

PAVING PLANS FOR
BEACON VILLAGE
 PHASE III
 PROJECT NO. 472-81950

CITY OF WICHITA, KANSAS
 MICHAEL E. LINDEBAK, CITY ENGINEER
 INDEX NO. 760959

GENERAL NOTES

- UNLESS SHOWN OR STATED OTHERWISE ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WICHITA CONCRETE PAVEMENT AND ASPHALTIC CONCRETE PAVEMENT SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- TRANSITION CURB FROM FULL HEIGHT COMBINATION CURB AND GUTTER TO ROLL TYPE COMBINATION CURB AND GUTTER IS TO BE PAID AS BID FOR LINEAL FEET COMBINED CURB AND GUTTER (3 5/8" ROLL).
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FORTY-EIGHT (48) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

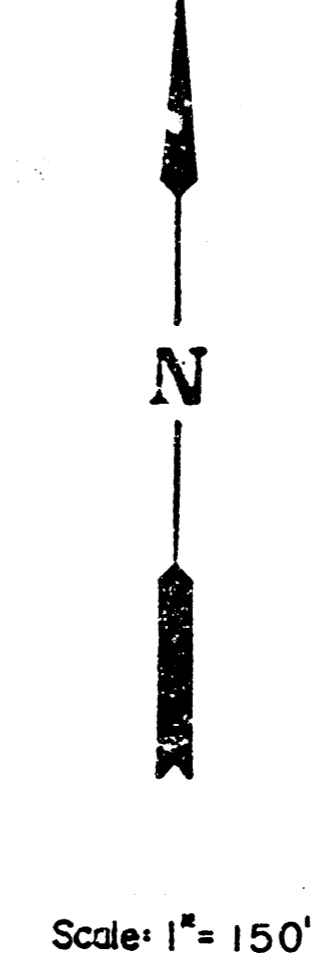
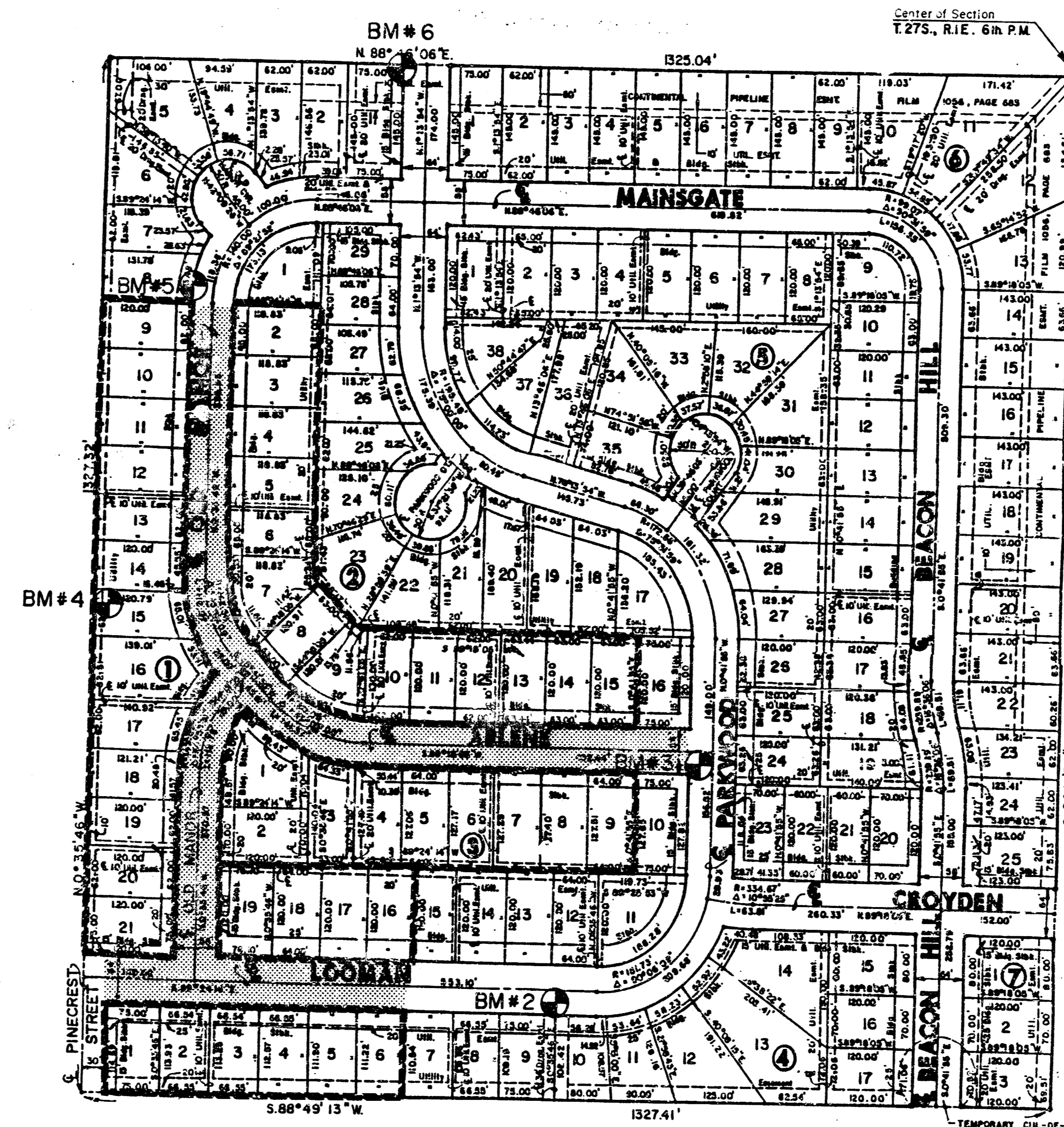
KANSAS ONE-CALL	1-800-344-7233
	OR 667-2470 (LOCAL WICHITA)

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

SOUTHWESTERN BELL TELEPHONE COMPANY	1-571-2115
CABLEVISION	262-4270 OR 263-2061
KPL GAS SERVICE COMPANY	263-7511
KANSAS GAS & ELECTRIC	264-1141
CITY OF WICHITA WATER DEPARTMENT	268-4908
CITY OF WICHITA SEWER MAINTENANCE	268-4908
ARKLA GAS COMPANY	942-8350 OR 263-8161
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED.
- THIS PROJECT INCLUDES A CERTAIN AMOUNT OF ROLL TYPE CURB CONSTRUCTION. ROLL CURBS SHALL BE DEPRESSED THROUGH ALL DRIVEWAY OPENINGS WHEN SUCH DRIVES ARE CONSTRUCTED AS A PART OF THE PROJECT. NO MORE THAN 2 DRIVES 20 FEET IN WIDTH OR EQUIVALENT COMBINATIONS THEREOF ARE TO BE CONSTRUCTED WITH THIS PROJECT.
- A SAW CUT OF AT LEAST ONE-HALF THE DEPTH OF EXISTING SURFACE COURSES OR ONE-FOURTH THE DEPTH OF THE EXISTING TOTAL PAVEMENT THICKNESS SHALL BE PROVIDED AT LOCATIONS WHERE PROPOSED CONSTRUCTION ABUTS AN EXISTING SURFACE COURSE OR PAVEMENT FOR WHICH PARTIAL REMOVAL OF THAT SURFACE OR PAVEMENT IS REQUIRED. SAW JOINT TO FACILITATE REMOVAL WITHIN THREE (3) FEET OF EXISTING JOINTS WILL NOT BE PERMITTED AND FOR SUCH INSTANCES THE LIMITS OF REMOVAL SHALL EXTEND TO THE EXISTING JOINT. SUCH SAW CUTS WILL NOT BE PAID FOR DIRECTLY AND THIS COST SHALL BE CONSIDERED AS SUBSIDIARY TO OTHER BID ITEMS.

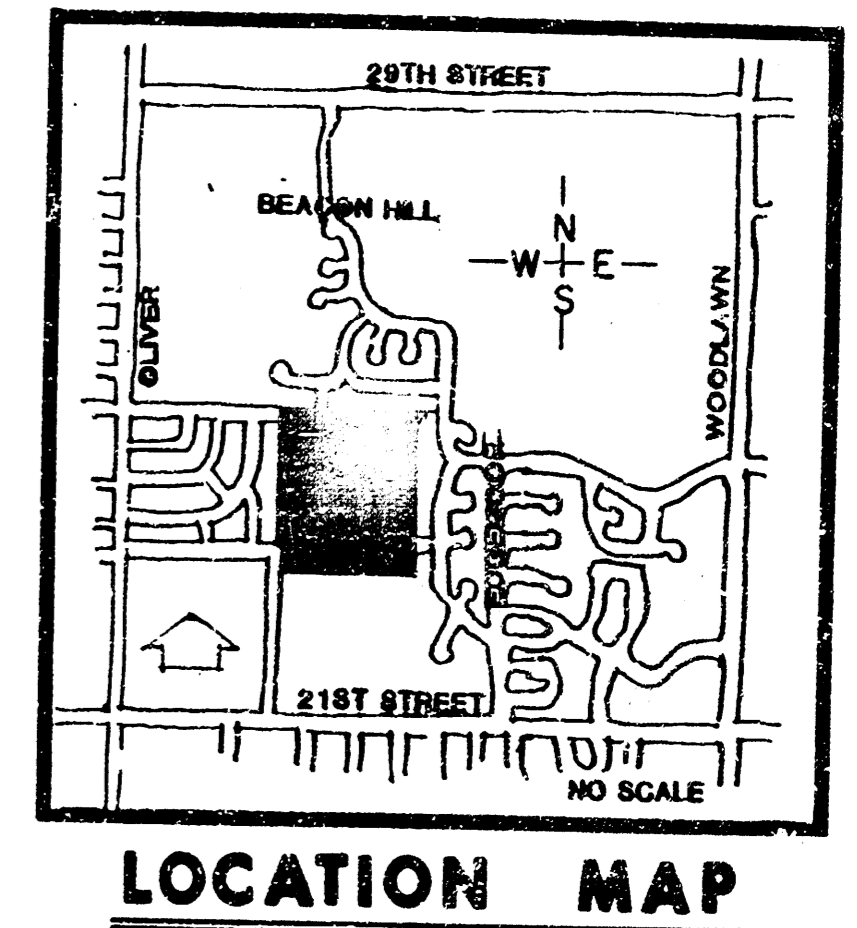
BENCHMARKS

- BM#1 - □ = Cut on NE Corner of Valley Gutter at Battin & Looman.
Elev. = 189.61
- BM#2 - □ = Cut on NW Corner of Inlet, S. Side of Looman, 50' West of P.C. Iron, Lot 10, Block 4.
Elev. = 193.68
- BM#3 - □ = Cut on T.C., 5' East of West End of SW Return, Arlene & Parkwood.
Elev. = 190.225
- BM#4 - □ = Cut on NE Corner of Area Inlet, SW Corner Lot 14, Block 1.
Elev. = 181.49
- BM#5 - □ = Cut on West T.C. Old Manor 10' North of SE Corner of Lot 8, Block 1.
Elev. = 176.76
- BM#6 - □ = Cut on NE Corner Area Inlet, NE Corner of Lot 1, Block 1.
Elev. = 173.92



INDEX TO DRAWINGS

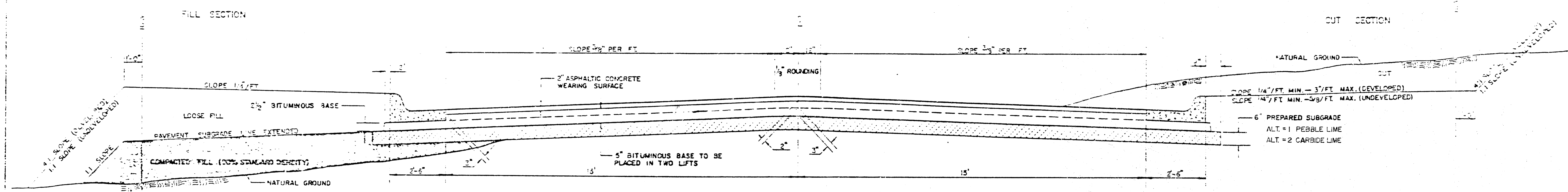
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2-3	PAVEMENT DETAILS
4	VALLEY GUTTER DETAILS
5	LOOMAN
6	OLD MANOR
7-8	ARLENE
9	OLD MANOR
10-18	CROSS SECTIONS
19	FINAL PLAT



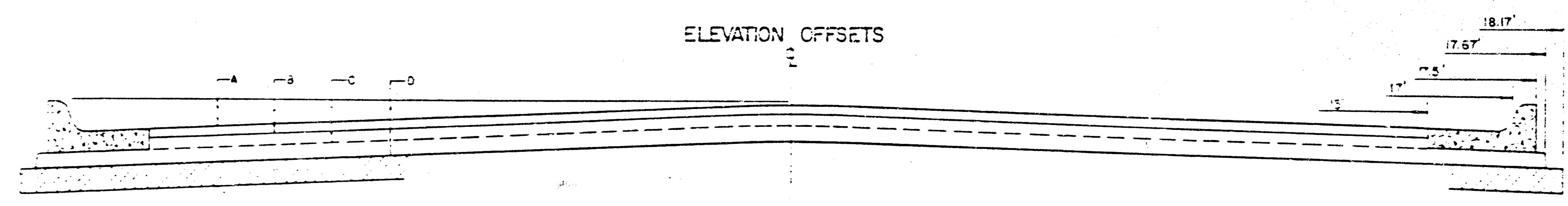
	BEACON VILLAGE	Design: GJA Drawn by: K.L.H. Checked by: D.C.H. Date: July, 1991 Scale: 1"=150'
	PHASE III PAVING PLANS	Sheet 1 of 19
MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226		636-5566

TYPICAL 35' PAVEMENT DETAILS

TRANSVERSE SECTION

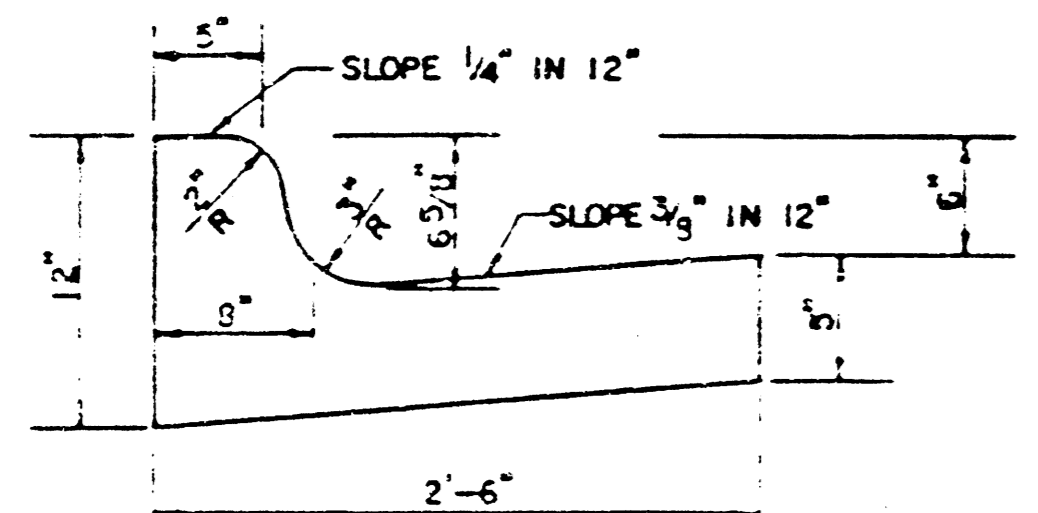


ELEVATION OFFSETS

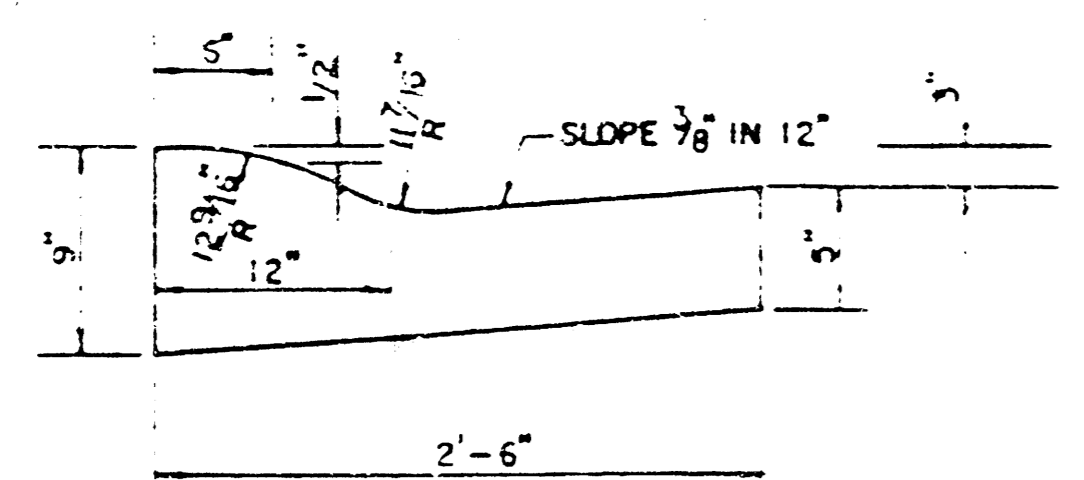


	DISTANCE FROM CENTERLINE (LT. & RT.)												
	0'	2'	4'	6'	8'	10'	12'	14'	15'	17'	17.5'	17.67'	18.17'
A. TOP OF CURBS TO TOP OF SURFACE LIFT	0.04	0.08	0.14	0.21	0.29	0.33	0.39	0.46	0.49	—	—	—	—
B. TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.21	0.25	0.31	0.37	0.45	0.50	0.56	0.62	0.65	—	—	—	—
C. TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.37	0.43	0.50	0.57	0.67	0.72	0.79	0.87	0.90	0.98	1.00	1.00	—
D. TOP OF CURBS TO TOP OF SUBGRADE	0.62	0.67	0.74	0.81	0.90	0.95	1.02	1.08	1.12	1.19	1.21	1.21	1.23

COMBINED CURB & GUTTER



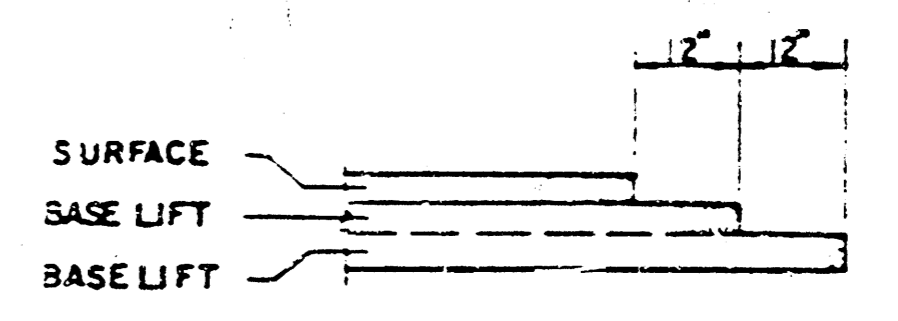
ROLL TYPE COMBINED CURB & GUTTER



GENERAL NOTES

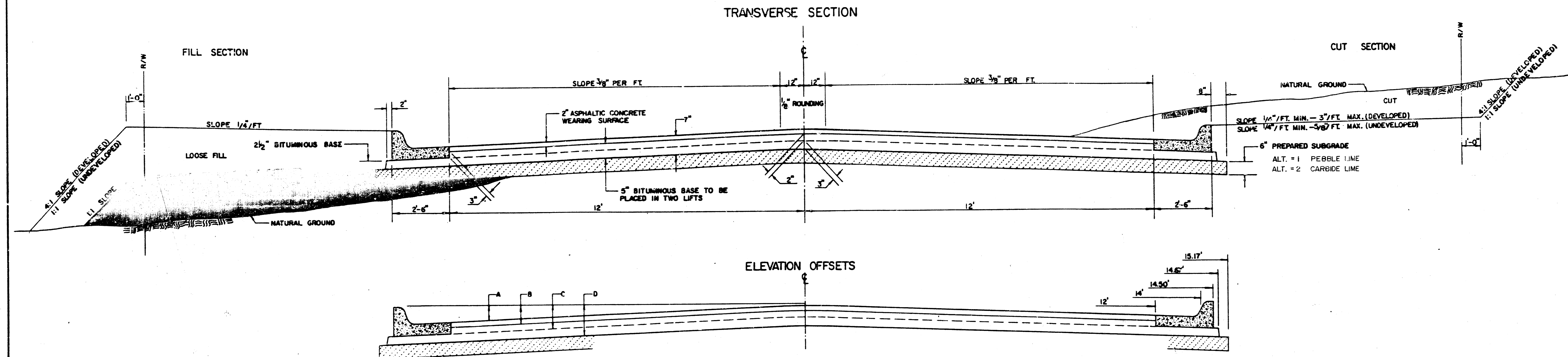
- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7\"/>
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2\"/>
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

TRANSVERSE CONSTRUCTION JOINTS



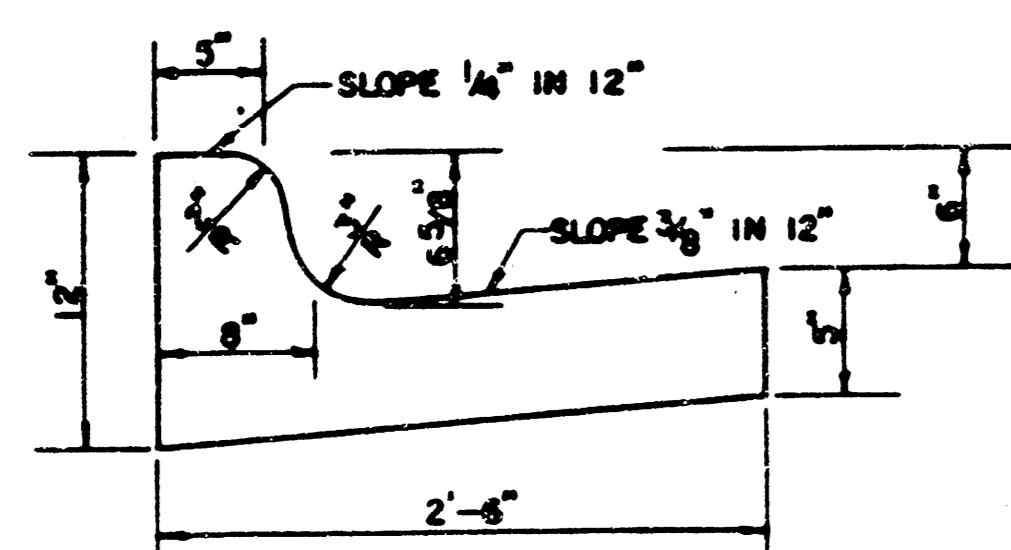
TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENTS JOIN EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7\"/>

TYPICAL 29' PAVEMENT DETAILS

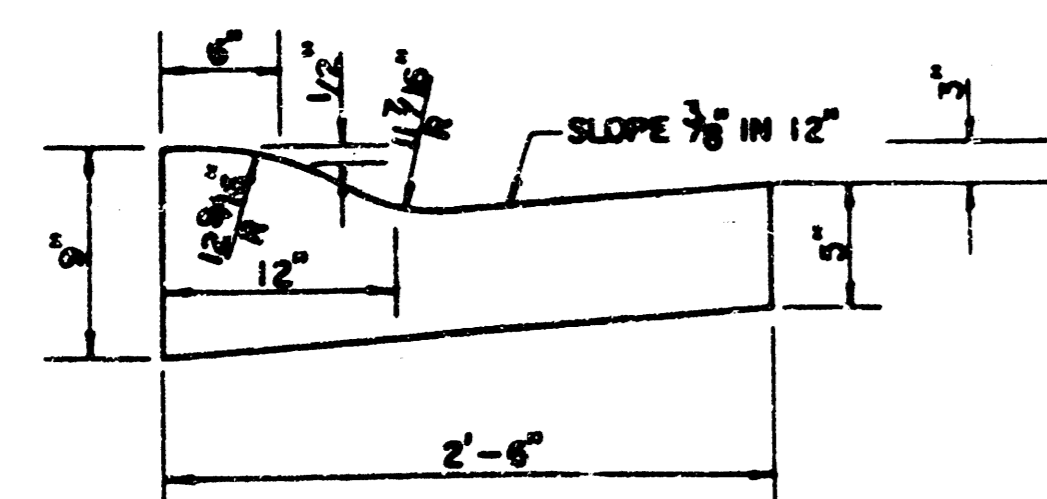


	DISTANCE FROM CENTERLINE (LT. & RT.)												
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'	14.67'	15.17'	
A: TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—	—	—	
B: TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.66	—	—	—	—	
C: TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00	1.01	—	
D: TOP OF CURBS TO TOP OF SUBGRADE	0.72	0.77	0.84	0.91	0.94	0.98	1.05	1.12	1.19	1.21	1.21	1.23	

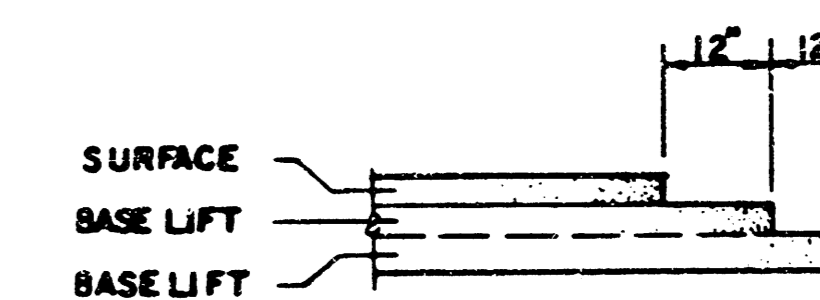
COMBINED CURB & GUTTER



ROLL TYPE COMBINED CURB & GUTTER



TRANSVERSE CONSTRUCTION JOINTS



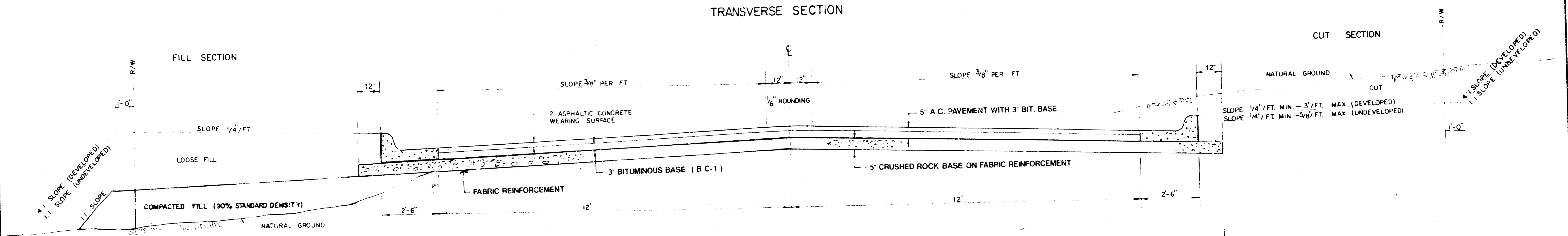
GENERAL NOTES

- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2" BITUMINOUS BASE.
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROPRIATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

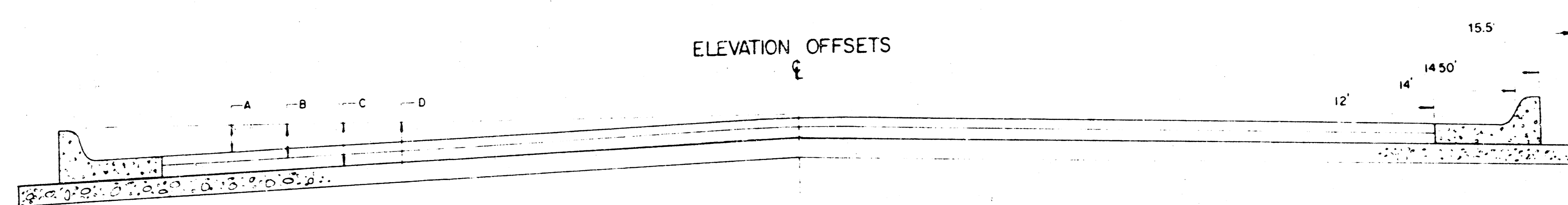
TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).

TYPICAL 29' PAVEMENT DETAILS

TRANSVERSE SECTION



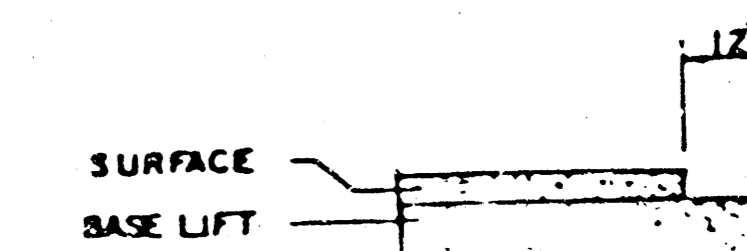
ELEVATION OFFSETS



	DISTANCE FROM CENTERLINE (LT. & RT.)									
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'
A TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—
B TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.66	—	—
C TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00
D TOP OF CURBS TO TOP OF SUBGRADE	—	—	—	—	—	—	—	—	—	—

FABRIC BASE REINFORCEMENT SHALL BE 8 X 1100 GEGGRID AS MANUFACTURED BY TENSAR CORPORATION OR APPROVED EQUAL. FABRIC BASE REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. CRUSHED ROCK SHALL BE UNIFORMLY GRADED FROM 1-1/2" MAXIMUM SIZE TO NOT MORE THAN 10% PASSING A N. 200 SIEVE. ROCK QUALITY SHALL BE THE SAME AS SPECIFIED FOR COARSE AGGREGATE FOR CONCRETE MIXES.

TRANSVERSE CONSTRUCTION JOINTS



TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 5" ASPHALTIC CONCRETE PAVEMENT (3' BITUMINOUS BASE)

GENERAL NOTES

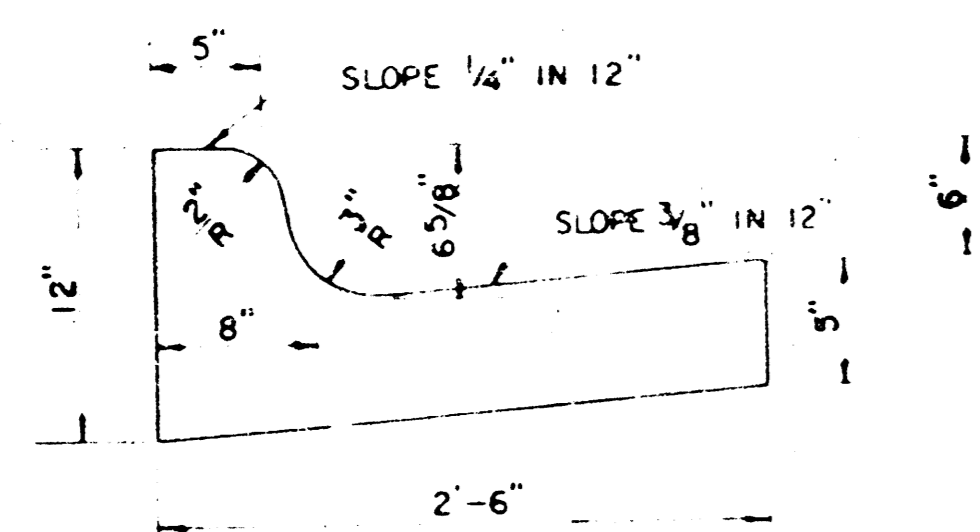
ROCK BASE IS TO BE COMPACTED AND SMOOTHED WITH A STEEL FACED ROLLER PRIOR TO PLACEMENT OF ASPHALT TACK COAT WILL NOT BE APPLIED TO ROCK BASE.

A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.

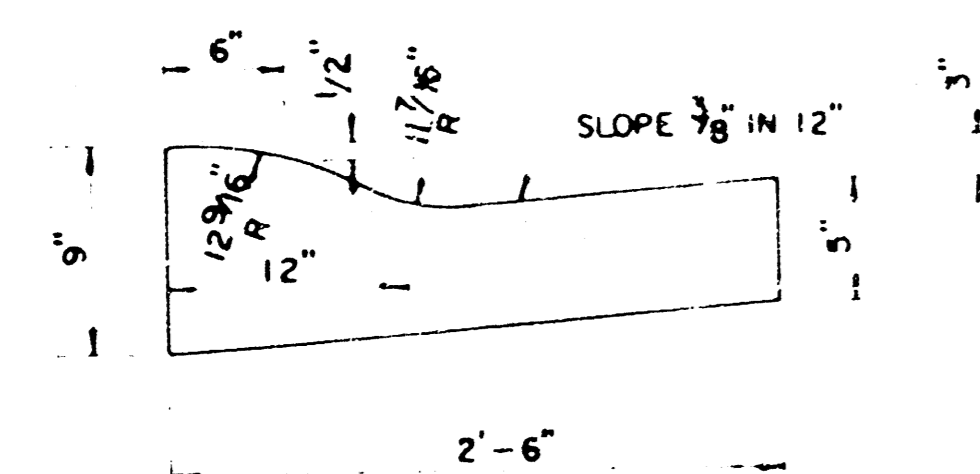
BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.

CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.

COMBINED CURB & GUTTER



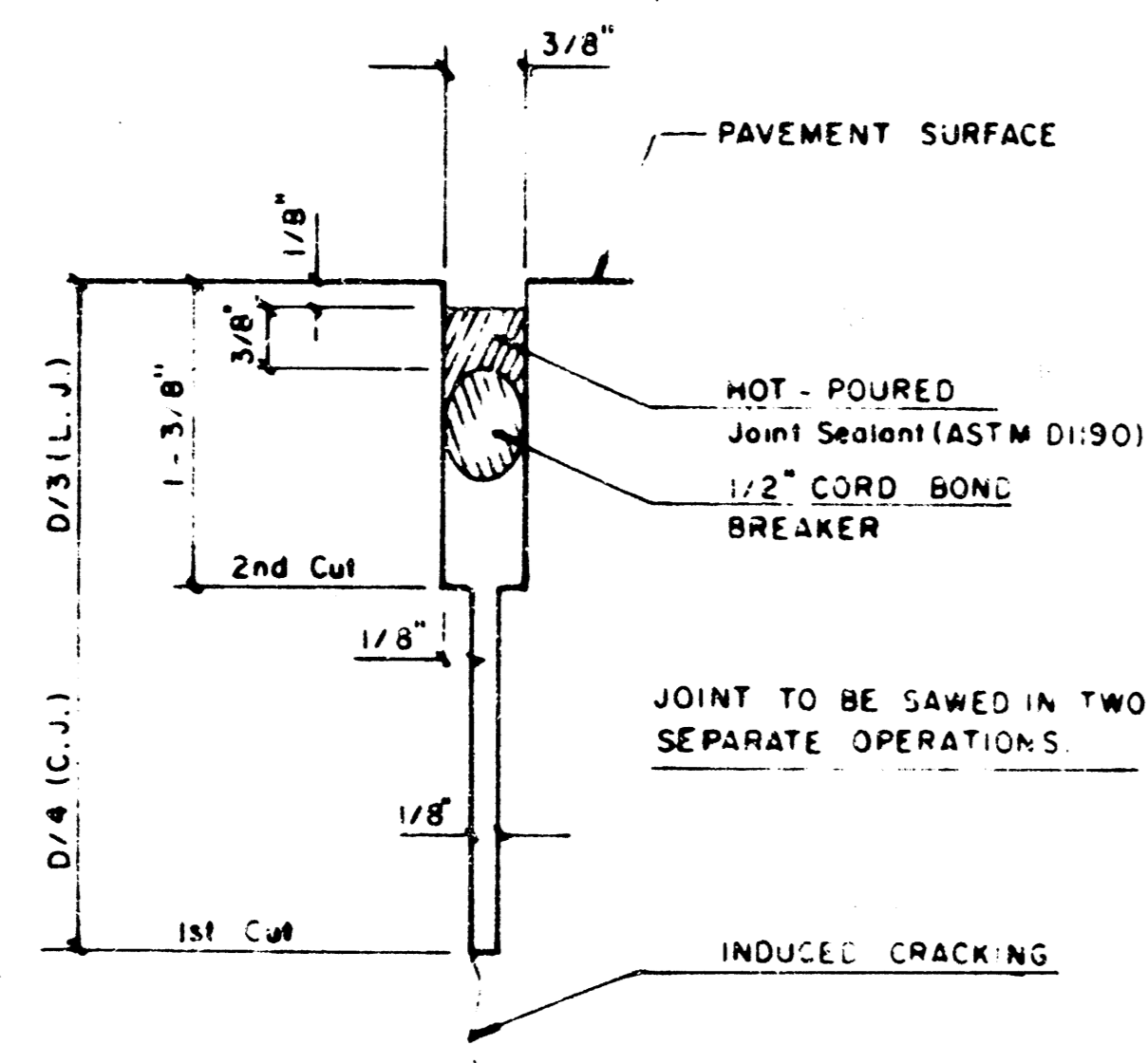
ROLL TYPE COMBINED CURB & GUTTER



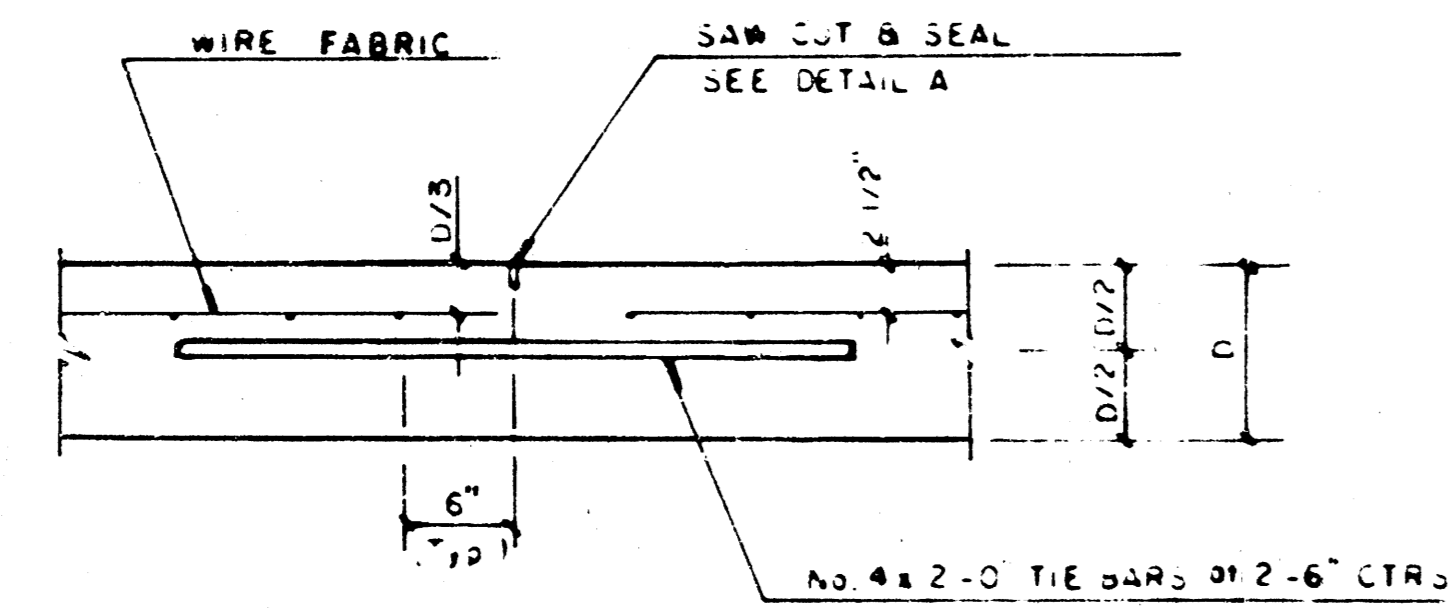
5" RESIDENTIAL ASPHALTIC CONCRETE PAVEMENT WITH CRUSHED ROCK BASE ON FABRIC REINFORCEMENT

SHEET 3A OF 19

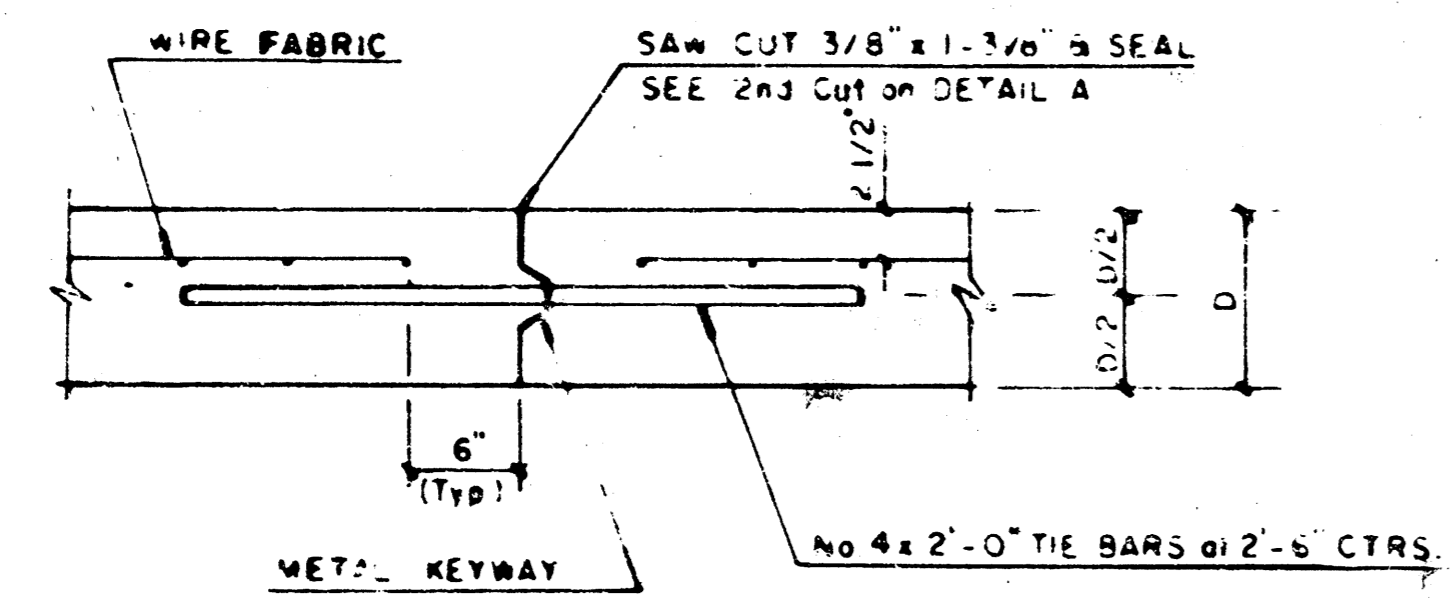
10 1 5 31



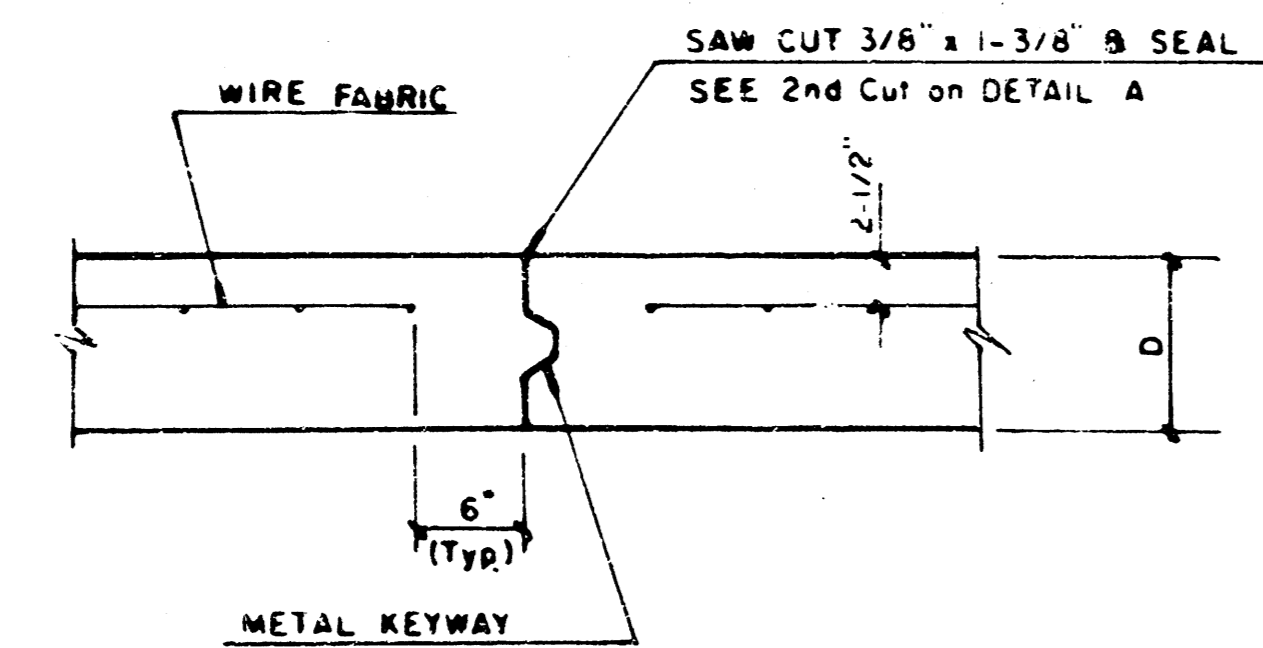
DETAIL A



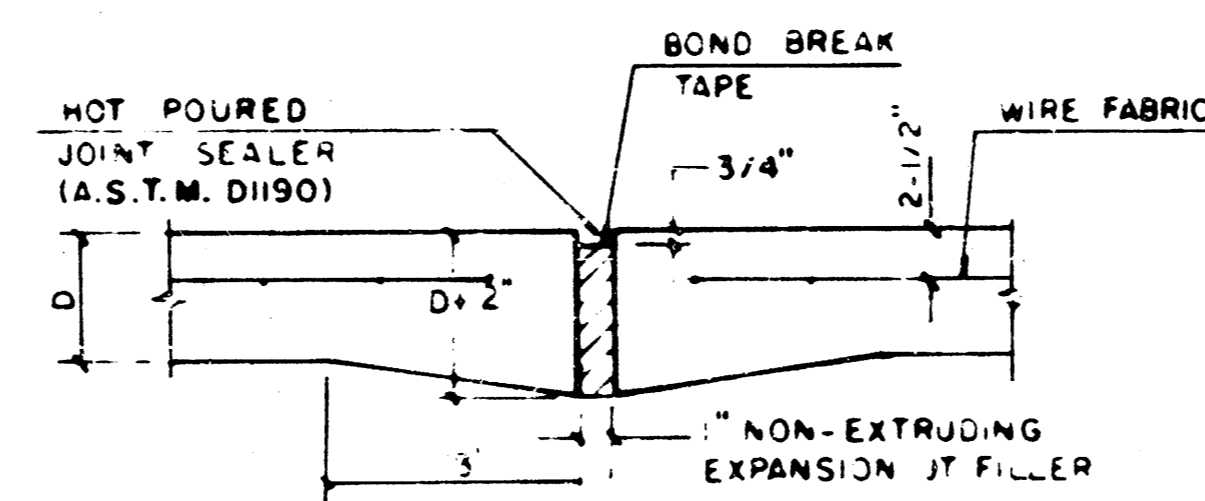
LONGITUDINAL JOINT DETAIL (L.J.)



OPTIONAL LONGITUDINAL CONSTRUCTION JOINT (L.J.) (Alternate L.J.)

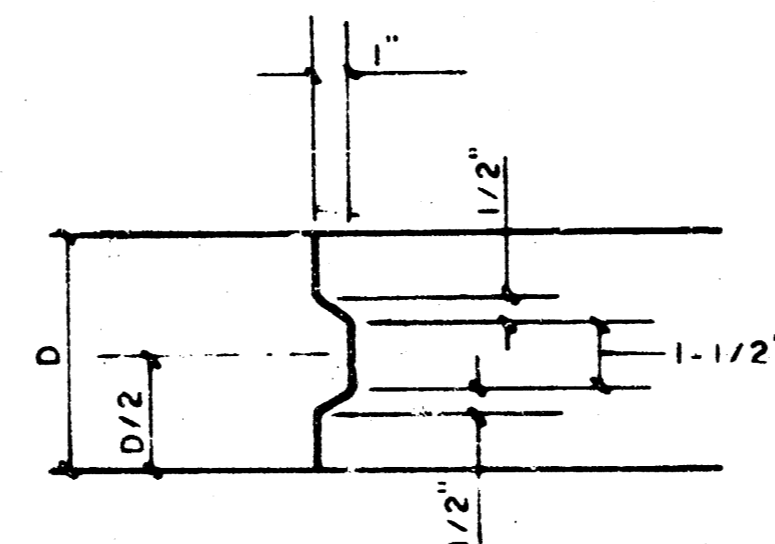


OPTIONAL CONTRACTION CONSTRUCTION JOINT (C.J.) (Alternate C.J.)

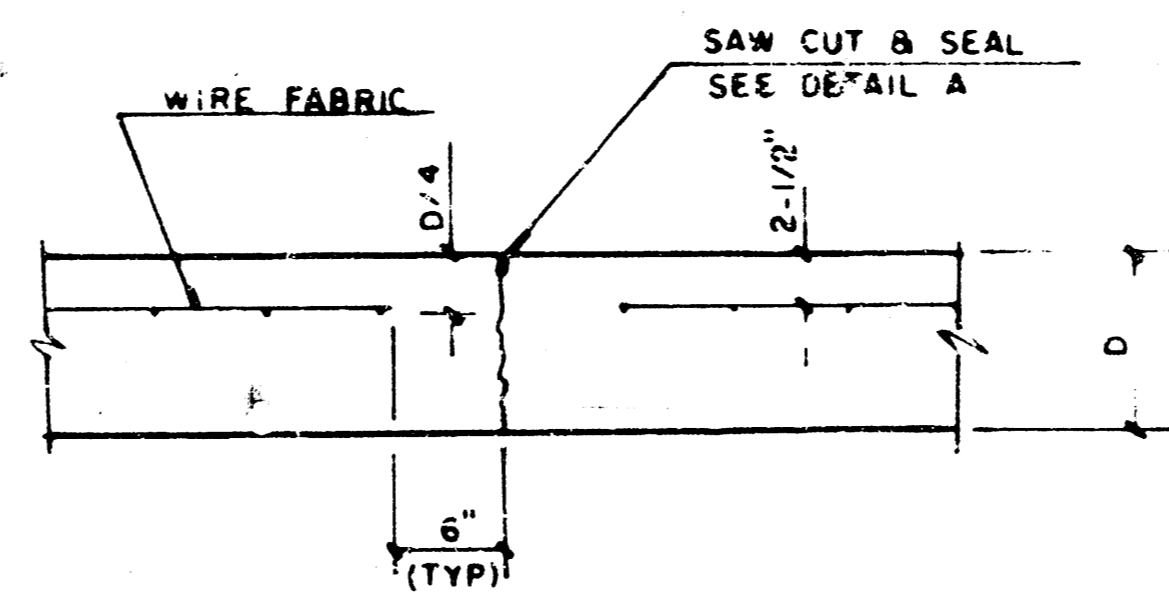


EXPANSION JOINT

NOTE: EXTRA THICKNESS TO BE SUBSIDIARY TO PRICE OF SQ. YDS. PAVEMENT.



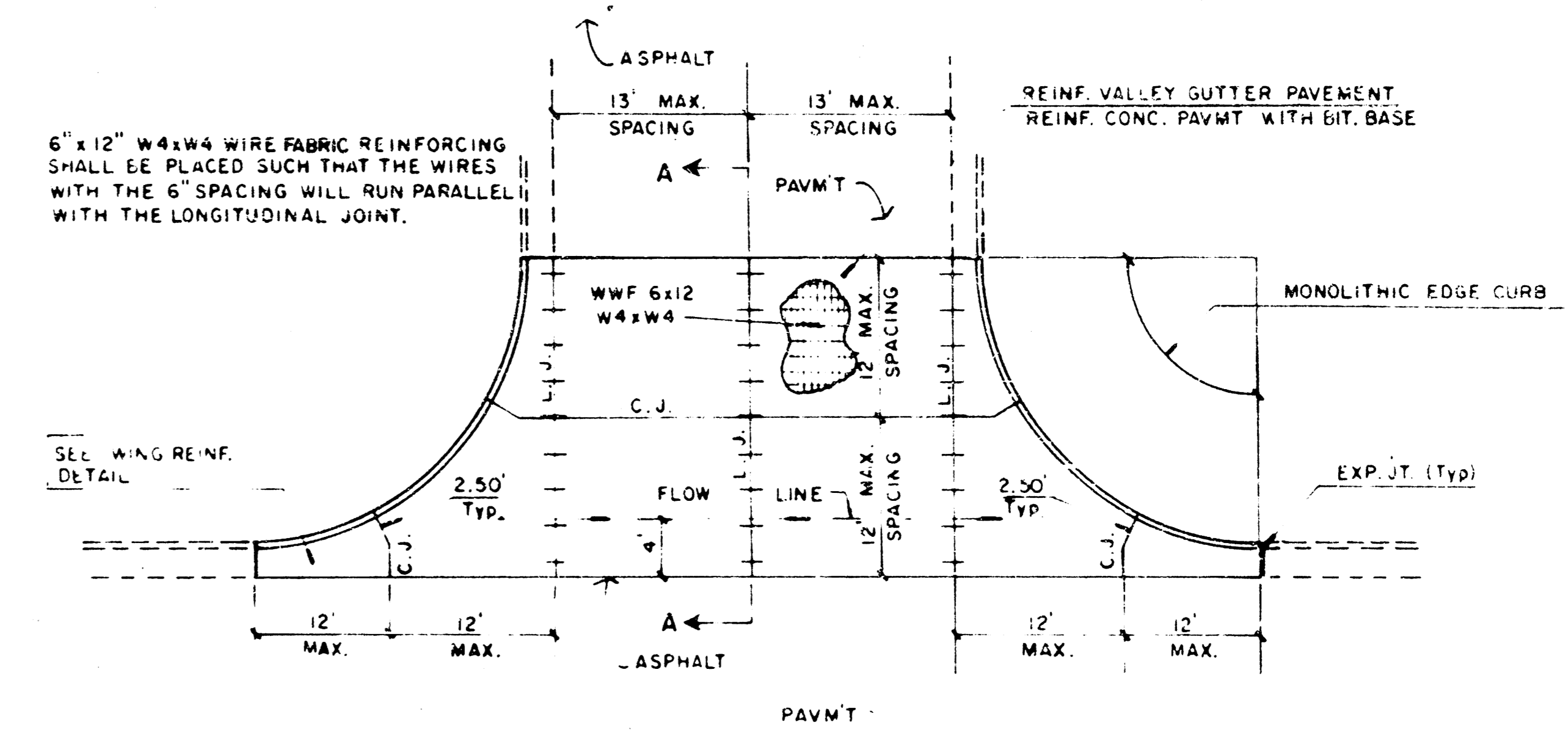
KEYWAY DETAIL



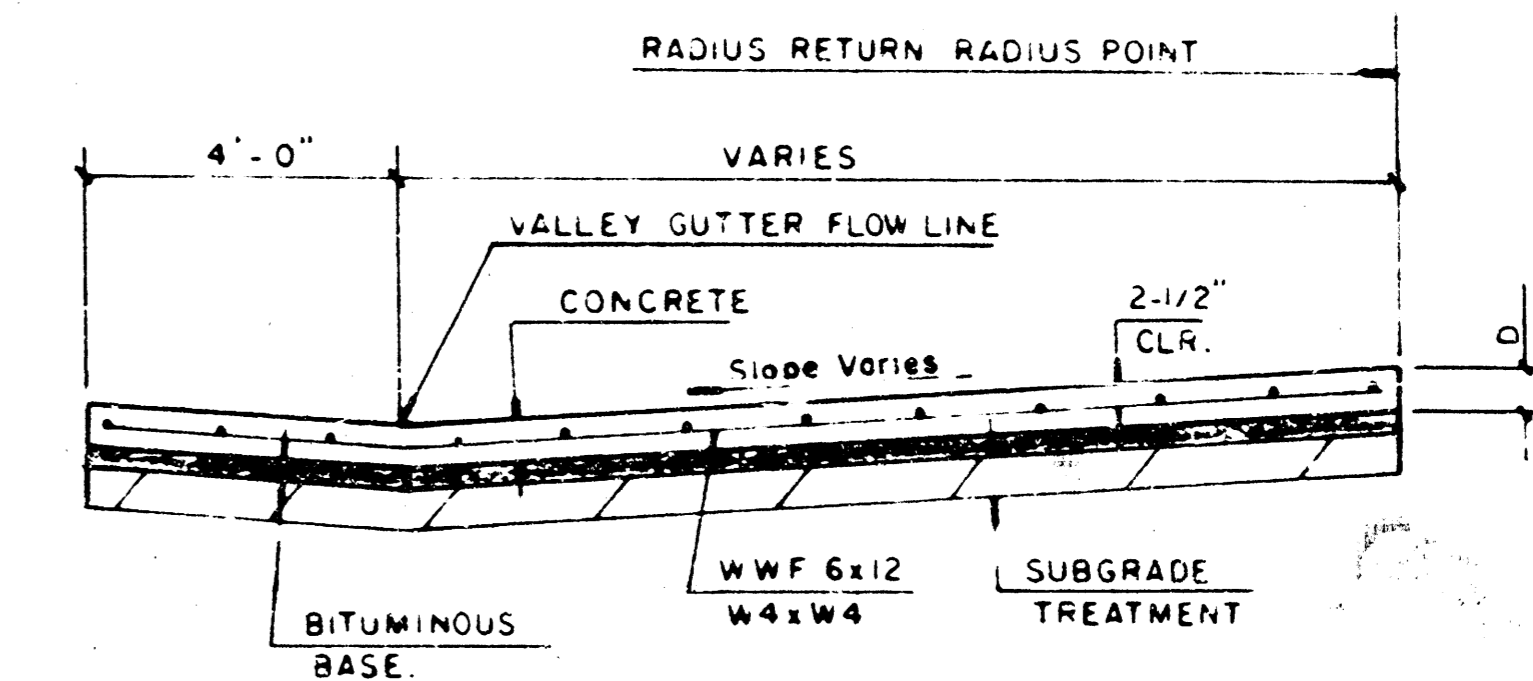
CONTRACTION JOINT DETAIL (C.J.)

LEGEND

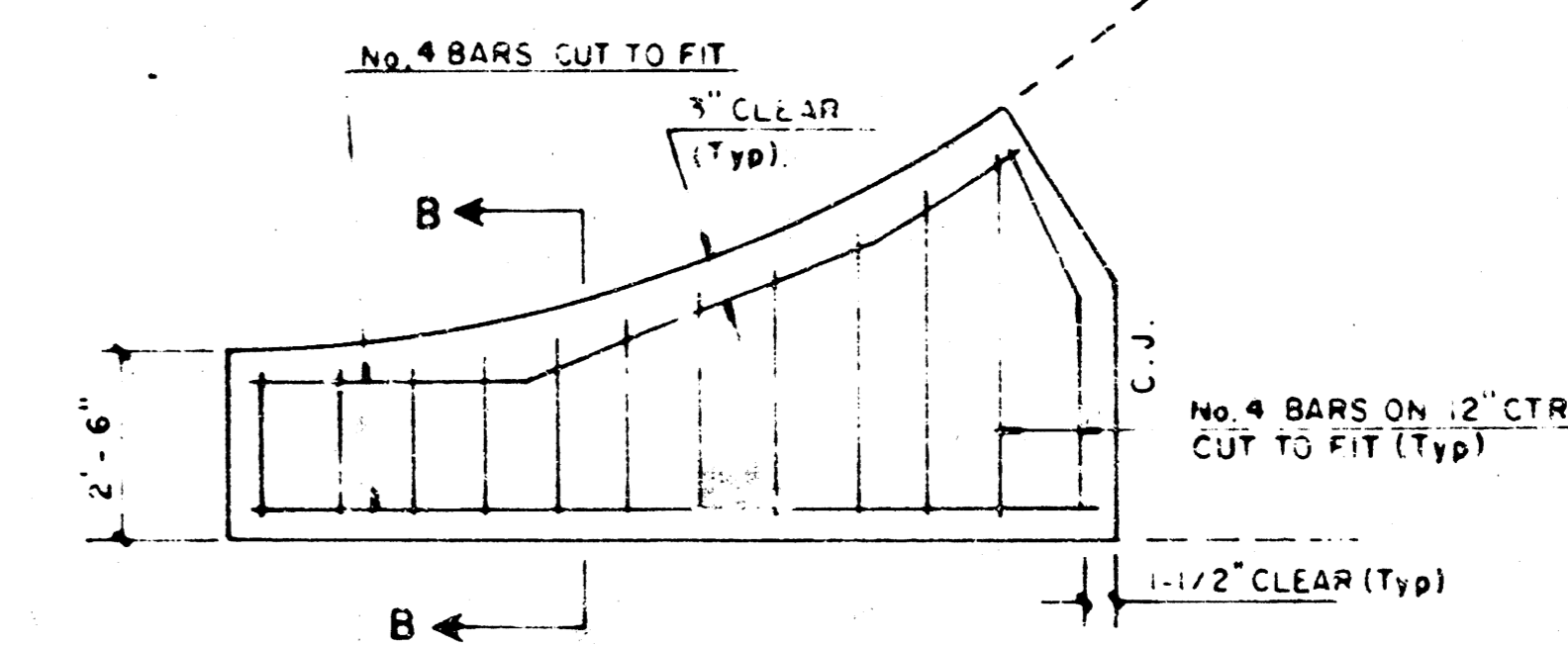
C.J. IDENTIFIES CONTRACTION JOINT
L.J. IDENTIFIES LONGITUDINAL JOINT



PLAN REINFORCED VALLEY GUTTER

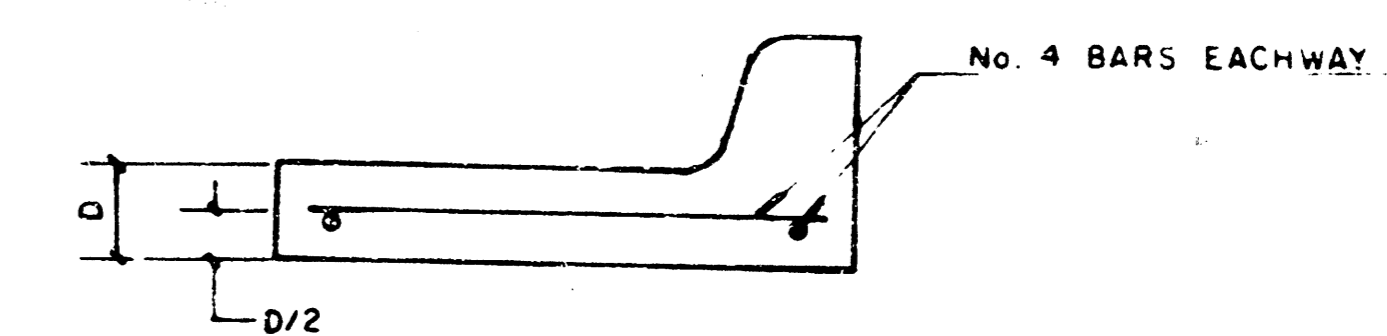


SECTION A-A



WING REINFORCING DETAIL

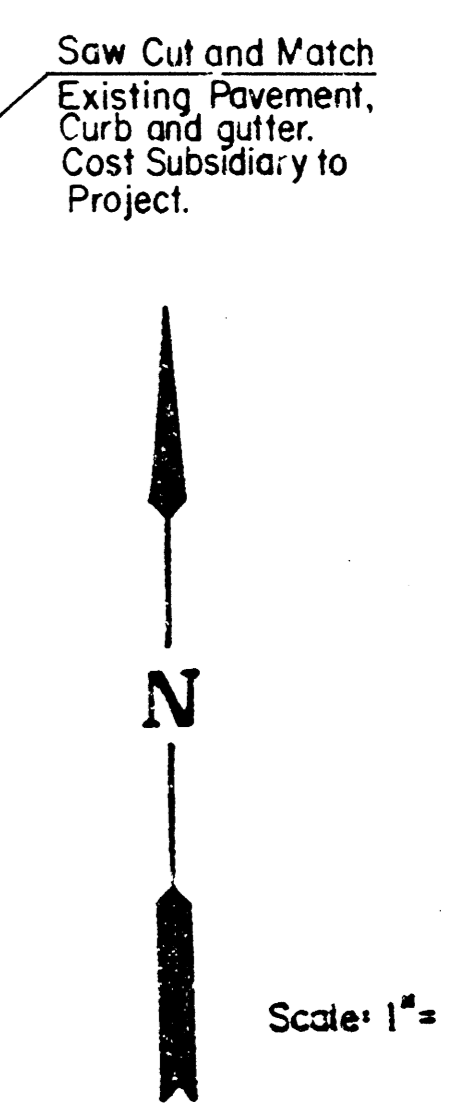
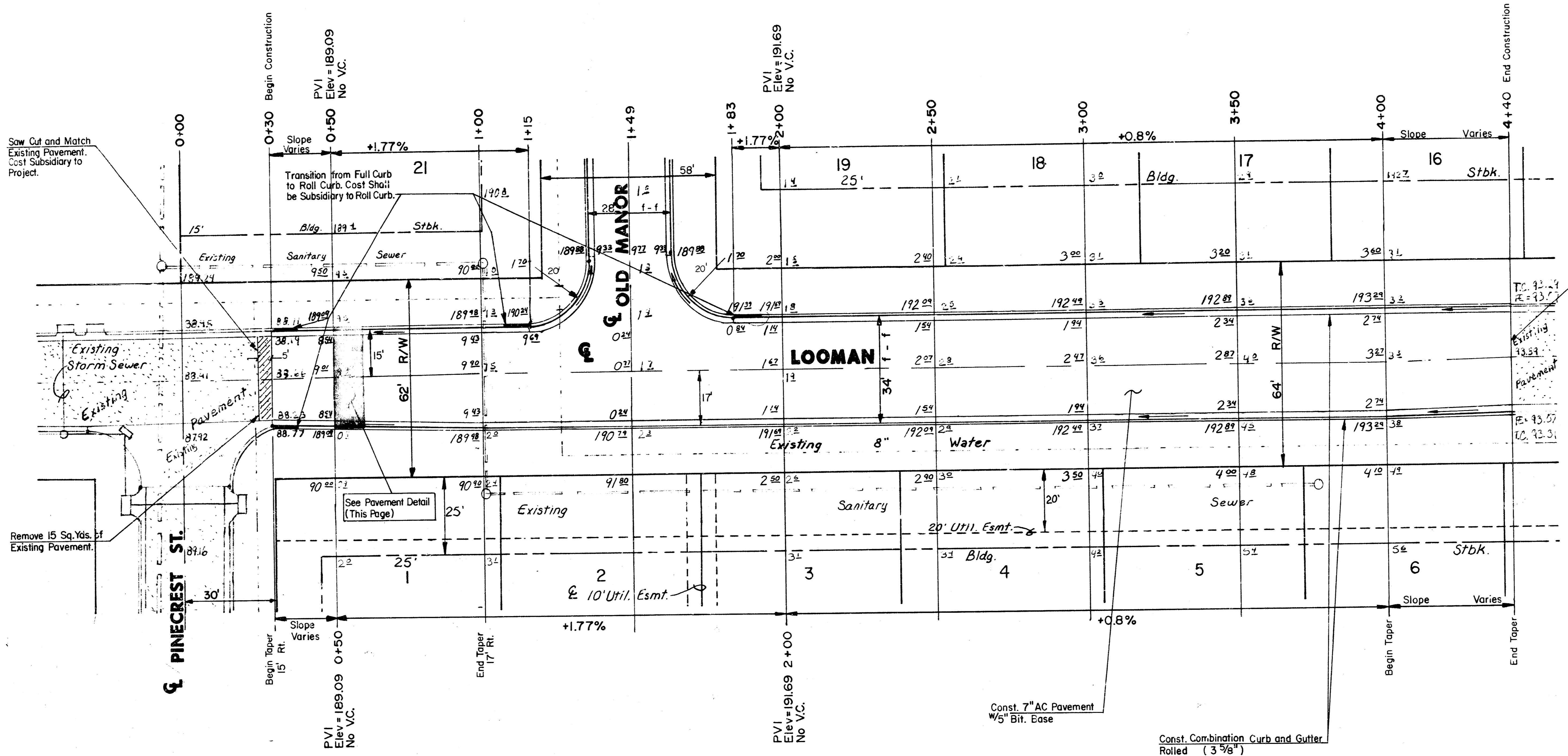
NOTE: OMIT WIRE FABRIC REINFORCING IN THIS SECTION.



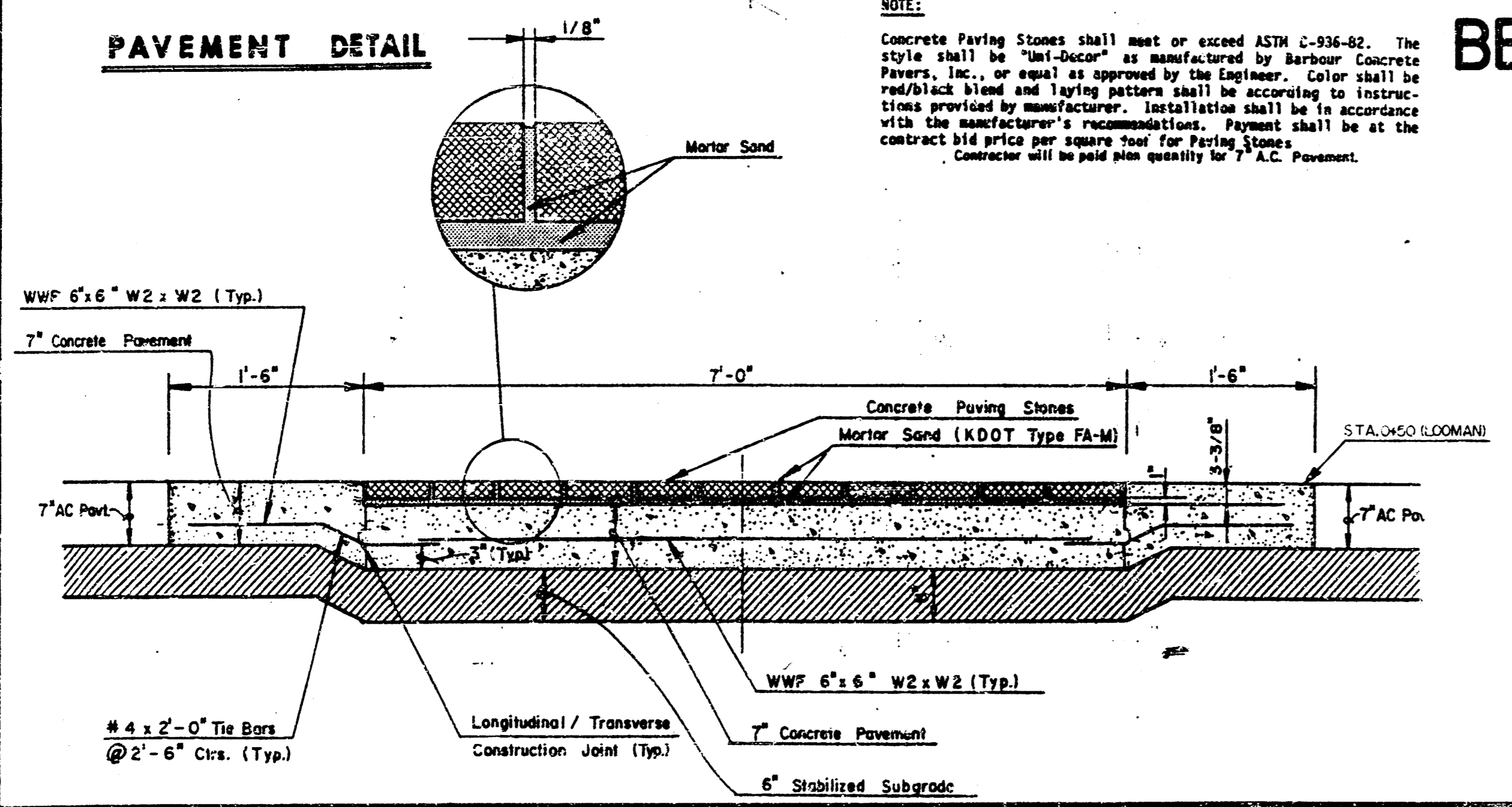
SECTION B-B

NOTE:
 TOP OF CURB ELEVATIONS SHOWN ARE FOR
 FULL CURB, CONSTRUCT COMBINED CURB &
 GUTTER (ROLL TYPE).

Const. Comb. Curb and Gutter
 (Full, 6 5/8") at Street
 Intersection Returns



PAVEMENT DETAIL



NOTE:
 Concrete Paving Stones shall meet or exceed ASTM C-936-82. The
 style shall be "Net-Docor" as manufactured by Harbour Concrete
 Pavers, Inc., or equal as approved by the Engineer. Color shall be
 red/black blend and laying pattern shall be according to instruc-
 tions provided by manufacturer. Installation shall be in accordance
 with the manufacturer's recommendations. Payment shall be at the
 contract bid price per square yard for Paving Stones.
 Contractor will be paid peak quantity for 7" AC Pavement.

BEACON

VILLAGE

EARTHWORK
 EXCAVATION 3400 c.y.
 COMP. FILL 50 c.y.

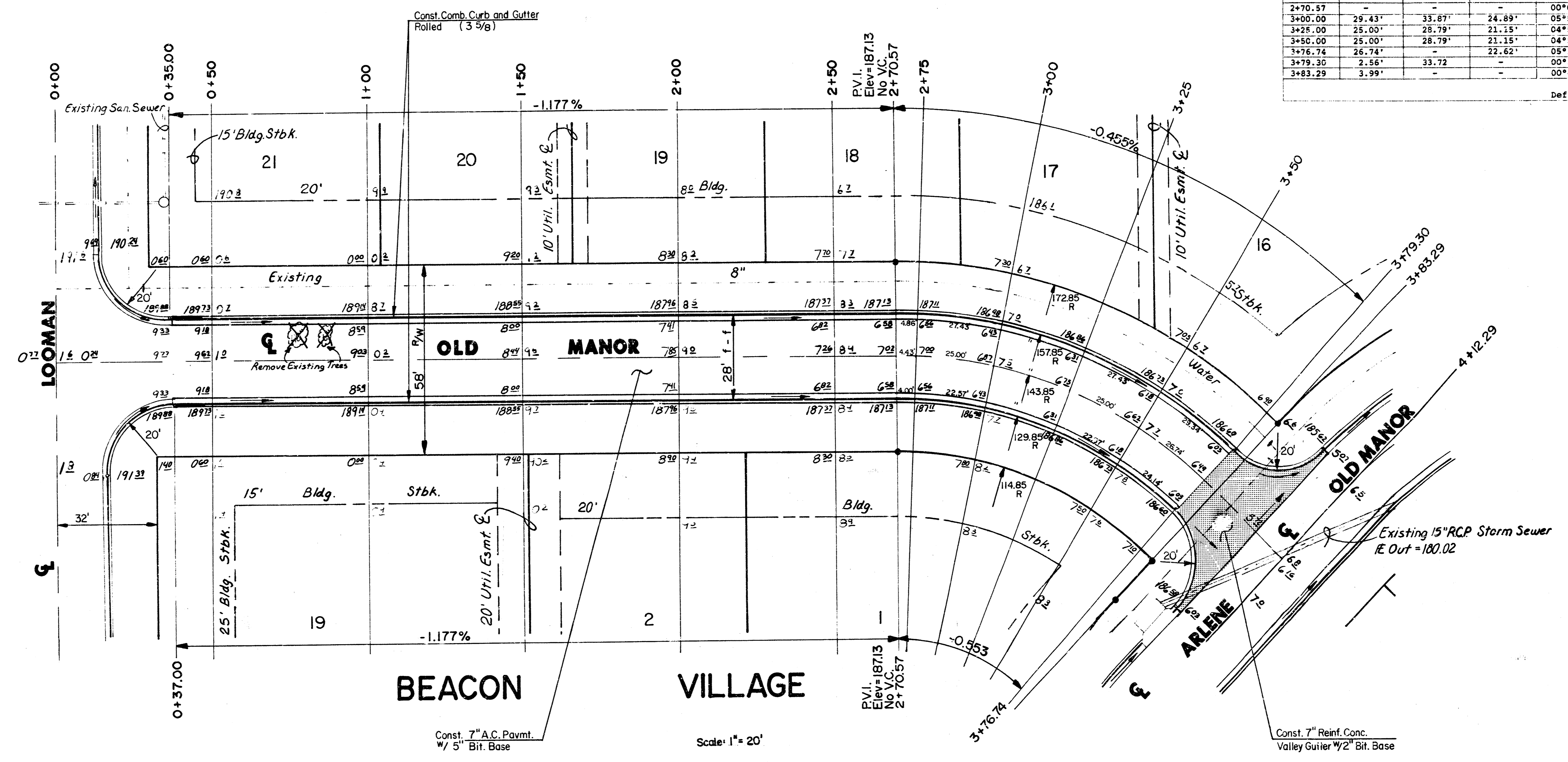
	CITY OF WICHITA LOOMAN	Design: <i>GJA</i> Drawn: <i>KLH</i> Checked: <i>DCH</i> Date: <i>July 1991</i> Job No.
	PROJECT NO. 472-81950	MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226
636-5566		Sheet 5 of 19

$\Delta = 44^{\circ}53'51''$ $R = 143.85'$ $T = 59.43'$ $L = 112.72'$ $LC = 109.86'$

CURVE DATA BASED ON CENTERLINE / 2 = 22°26'56"

CHORD LENGTH				
STATION	ARC	8' Off LtcB	8' Off RtcB	TOTAL DEFLECTION
2+70.57	-	-	-	00°00'00"
3+00.00	29.43'	33.67'	24.89'	05°51'40"
3+25.00	25.00'	28.79'	21.15'	04°58'44"
3+50.00	25.00'	28.79'	21.15'	04°58'44"
3+76.74	26.74'	-	22.62'	05°19'31"
3+79.30	2.56'	-	33.72'	00°30'35"
3+83.29	3.99'	-	-	00°47'42"

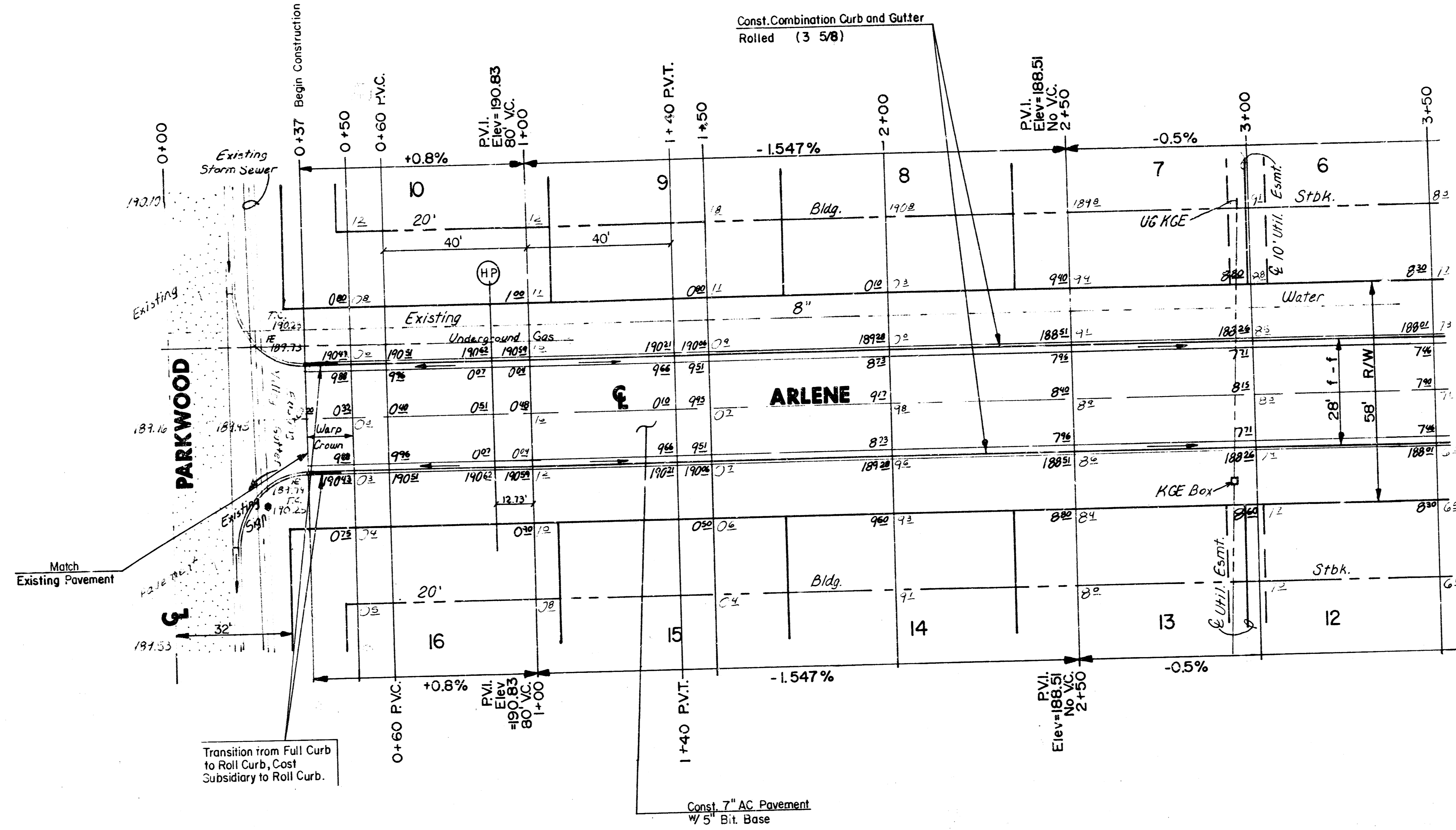
Def/PT = 11.94907 Min.



NOTE:
TOP OF CURB ELEVATIONS SHOWN ARE FOR FULL CURB, CONSTRUCT COMBINED CURB & GUTTER (ROLL TYPE).

	CITY OF WICHITA	Drawn by GUA Checked by K.L.H. Date July 1991 Job No.
	OLD MANOR	PROJECT NO. 472-61950
MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING 1800 WICHITA, KANSAS 67226		Sheet 6 of 19

Scale: 1" = 20'

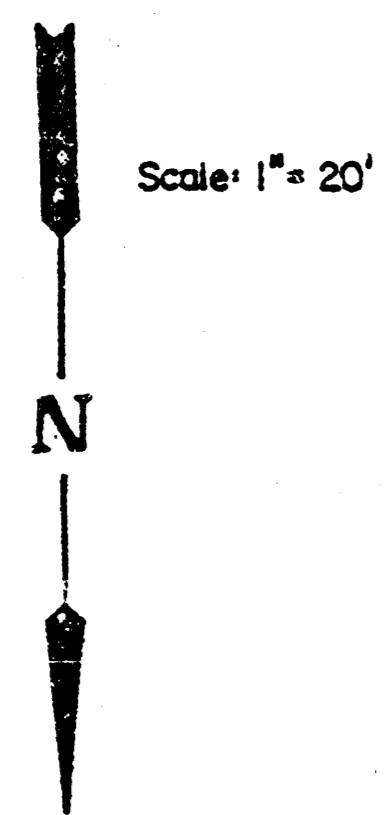
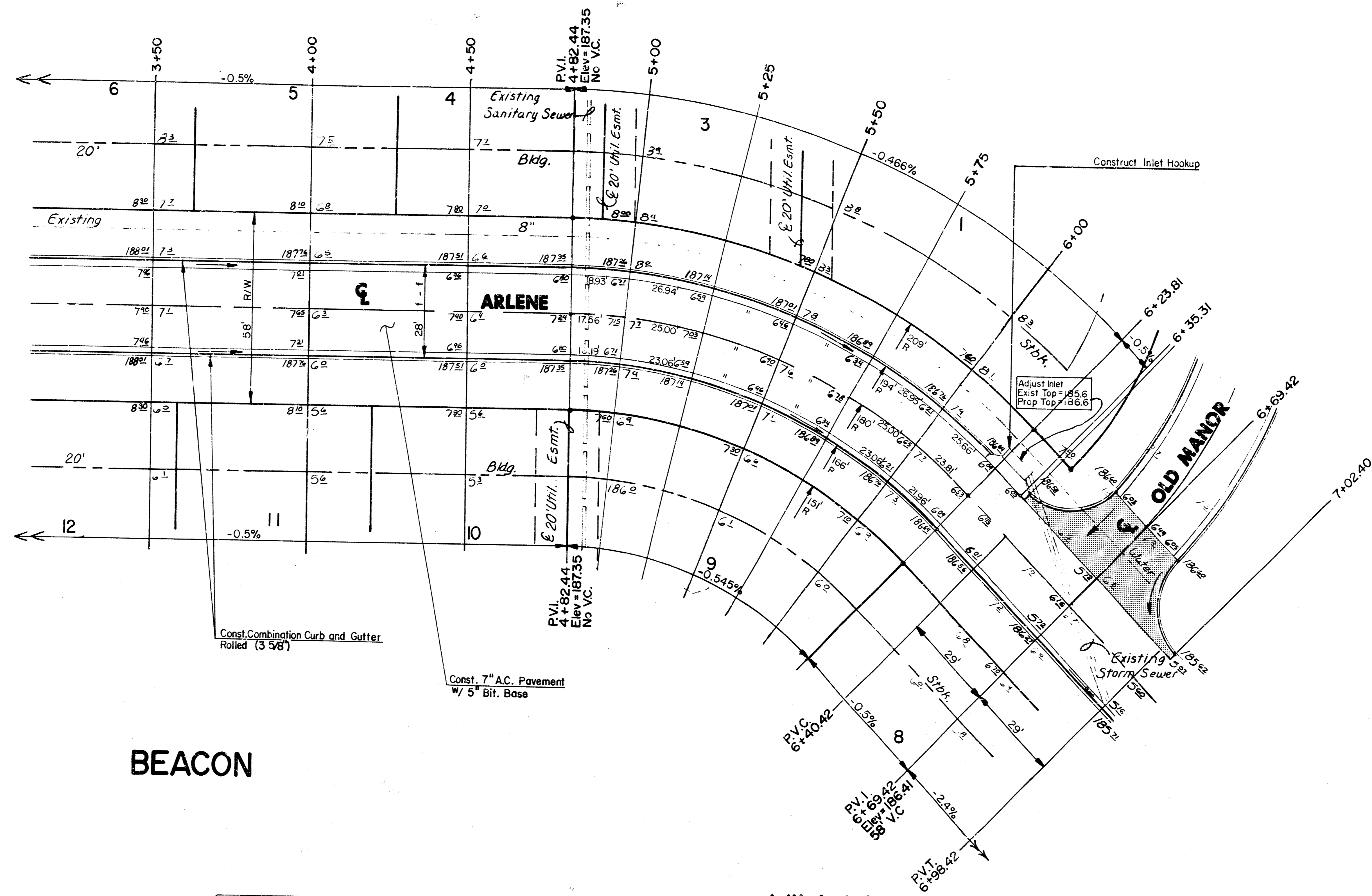


BEACON

VILLAGE

NOTE:
 TOP OF CURB ELEVATIONS SHOWN ARE FOR
 FULL CURB, CONSTRUCT COMBINED CURB &
 GUTTER (ROLL TYPE).

	CITY OF WICHITA ARLENE	Design: <i>GJA</i> Drawn by: <i>KLH</i> Checked by: <i>DCH</i> Date: <i>July 1991</i>
	PROJECT NO. 472-81950	Sheet 7 of 19
	MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226	636-5566



BEACON

VILLAGE

$\Delta = 45^{\circ}00'00''$ $R = 180.00'$ $T = 74.56'$ $L = 141.37'$ $LC = 137.77'$

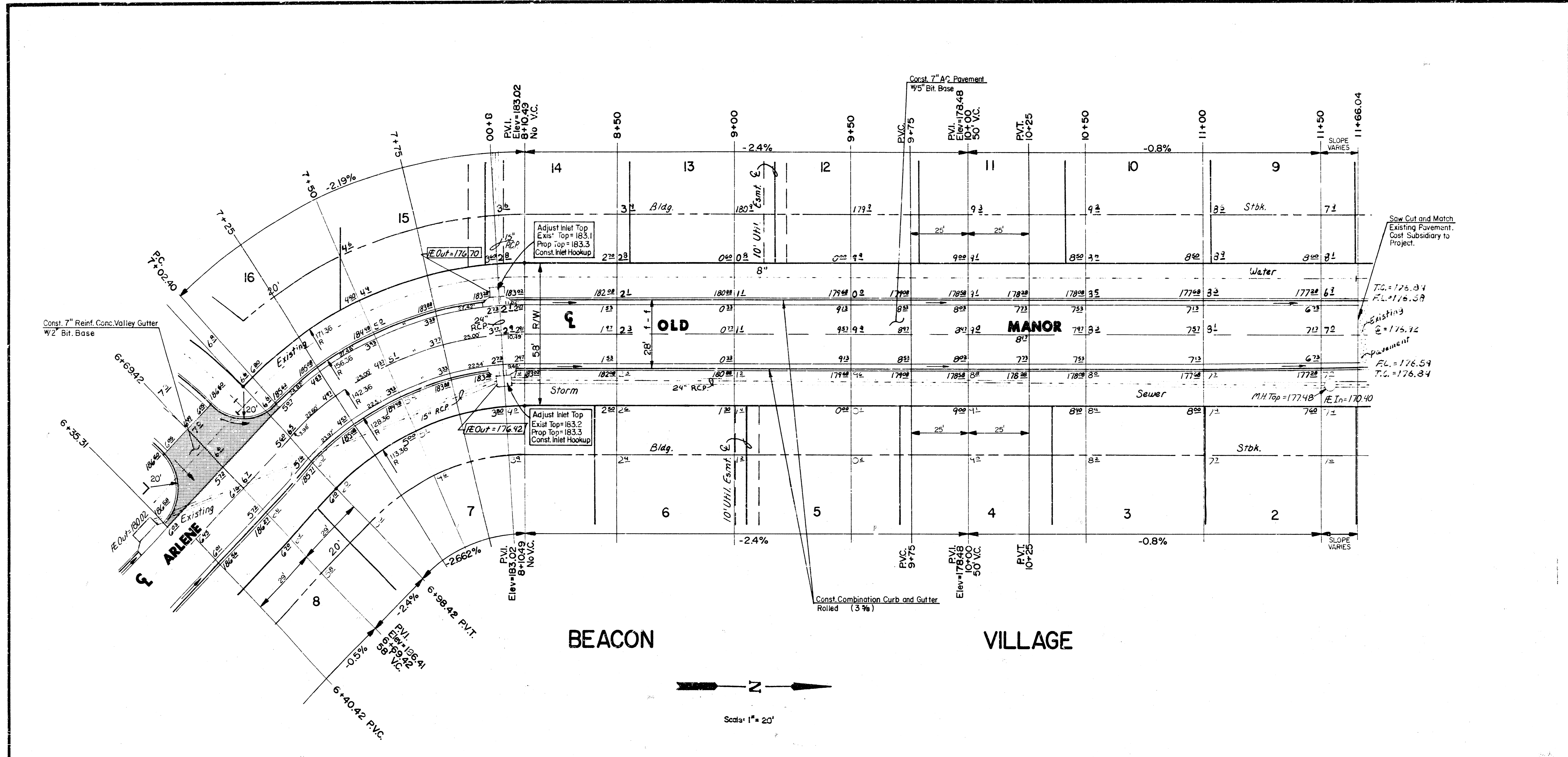
CURVE DATA BASED ON CENTERLINE $/2 = 22^{\circ}30'00''$

STATION	ARC	8' Off LcCb	8' Off RtcCb	DEFLECTION	TOTAL DEFLECTION
4+82.44	-	-	-	00°00'00"	00°00'00"
5+00.00	17.56'	19.70'	15.41'	02°47'41"	02°47'41"
5+25.00	25.00'	28.03'	21.93'	03°58'44"	06°46'25"
5+50.00	25.00'	28.03'	21.93'	03°58'44"	10°45'09"
5+75.00	25.00'	28.03'	21.93'	03°58'44"	14°43'53"
5+00.00	25.00'	28.03'	21.93'	03°58'44"	18°42'37"
6+23.81	23.81'	26.70'	20.89'	03°47'23"	22°30'00"

Def/Zt = 9.54930 Min.

NOTE:
TOP OF CURB ELEVATIONS SHOWN ARE FOR FULL CURB, CONSTRUCT COMBINED CURB & GUTTER (ROLL TYPE).

	CITY OF WICHITA	Design GJA
	ARLENE	Drawn by KLH
	PROJECT NO. 472-81950	Checked by D.C.H.
		Date July 1991
MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING 1800 WICHITA, KANSAS 67226		Sheet 8 of 19



NOTE:
 TOP OF CURB ELEVATIONS SHOWN ARE FOR
 FULL CURB, CONSTRUCT COMBINED CURB &
 GUTTER (ROLL TYPE).

$\Delta = 45^{\circ}06'09''$ $R = 142.36'$ $T = 59.12'$ $L = 112.06'$ $LC = 109.19'$

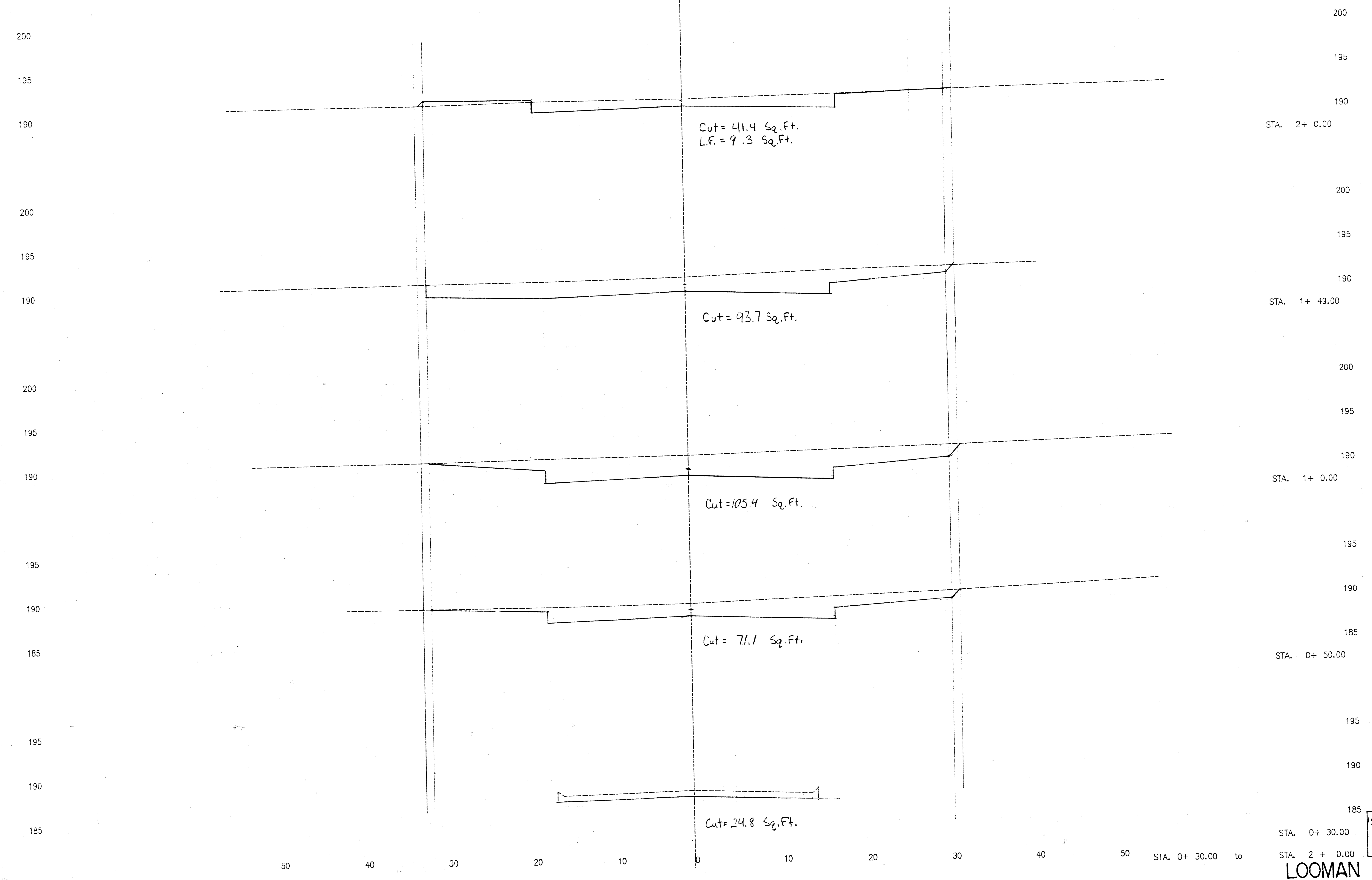
CURVE DATA BASED ON CENTERLINE $/2 = 22^{\circ}33'05''$

STATION	ARC	CHORD LENGTH		TOTAL DEFLECTION	
		8' Off LtCb	8' Off RtCb	DEFLECTION	DEFLECTION
6+98.42	-	-	-	00°00'00"	00°00'00"
7+02.40	3.98'	4.59'	-	00°48'03"	00°48'03"
7+25.00	22.60'	26.07'	22.44'	04°32'53"	05°20'56"
7+50.00	25.00'	28.83'	21.11'	05°01'51"	10°22'47"
7+75.00	25.00'	28.83'	21.11'	05°01'51"	15°24'38"
8+00.00	25.00'	28.83'	21.11'	05°01'51"	20°26'29"
8+10.48	10.48'	12.10'	8.86'	02°06'35"	22°33'05"

Def/Pc = 12.07413 Min.

	CITY OF WICHITA	Drawn by GJA Checked by RLH Date July 1991
	OLD MANOR	
	PROJECT NO. 472-81950	

MID-KANSAS ENGINEERING CONSULTANTS PA 3100 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226	Sheet 9 of 19
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BEACON VILLAGE-PHASE III
PAVING CROSS-SECTIONS
PROJECT NO. 472-81950

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190

STA. 4+ 40.00

STA. 4+ 0.00

STA. 3+ 50.00

STA. 3+ 0.00

STA. 2+ 50.00

STA. 4 + 40.00

to

50 40 30 20 10 0 10 20 30 40 50

Cut = 28.6 Sq. Ft.

Cut = 38.7 Sq. Ft.
L.F. = 7.7 Sq. Ft.

Cut = 93.7 Sq. Ft.

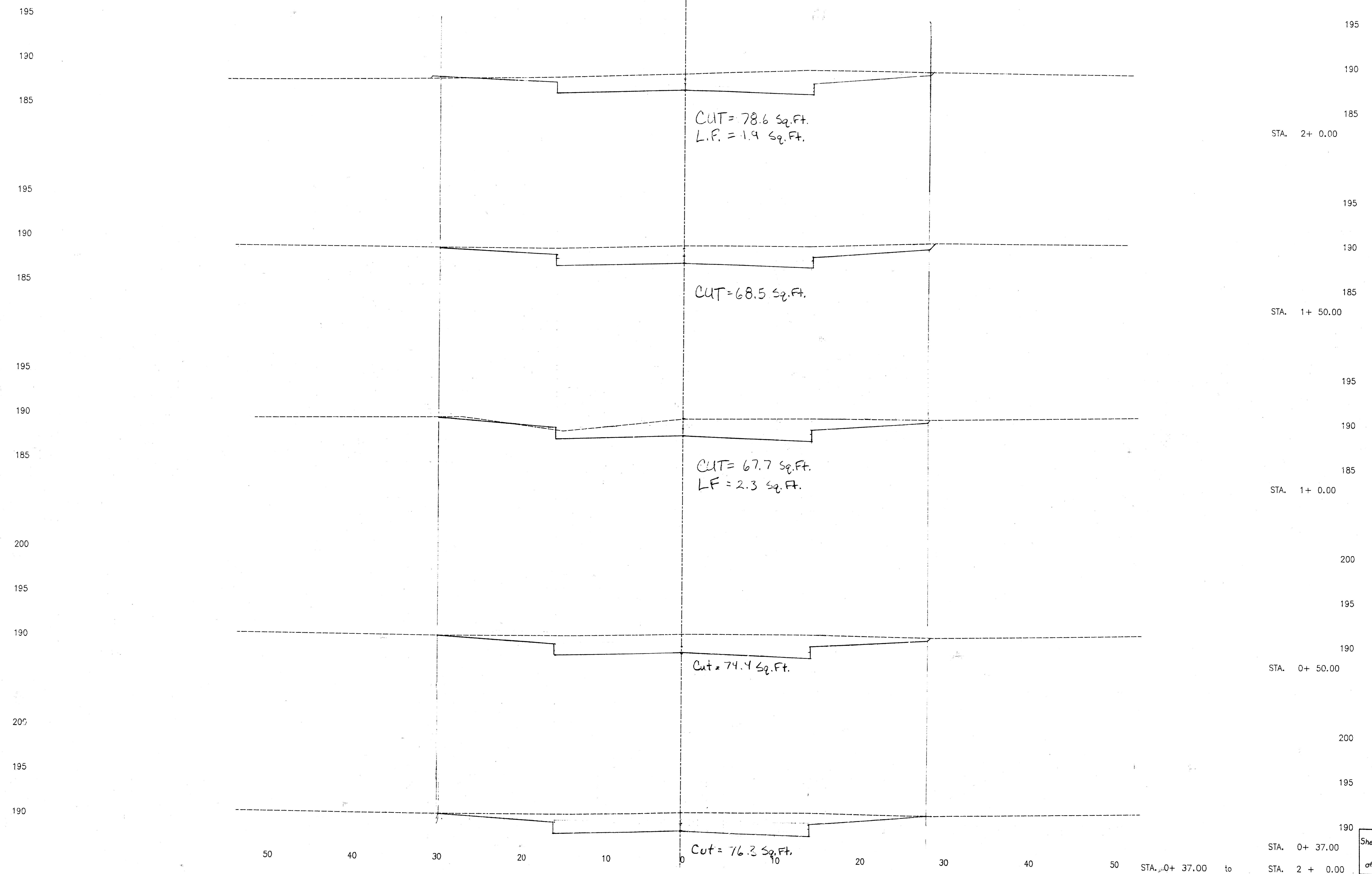
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Cut = 53.0 Sq. Ft.

Sheet 1
of 19

LOOMAN

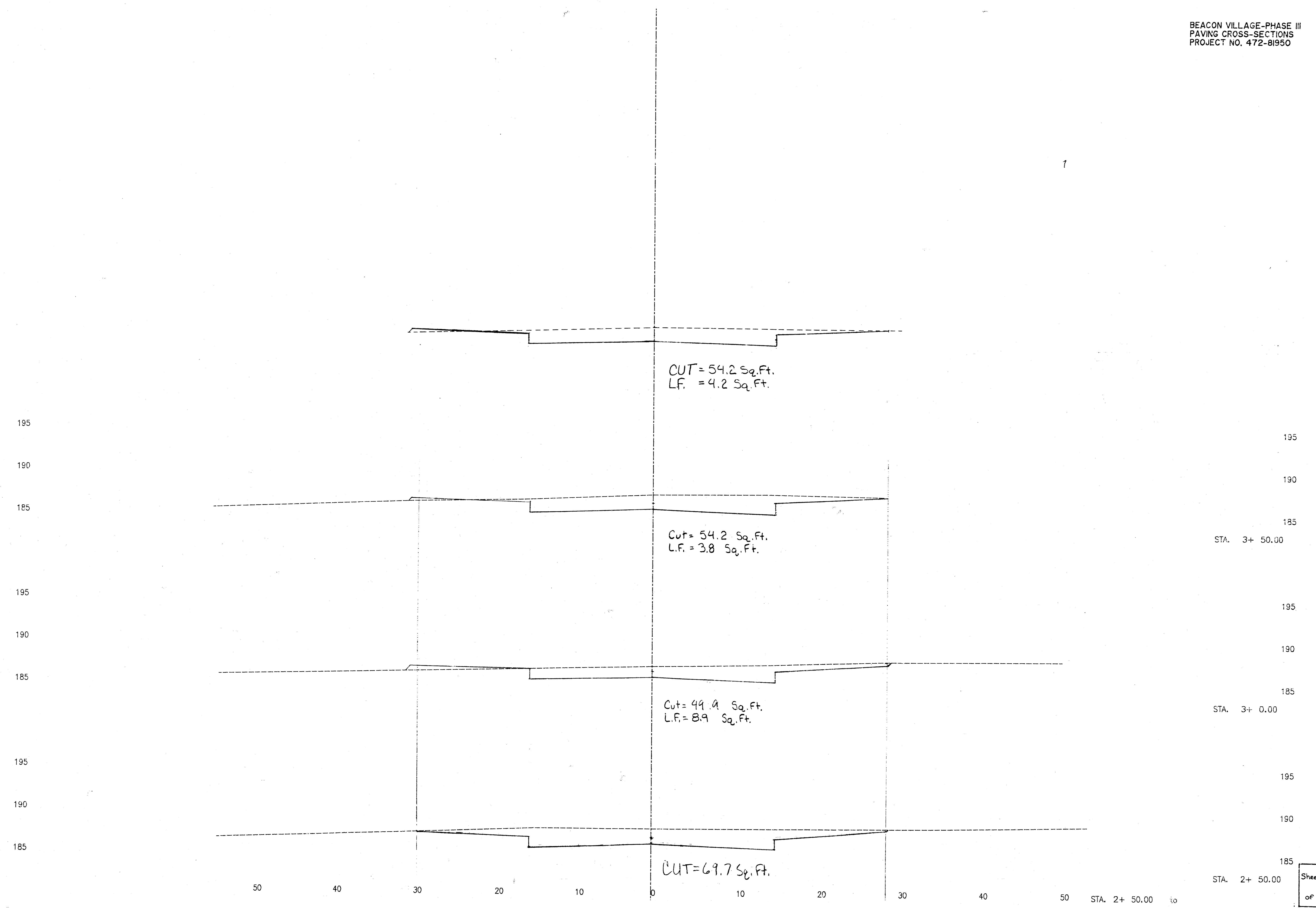
BEACON VILLAGE-PHASE III
PAVING CROSS-SECTIONS
PROJECT NO. 472-81950



Sheet 12
of 19

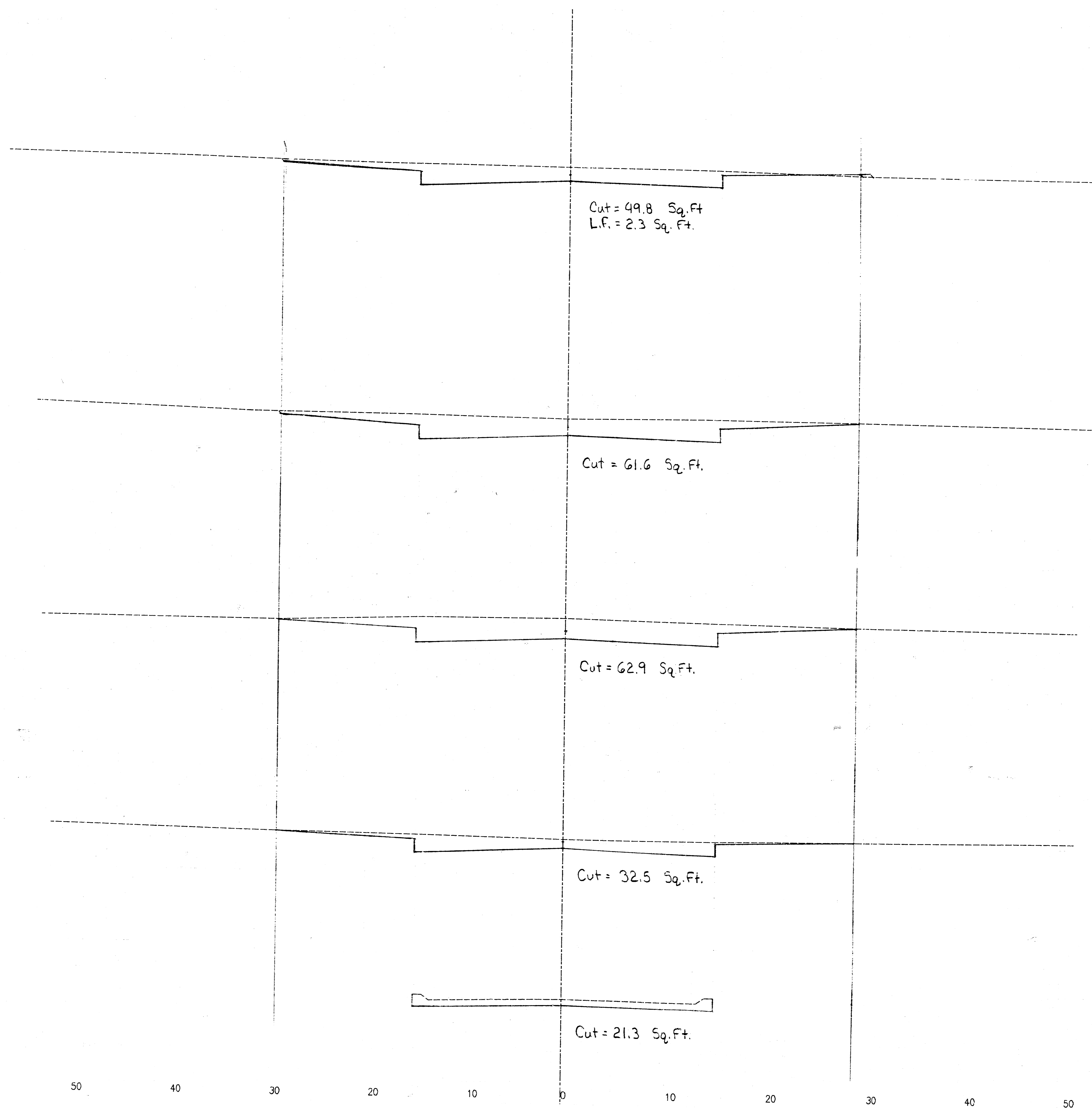
STA. 0+ 37.00
STA. 2 + 0.00

OLD MANOR



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185



STA. 2+ 0.00

STA. 1+ 50.00

STA. 1+ 0.00

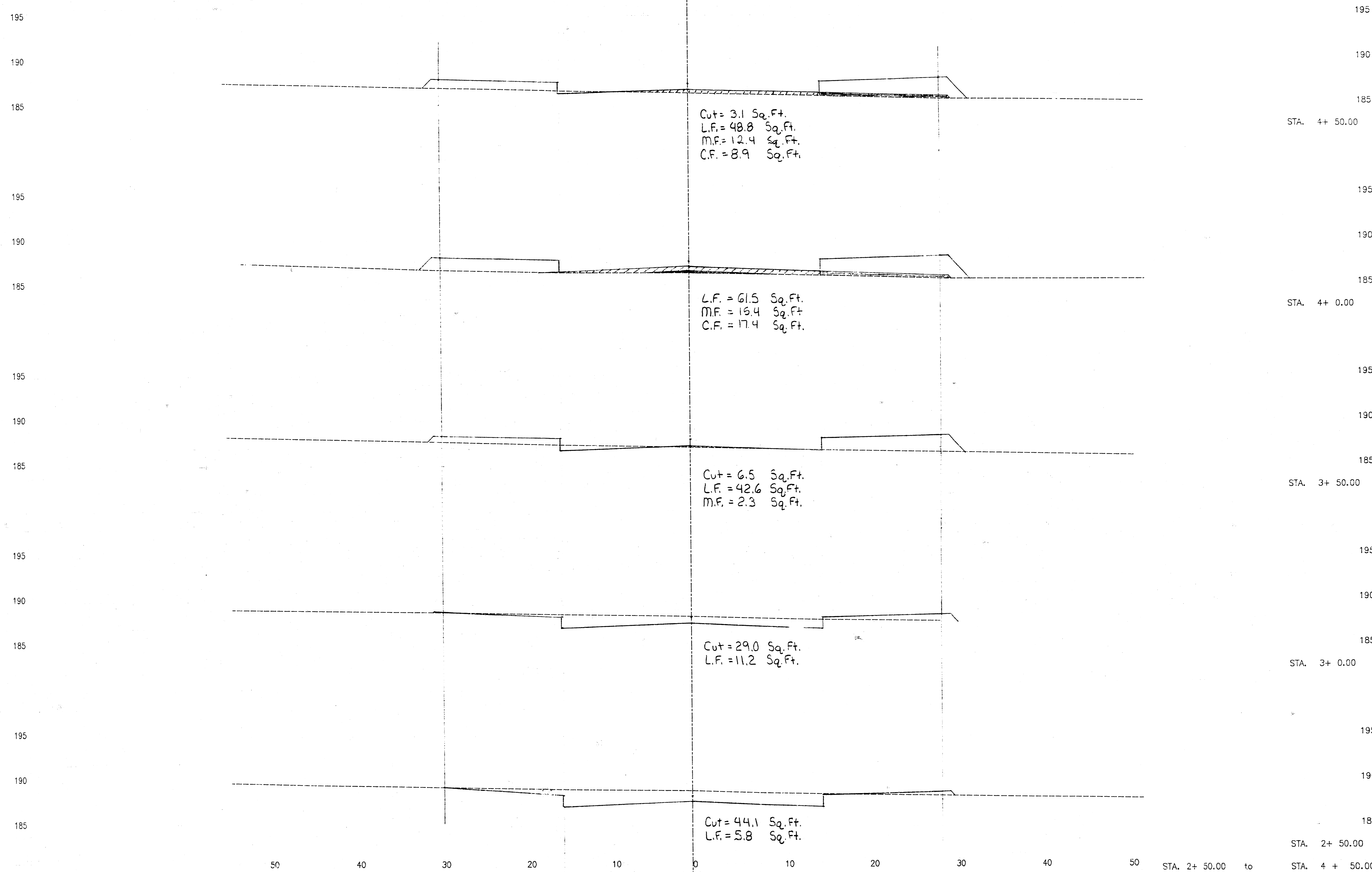
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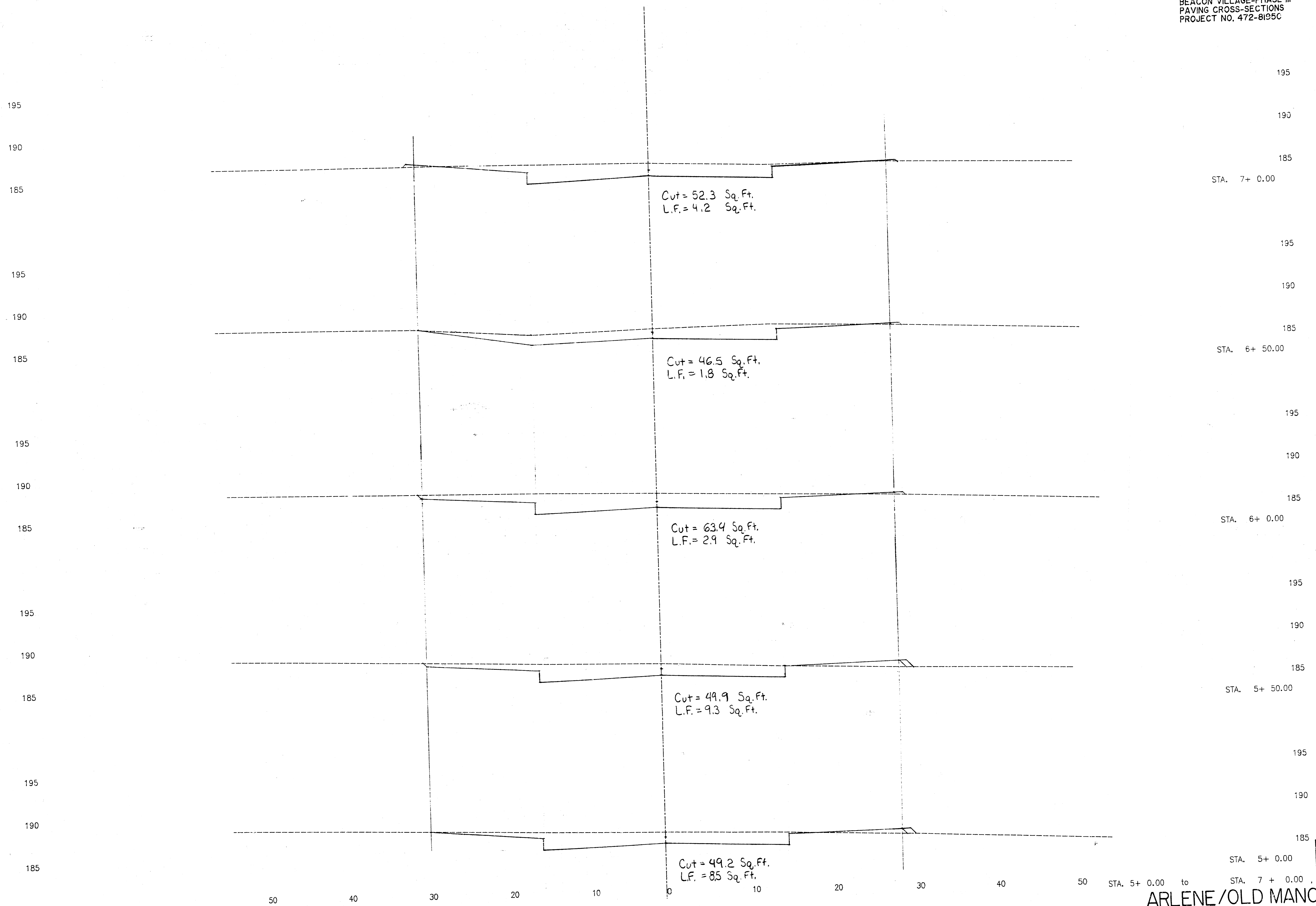
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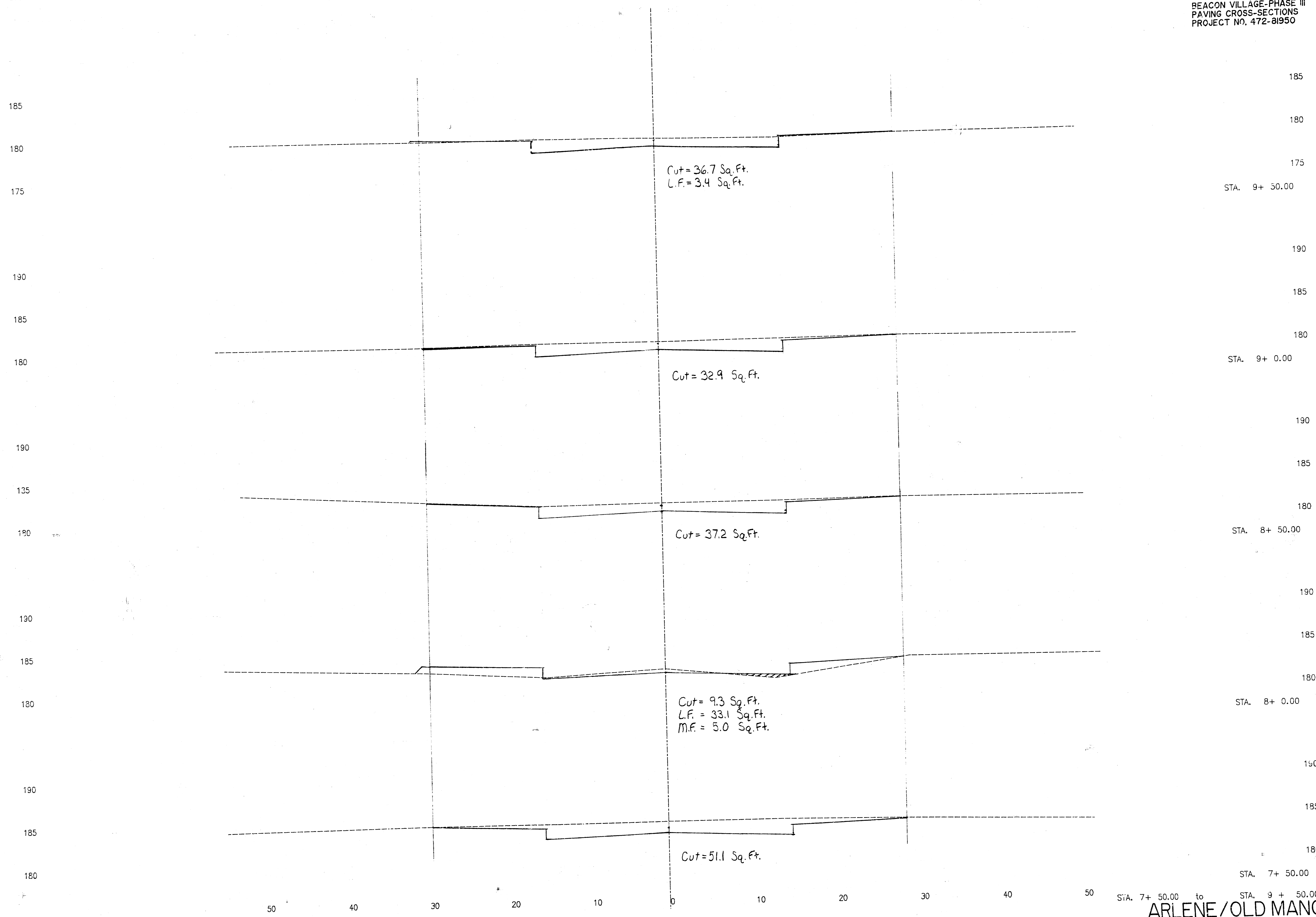
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Sheet 14
of 19

ARLENE / OLD MANOR

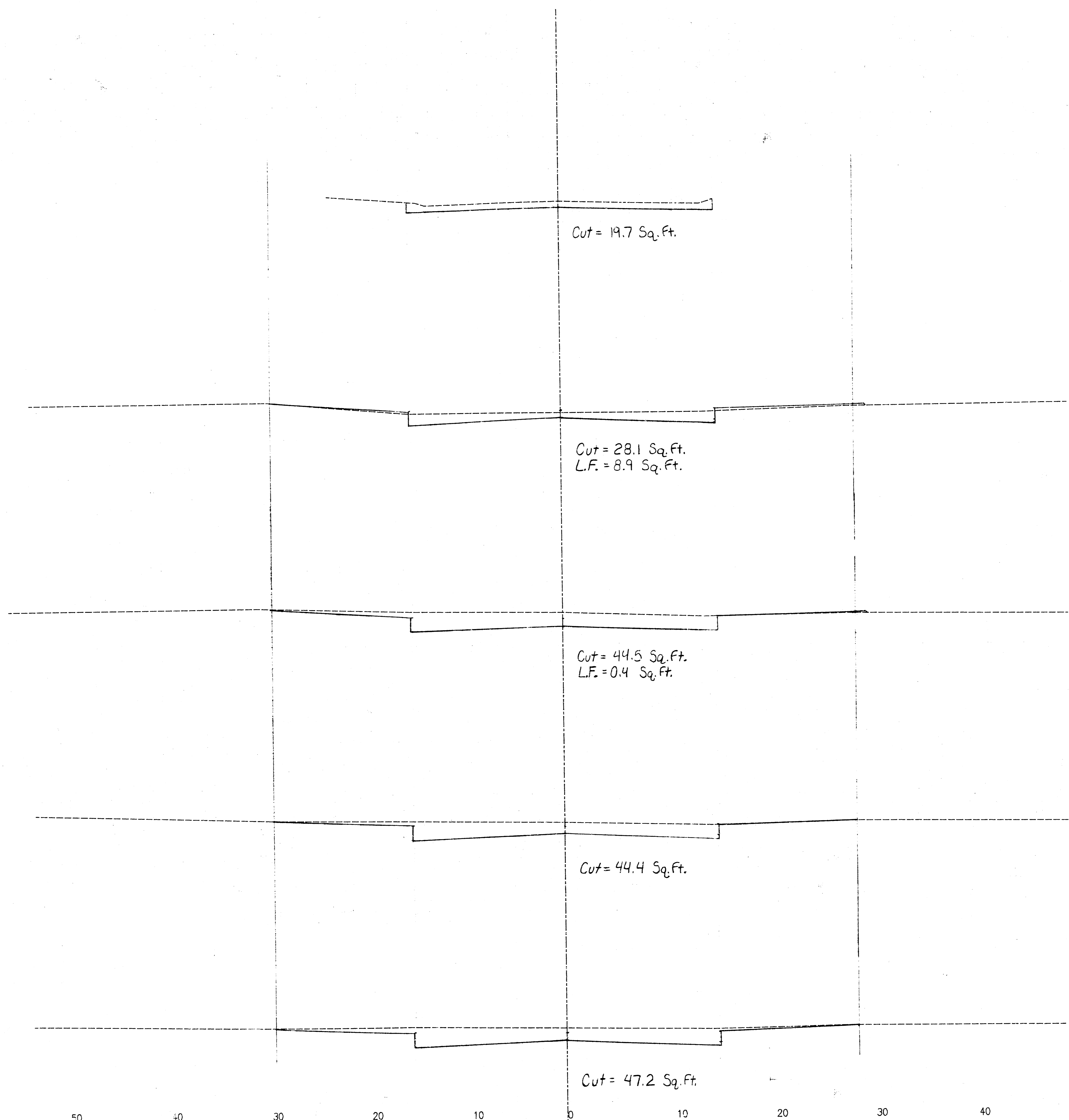






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STA. 11+ 66.00
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STA. 11+ 50.00
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175
STA. 11+ 0.00
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175
STA. 10+ 50.00
185
180
175
STA. 10+ 0.00



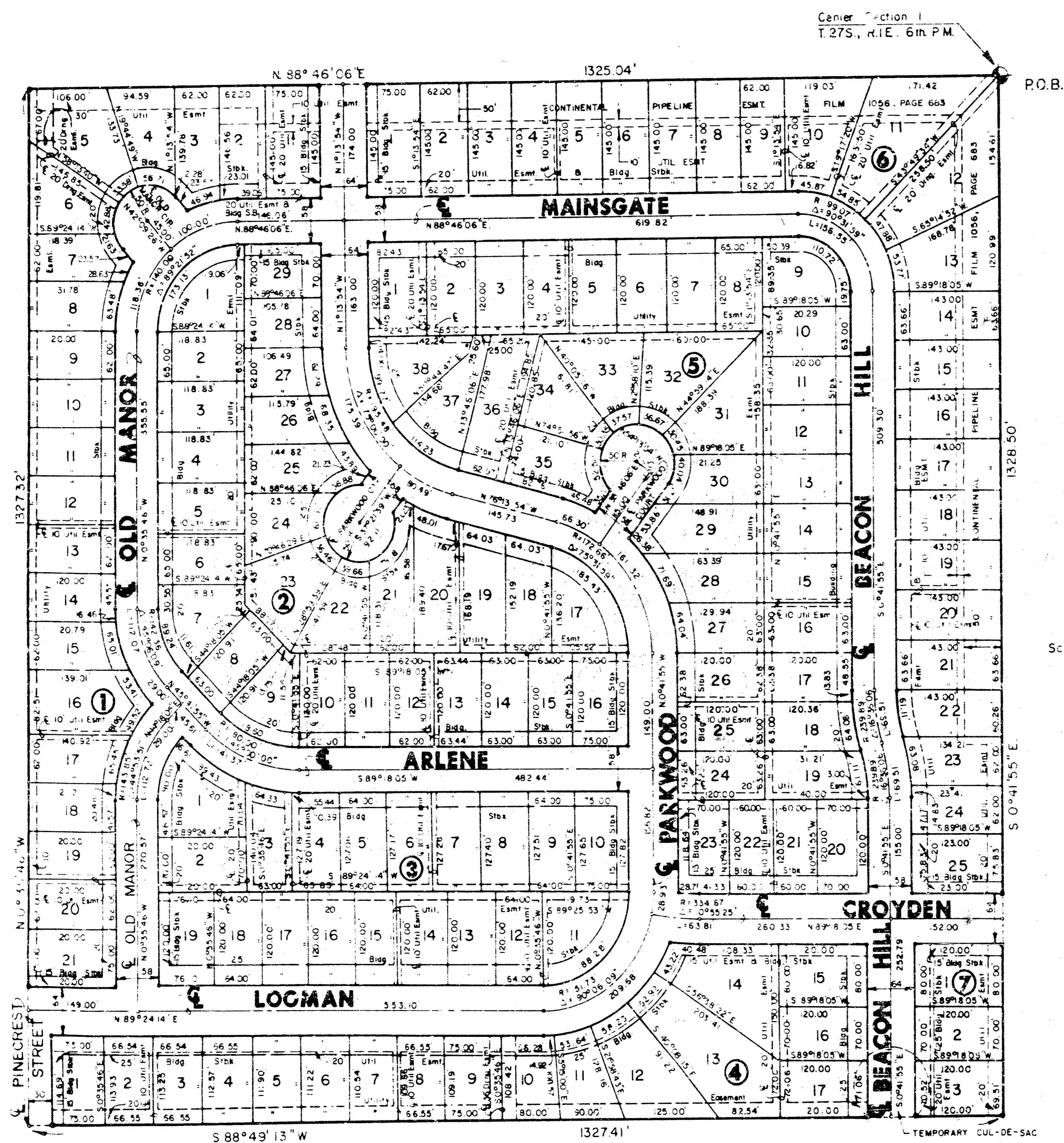
50 40 30 20 10 0 10 20 30 40 50

STA. 10+ 0.00 to STA. 11 + 66.00

Sheet 18
of 19

ARLENE/OLD MANOR

FINAL PLAT OF
BEACON VILLAGE
 AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



I, Kenneth H. Bengtson, a Civil Engineer and Registered Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plating of "BEACON VILLAGE" an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks and Streets, the same being accurately set forth in the accompanying plat and described herein:

The East half of the North half of the Southwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:

Beginning at the Northeast corner of said Southwest Quarter; thence S 30° 41' 55" E, 1328.50 feet along the East line of said Southwest Quarter, said line being the west line of Woodlawn Place 5th Addition, an addition to Wichita, Sedgwick County, Kansas; thence S 38° 49' 13" W, 1327.41 feet along the North line of Wichita Land Addition, an addition to Wichita, Sedgwick County, Kansas; thence N 20° 13' 46" W, 1327.32 feet along the East line of Prairie Hills 2nd Addition, an addition to Wichita, Sedgwick County, Kansas to a point on the North line of said Southwest Quarter; thence N 88° 46' 36" E, 1325.34 feet along the South line of Beacon Hill an addition to Wichita, Sedgwick County, Kansas to the point of beginning.

The drainage easement found on Film 621, Page 290 shall be vacated by virtue of K.S.A. 12-512 (b).

I hereby certify that the totals of this plat are correct to the best of my knowledge and belief this 23 day of May, 1989.

Kenneth H. Bengtson
 Kenneth H. Bengtson, P.E., P.L.S.
 Mid-Kansas Engineering Consultants, P.A.
 7500 N. Park Road, Building #200
 Wichita, Kansas 67225

Know all men by these presents that we the undersigned property owners of the land as above set forth in the Land Surveyor's and Civil Engineer's Certificate, have caused the same to be surveyed and platted into lots, blocks and streets, the same to be known as "BEACON VILLAGE" an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements for the construction and maintenance of drainage and public utilities are hereby granted. The temporary cul-de-sac for Beacon Hill is hereby granted, however, as such time as Beacon Hill is extended to the south the cul-de-sac shall be automatically vacated.

LEEWOOD HOMES, INC.

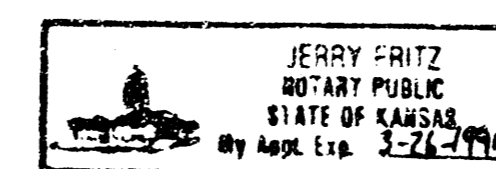
By: *Ed Hess*
 Ed Hess, President

STATE OF KANSAS)
 SEDGWICK COUNTY) SS:

Be it remembered that on this 23rd day of May, 1989, before me a Notary Public in and for said State and County, came Ed Hess, President of Leewood Homes, Inc., to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Jerry Fritz Notary Public

My Appointment Expires: March 26, 1991



We, Bank IV, Wichita, National Association, mortgagees on the above described property, do hereby consent to the plat of "BEACON VILLAGE".

BANK IV, WICHITA, NATIONAL ASSOCIATION

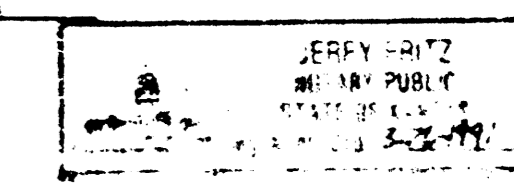
By: *Gary K. DeWard*
 Gary K. DeWard, Senior Vice President

STATE OF KANSAS)
 SEDGWICK COUNTY) SS:

Be it remembered that on this 23rd day of May, 1989, before me a Notary Public in and for said State and County, came Gary K. DeWard on behalf of Bank IV, Wichita, National Association, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Jerry Fritz Notary Public

My Appointment Expires: March 26, 1991



This plat of "BEACON VILLAGE" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 11th day of May, 1989

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Jim Crockett Chairman
Marvin Crout Secretary

This plat approved and all dedications shown hereon, if any, accepted by the City Commission of the City of Wichita, Kansas, this 21st day of July, 1989.

Bob Knight Mayor
Jim Ward City Clerk

Entered in transfer records this 21st day of July, 1989.

Don Wright County Clerk

STATE OF KANSAS)
 SEDGWICK COUNTY) SS:

This is to certify that this instrument was filed for record in the Register of Deeds office this 21st day of July, 1989.

Ed Hess Register of Deeds

Ed Hess Deputy