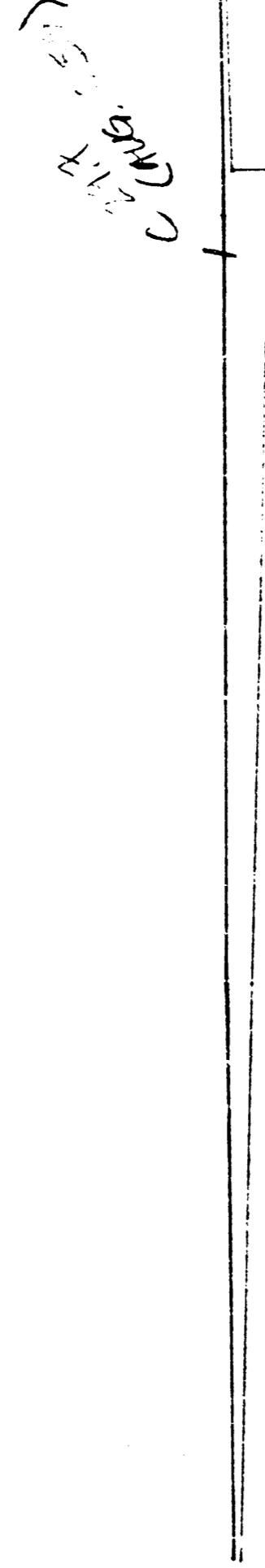


155



Sta. OE
AREA:

$EXC = (50)^2 \times \pi \times (\frac{55}{360}) = 981.75 \text{ sq'}$



160

155



Sta. OD
AREA:

$EXC = (50)^2 \times \pi \times (\frac{55}{360}) = 981.75 \text{ sq'}$



160

155



Sta. OC
AREA:

$EXC = (50)^2 \times \pi \times (\frac{55}{360}) = 981.75 \text{ sq'}$



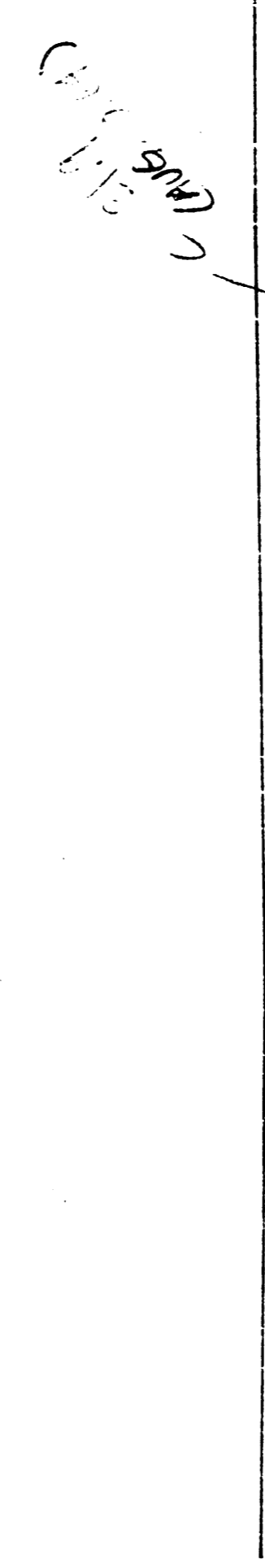
160

155



Sta. OB
AREA:

$EXC = (50)^2 \times \pi \times (\frac{55 \times 1.25}{360}) = 997.25 \text{ sq'}$



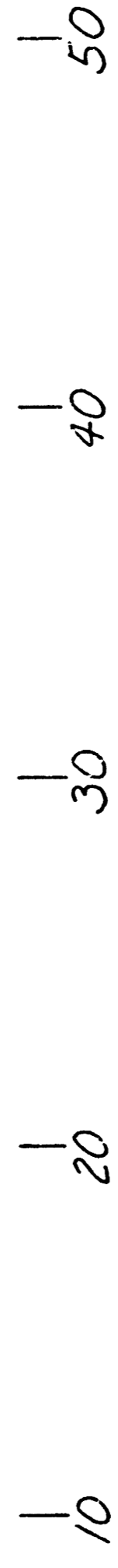
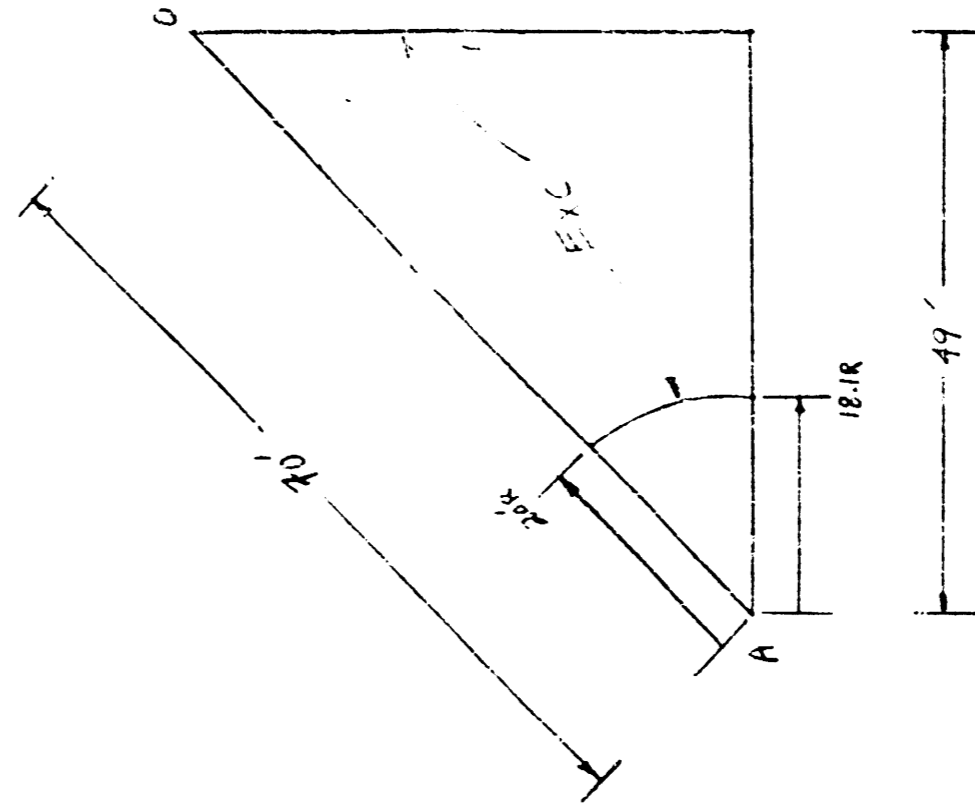
160

155



Sta. OA

$EXC = (\frac{1}{2} \times (44 + 49) \times 4) \times \pi \times (\frac{55 \times 1.25}{360}) + (0.815) \times 1050.45$



20th. Street Circle

160

155



Sta. 4+10.73

Westlawn Circle



Westlawn Circle



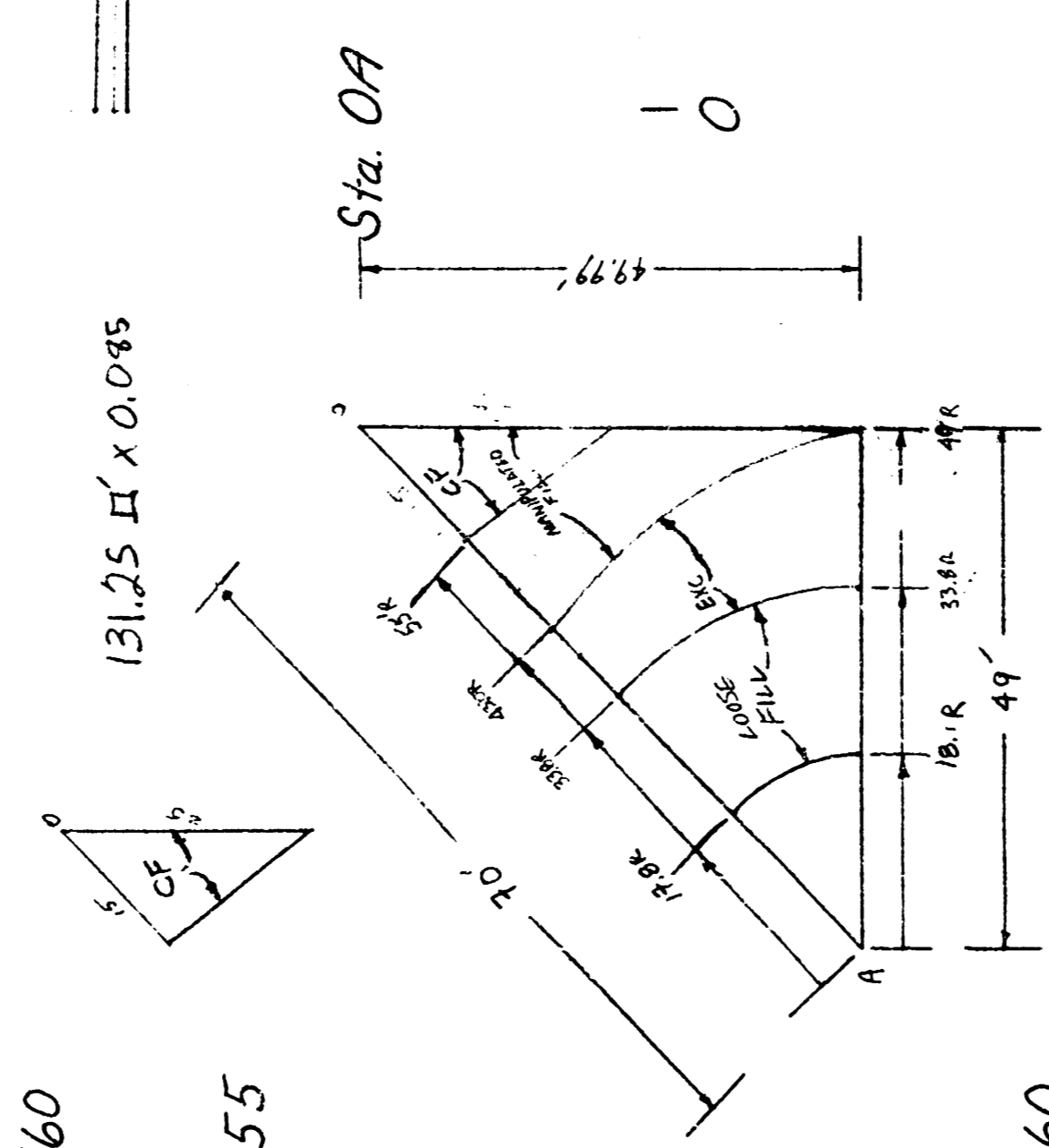
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AREA:
 $MF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 356.97 \text{ sq'}$
 $CF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 41.26 \text{ sq'}$
 $EXC = \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 157.64 \text{ sq'}$
 $LF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 528.95 \text{ sq'}$

AREA:
 $MF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 333.69 \text{ sq'}$
 $CF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 41.99 \text{ Sta. OD}$
 $EXC = \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 180.92 \text{ sq'}$
 $LF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 551.34 \text{ sq'}$

AREA:
 $MF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 305.68 \text{ sq'}$
 $CF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 101.74 \text{ Sta. OC}$
 $EXC = \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 208.92 \text{ sq'}$
 $LF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 545.21 \text{ sq'}$

AREA:
 $MF = (27.0) \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) = 287.22 \text{ sq'}$
 $CF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 21.49 \text{ sq'}$
 $EXC = \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 231.24 \text{ sq'}$
 $LF = \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 557.22 \text{ sq'}$



131.25 ft x 0.085
 Sta. OA
 49'
 18.18
 13.54
 49'

Cornellison Circle



155 MF = $\left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 21.6 \text{ sq'}$
 $CF = \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 2.6 \text{ sq'}$
 $EXC = \left(\frac{10}{360}\right) \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 0.18 \text{ sq'}$
 $LF = \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 0.18 \text{ sq'}$

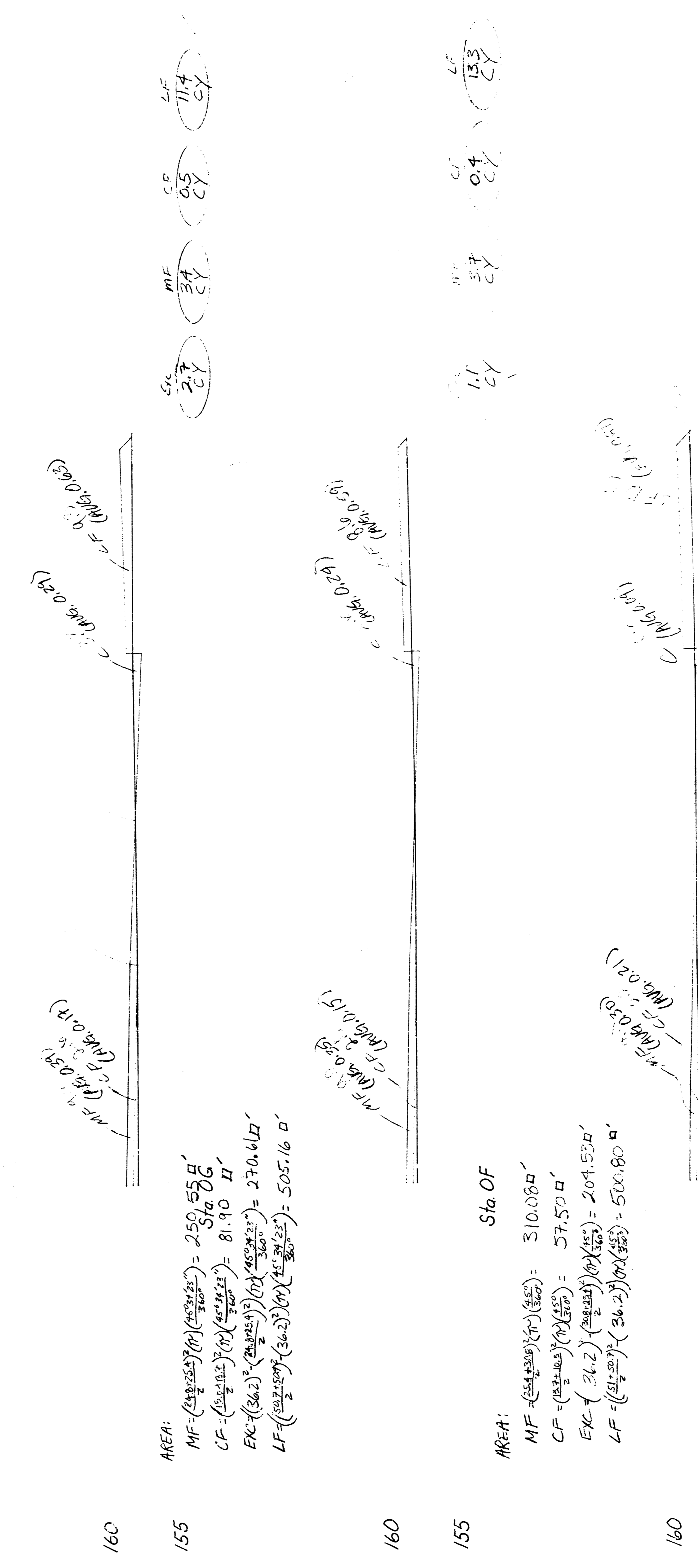
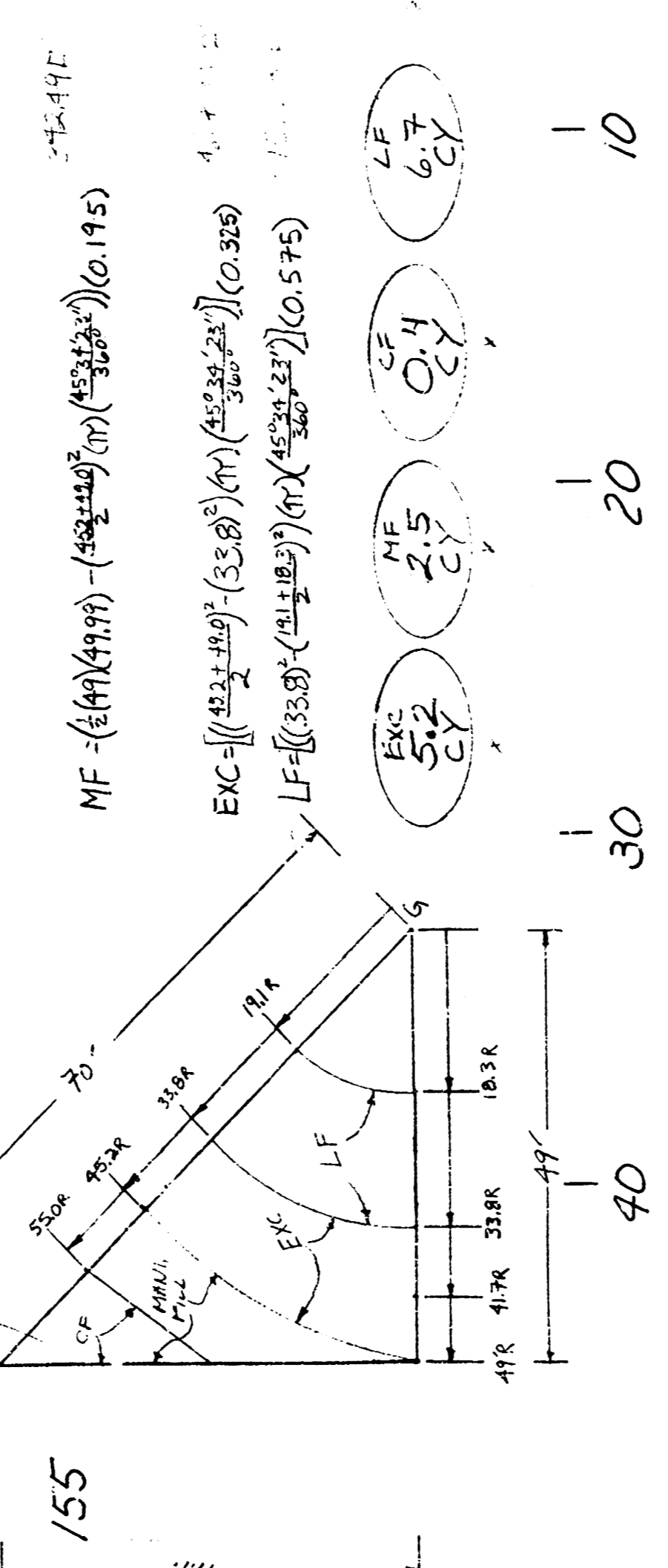
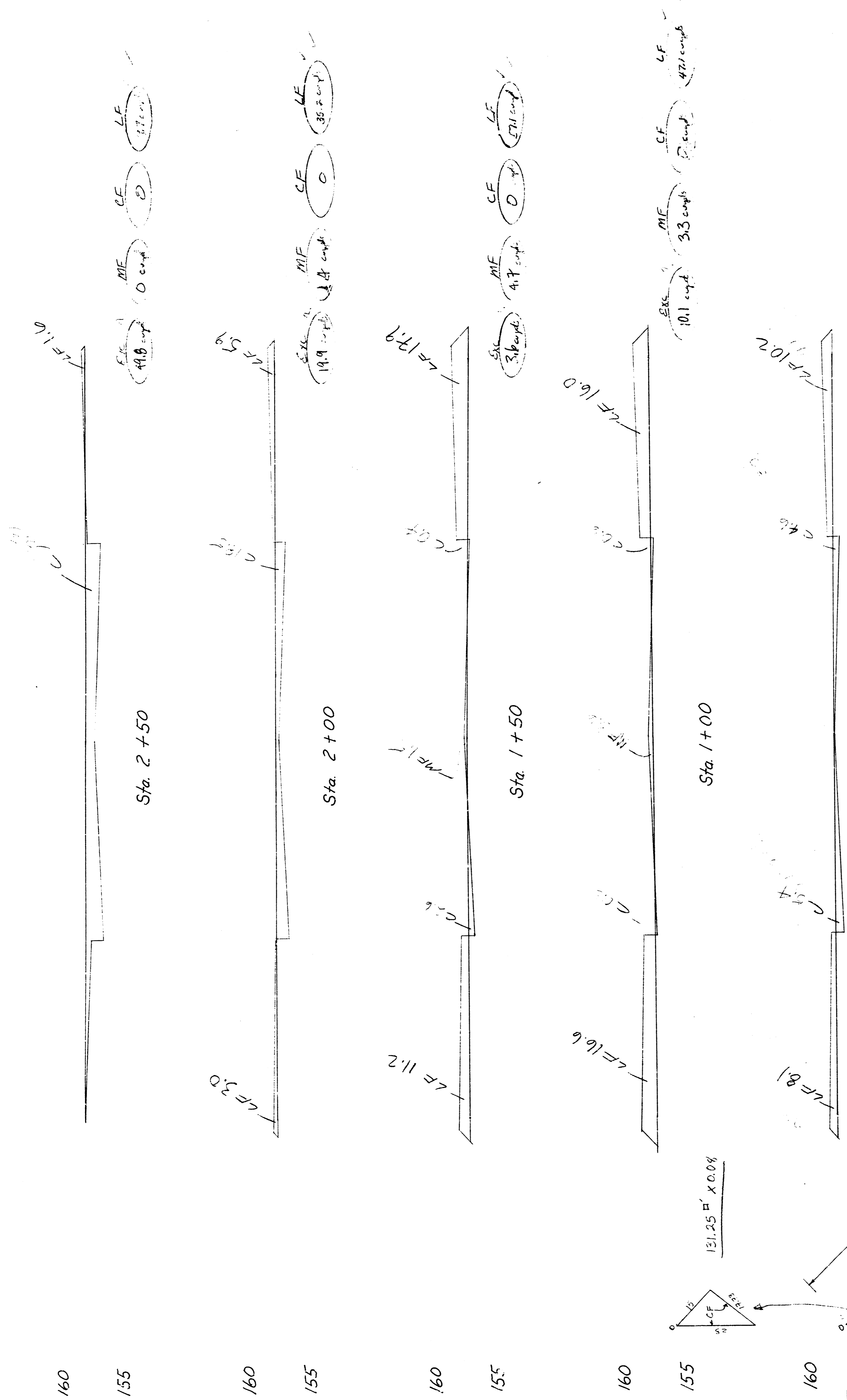
160 EXC = $\left(\frac{10}{360}\right) \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 0.24 \text{ sq'}$
 $CF = \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 3.7 \text{ sq'}$
 $LF = \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 4.1 \text{ sq'}$

155 EXC = $\left(\frac{10}{360}\right) \left(\frac{36.2}{2}\right) \left(\frac{36.2}{2}\right) \left(\frac{10}{360}\right) = 0.755 \text{ sq'}$
 $CF = \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 9.1 \text{ sq'}$
 $LF = \left(\frac{10}{360}\right) \left(\frac{36.2 \times 36.2}{2}\right) \left(\frac{10}{360}\right) = 9.1 \text{ sq'}$

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Page Total
 EXC 4612 CY
 MF 281 CY
 CF 25 CY
 LF 176 CY





AREA:
 $MF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 250.55 \text{ sq'}$
 $CF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 81.90 \text{ sq'}$
 $MF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 270.61 \text{ sq'}$
 $LF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 505.16 \text{ sq'}$

AREA:
 $MF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 310.08 \text{ sq'}$
 $CF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 57.50 \text{ sq'}$
 $MF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 204.53 \text{ sq'}$
 $LF = \left(\frac{34.2 \times 34.2}{2}\right) \left(\frac{45.5 \times 23.2}{360}\right) = 500.80 \text{ sq'}$

Exc 924 CY MF 15.0 CY CF 1.5 CY LF 160.5 CY

Cornelison Circle

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160

155

C 1283

EXC 479.4
 M/F 0
 C/F 0
 L/F 0

Sta. 4 + 10.73

160

155

C 1120

EXC 1887.8
 M/F 0
 C/F 0
 L/F 0

Sta. 4 + 00

160

155

C 1116

EXC 1451.4
 M/F 0
 C/F 0
 L/F 0

Sta. 3 + 50

160

155

C 629

EXC 953.4
 M/F 0
 C/F 0
 L/F 1507

Sta. 3 + 00

	10	20	30	40	10	20	30	40
Corneilson Circle	0	0	0	0	0	0	0	0
PAGE TOTALS	EXC 475.00Y	M/F 0	C/F 0	L/F 150Y	EXC 475.00Y	M/F 0	C/F 0	L/F 150Y
PROJECT TOTALS	EXC 2552.5Y	M/F 39.1Y	C/F 3.8CY	L/F 411.4CY	EXC 2552.5Y	M/F 39.1Y	C/F 3.8CY	L/F 411.4CY

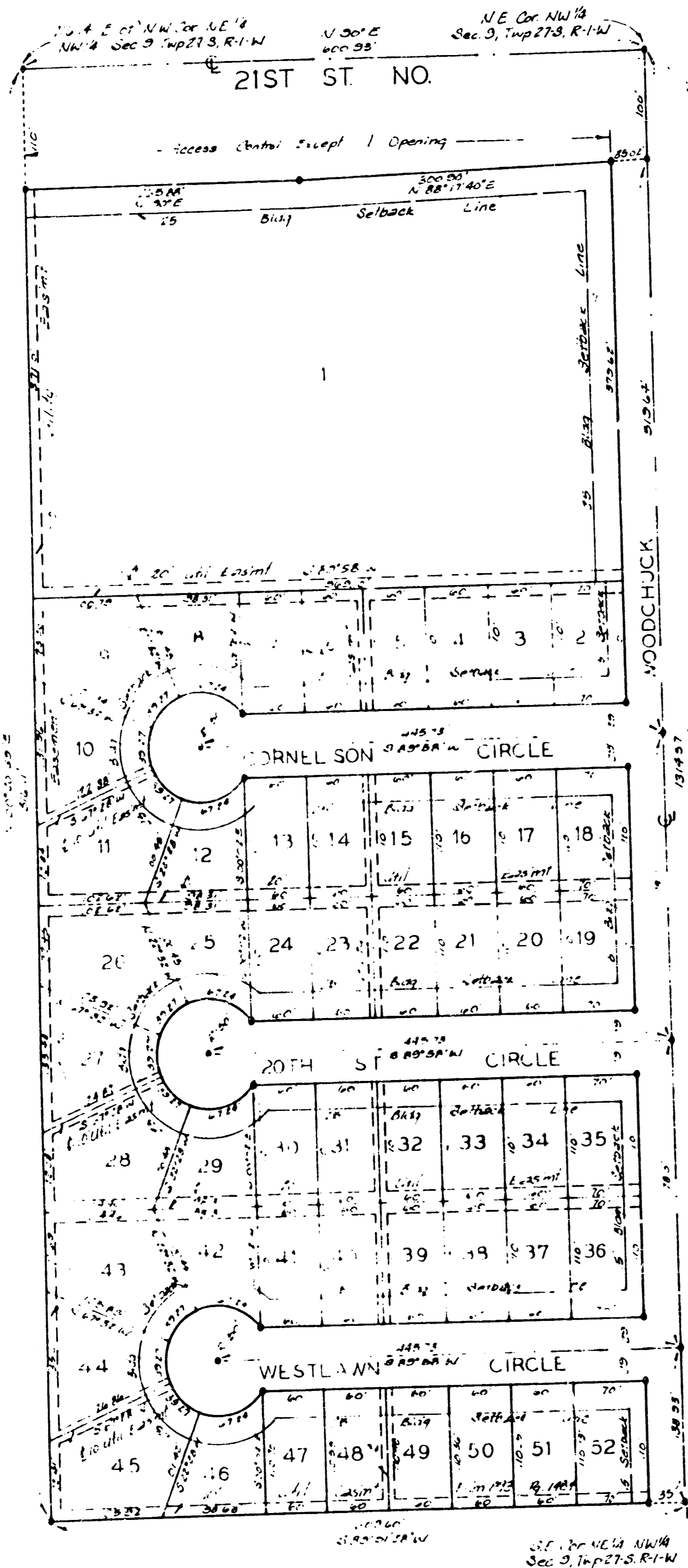
12/13

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D 5-29

WESTWIND 2ND ADDITION

WICHITA, KANSAS



State of Kansas, ss We, Baughman Company, P.A. Surveyors in aforesaid county and state do hereby certify that we have surveyed and plotted "WESTWIND 2ND ADDITION" Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as the NE 1/4 of the NW 1/4 of Sec. 3, Twp. 27S, R. 14W of the 6th P.M., Sedgwick County, Kansas except that part described as beginning at the N.W. Corner of the NE 1/4, NW 1/4 of said Sec. 3; thence bearing N. 90° 00' 00" E along the North line of said NW 1/4 a distance of 176.14 feet; thence bearing S 00° 20' 39" W a distance of 1316.11 feet to a point on the South line of the NE 1/4 of said NW 1/4; thence bearing S 89° 51' 28" W a distance 724.80 feet to the S.W. Corner of the NE 1/4 of said NW 1/4; thence bearing N 00° 43' 15" E a distance of 1318.00 feet to the point of beginning.

"Dec 1981"
Date
Baughman Company, P.A.
Terry J. Sorey Surveyor
Mark A. Sorey

Know all men by these presents that we, the undersigned, have caused the land described in the surveyors certificate to be platted into lots and streets to be known as "WESTWIND 2ND ADDITION" Wichita, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The streets are hereby dedicated to and for the use of the public. All abutters rights of access to or from 21st St. No. over and across the north line of lot 1 are hereby granted to the City of Wichita, provided however that lot shall have access to 21st St. No. at one point as shall be determined by the City Engineer of Wichita, Kansas.

Alla Vista Development Company, a Kansas General Partnership
Leonard E. Marotte General Partner

State of Kansas, ss The foregoing instrument acknowledged before me this 27th day of December, 1981, by Leonard E. Marotte, General Partner of Alla Vista Development Company, a Kansas General Partnership, on behalf of the partnership.

Notary Public
Sandra K. Potter
My Appt. Exp. 12/31/83

This plat of "WESTWIND 2ND ADDITION" Wichita, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas dated this 11th day of December, 1981
Wichita-Sedgwick County Metropolitan Area Planning Commission

Chairman
John Terry Moore
Secretary
Marion S. Krowl

This plat approved and all dedications shown hereon accepted by the Board of Commissioners of the City of Wichita, Kansas, this 11th day of December, 1981

Mayor
Robert A. Knight
Deputy Mayor
Dale E. Reed

Entered on transfer records
11th day of December, 1981

Notary Public
Don Wright

State of Kansas, ss This is to certify that the plat of "WESTWIND 2ND ADDITION" Wichita, Kansas, was filed for record on this 23rd day of February, 1982, by Bill Edwards, A.M., and is duly recorded.

Ed Mesa, Esq.
1st Read

we, the undersigned, do hereby mortgage on the above described property a part of consent to the plat of "WESTWIND 2ND ADDITION" Wichita, Kansas

Federal Deposit Insurance Corporation as receiver for Boulevard State Bank
Lynn T. Leffert

State of Kansas, ss The foregoing instrument acknowledged before me this 27th day of December, 1981, by Lynn T. Leffert, Receiver of Federal Deposit Insurance Corporation, on behalf of the corporation.

Notary Public
S.G. Erwin
My Appt. Exp. 12/31/83

PLAT COPY

BAUGHMAN COMPANY, P.A.
SURVEYING & ENGINEERING
315/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

Design: _____ Date: _____
Scale: _____

Sheet: 13 of 13

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