

STORM WATER SEWER IMPROVEMENTS TO SERVE RIDGE PORT NORTH ADDITION

Lot 6
Private Project Number
1071 PPS (607861)

CITY OF WICHITA, KANSAS
Michael E. Lindebak, P.E. City Engineer
DECEMBER 2000

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
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The Contractor must notify the following in case of an emergency:

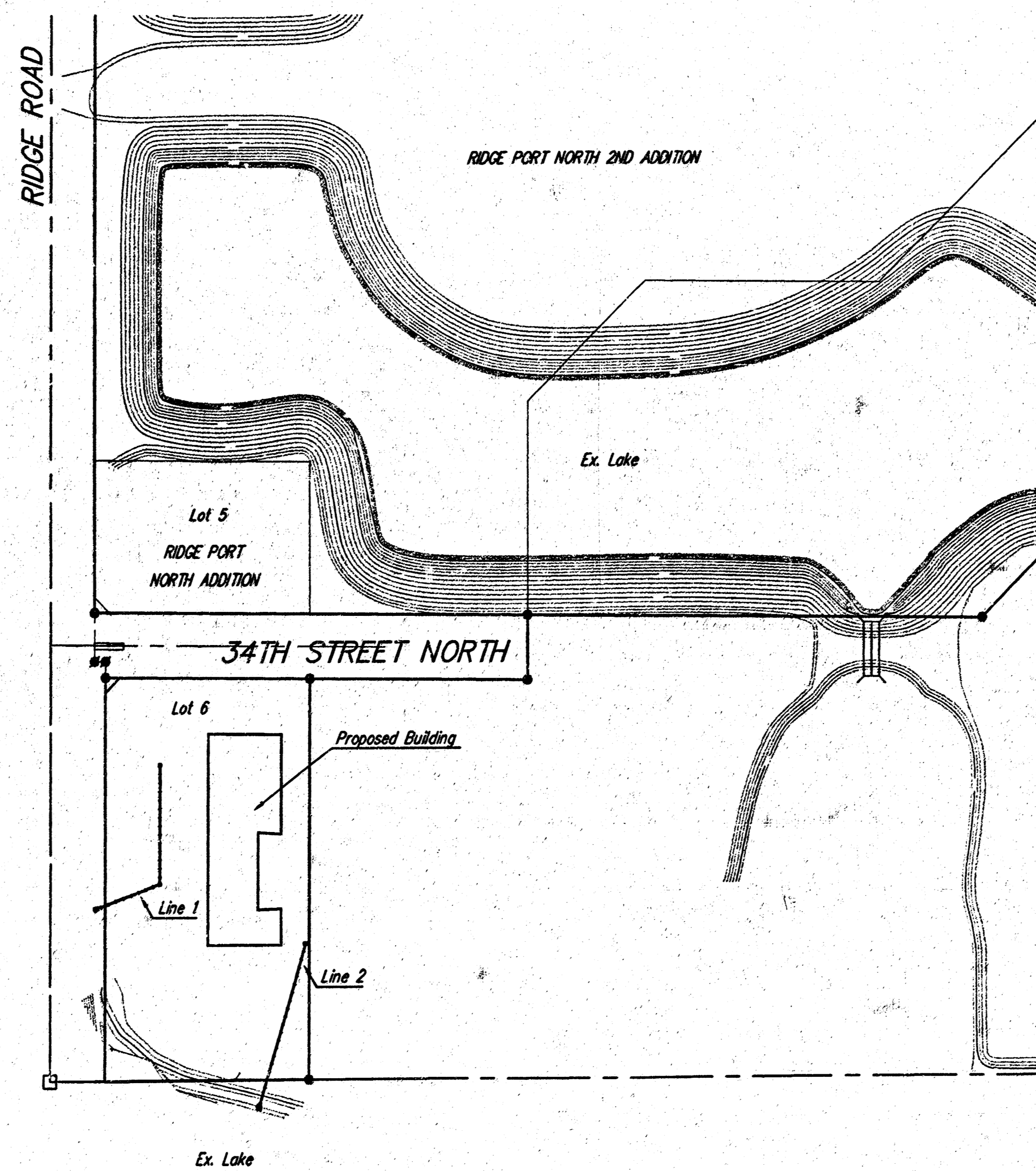
Cox Communications, Inc.	262-0661
K.P.L. Gas Service Company	383-8650
Kansas Gas & Electric Company	383-8600
Peoples Gas Company	942-8350
Southwestern Bell Telephone Company	1-571-2611
City of Wichita Water Dept.	268-4908
City of Wichita Traffic Engineering	269-4446
- Underground utility service lines and overhead utility pole lines are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Any work done without inspection will be required to be uncovered for inspection.
- All areas disturbed by construction shall be seeded and fertilized as follows:
 SEED—
 8 lbs. per 1000 s.f. of K-31 Fescue.
 FERTILIZER—
 12-24-12 ratio - 850 lbs./ac.
 MULCH—
 2 tons of Prairie Hay or Bromegrass Hay per Acre—
 "patted" with forks or punched into soil to reduce loss due to wind.
- This project is subject to a current SWPP Plan. Contractor shall comply with any unusual requirements as necessary for site to be in compliance during construction.

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Storm Sewers URH 12/21/00

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



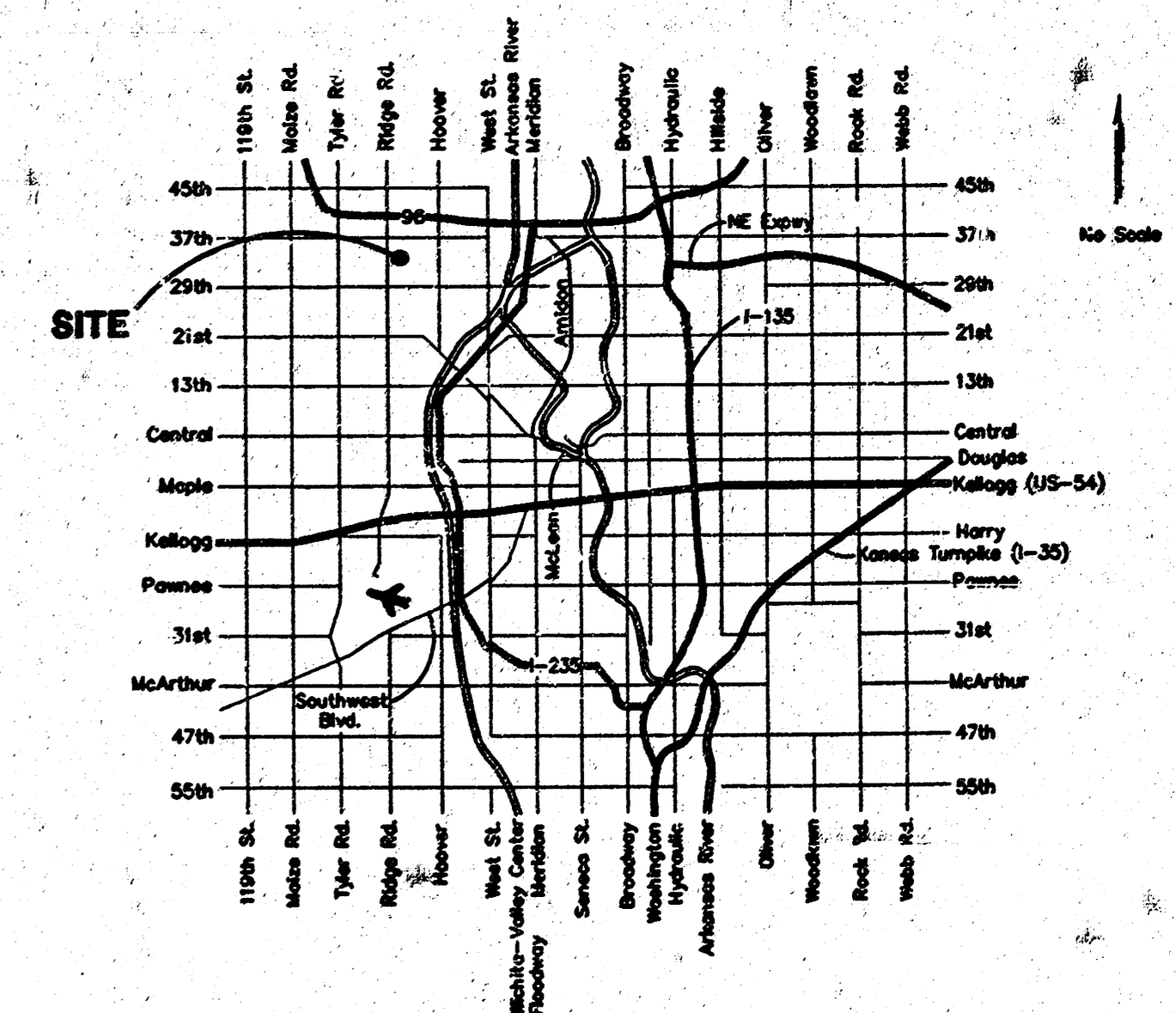
BENCHMARKS:

CITY DISC - SW COR. RIDGE RD. & 29TH ST. NO.,
80.8' S. & 63.7' W. OF E. BOTH.
ELEV. = 139.15 CITY DATUM (1326.55 M.S.L.)

INDEX:

Title Sheet	1
Plan/Profile	2-3
Drop Inlet Detail	4
Copy of Plot	5

BOOKED
4-23-01
MC6
D-507



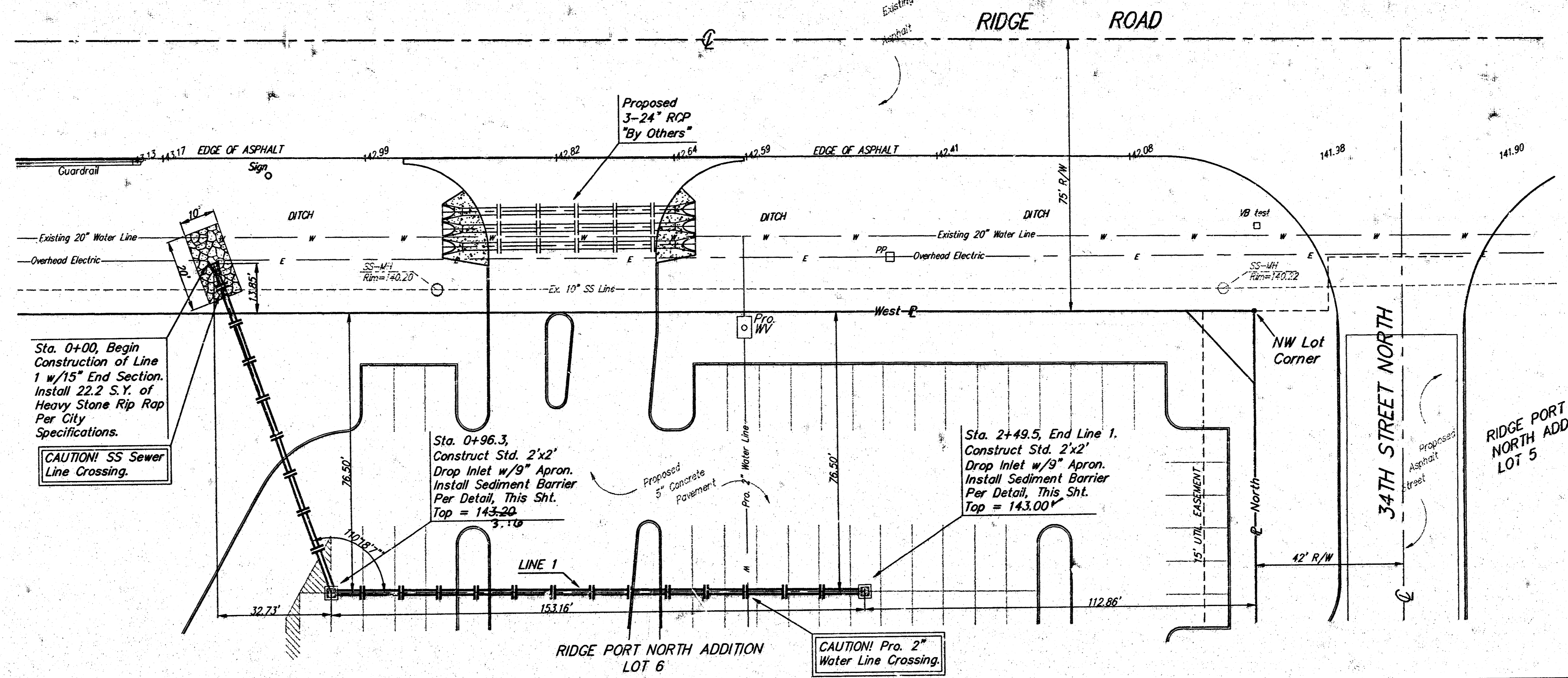
Vicinity Map
As Built 2/01 KK



BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-282-7271 • 318 ELLIS • WICHITA, KANSAS 67211
F:\ENG\HEARTH\HOME\SWSCOV.DWG

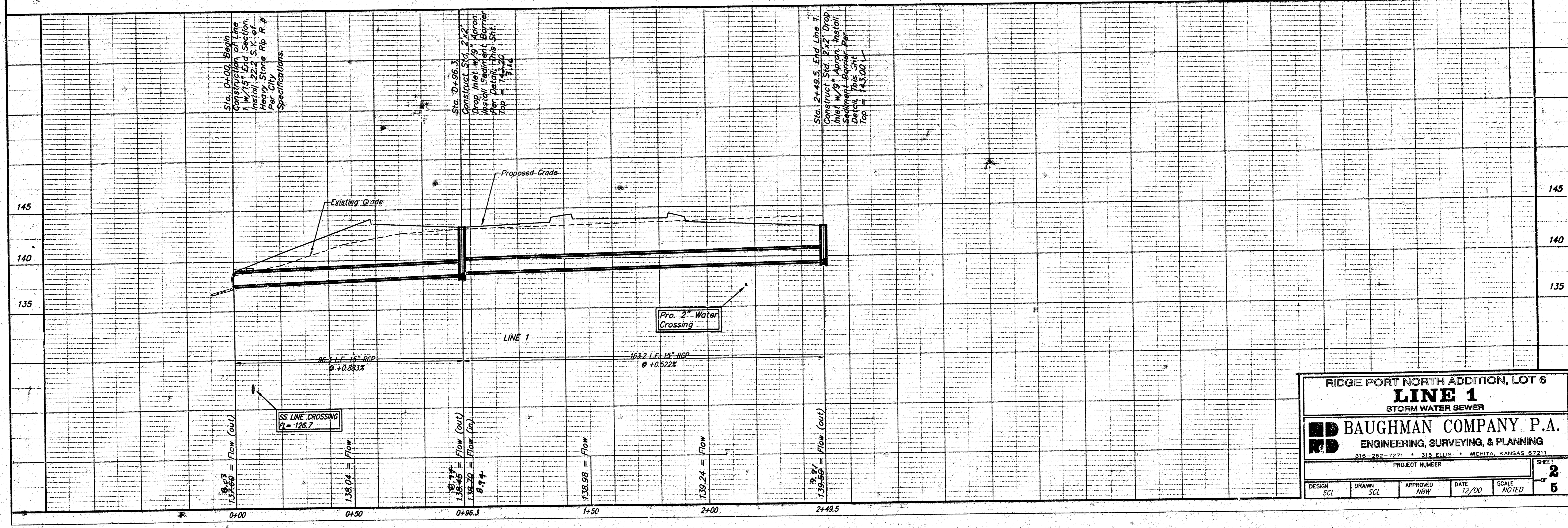
BENCHMARK:
 CITY DISC - SW Corner Ridge Road
 & 29th Street North, 80.8' S. &
 63.7' W. of Both Centerlines.
 Elev.=139.15 City Datum

SCALE:
 1" = 20' HORIZONTAL
 1" = 5' VERTICAL
 * = IRON



INLET PROTECTION
 Storm Drain with Gravel Apron

NOTES:
 Frequent maintenance is required to minimize short-circuiting and to remove sediment deposits and buildup.
 Wrap filter fabric around all CMI block and backfill with 2"-3" gravel rock to allow sediment deposits.
 DO NOT cover inlet or grate with filter fabric.



RIDGE PORT NORTH ADDITION, LOT 6
LINE 1
 STORM WATER SEWER

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 316-252-7271 • 315 ELLIE • WICHITA, KANSAS 67211

PROJECT NUMBER: _____

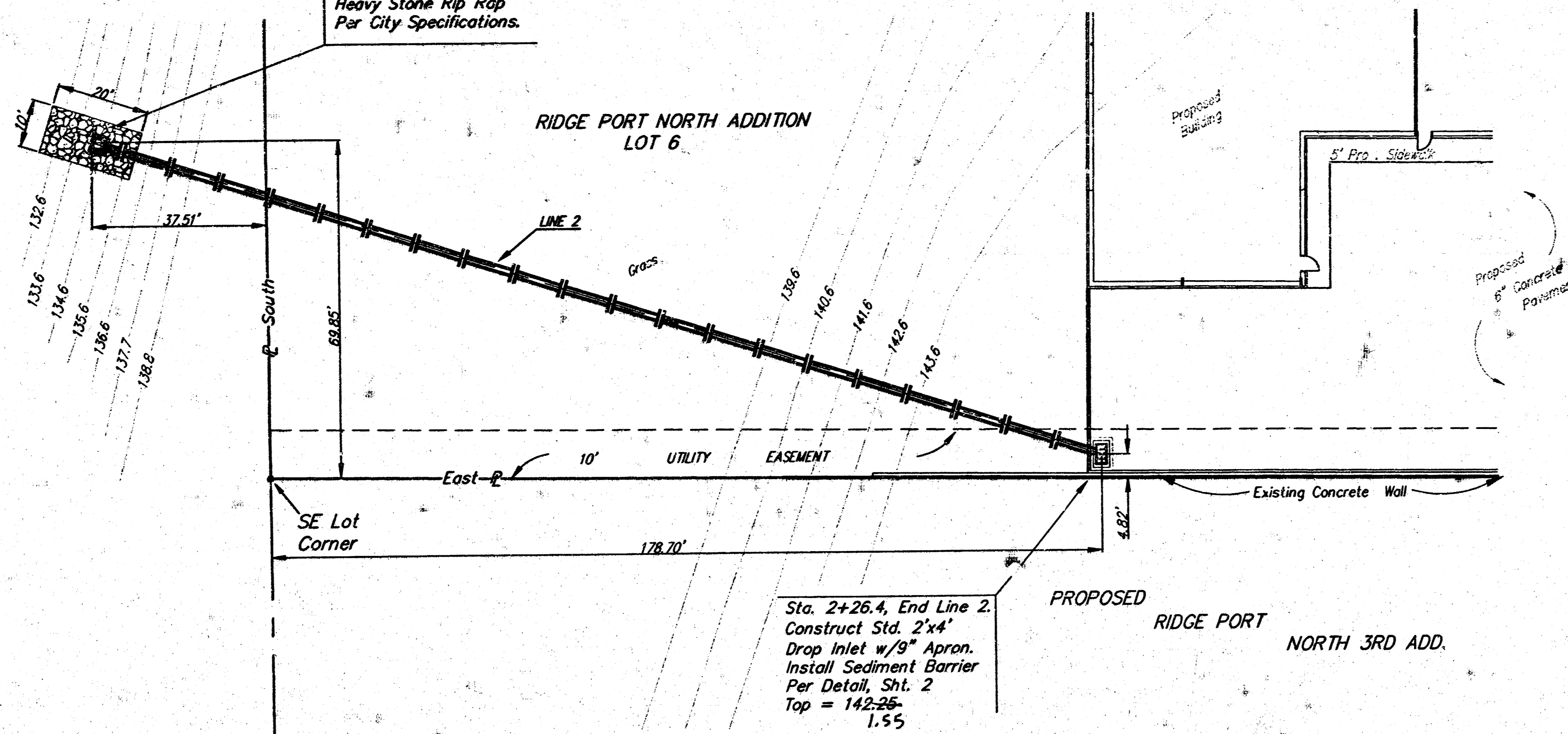
DESIGN: SCL	DRAWN: SCL	APPROVED: NBW	DATE: 12/00	SCALE: NOTED
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SHEET **2** OF **5**

BENCHMARK:
CITY DGC - SW Corner Ridge Road
& 29th Street North, 80.8' S. &
63.7' W. of Both Centerlines.
Elev. = 138.15 City Datum

Ex. Lake
W.S. = 132.6

Sta. 0+00, Begin
Construction of Line 2
w/15" Head Wall.
Install 22.2 S.Y. of
Heavy Stone Rip Rap
Per City Specifications.



Sta. 2+26.4, End Line 2.
Construct Std. 2'x4'
Drop Inlet w/9" Apron.
Install Sediment Barrier
Per Detail, Sht. 2
Top = 142.28
1.55

HEADWALL FOR 15" RCP

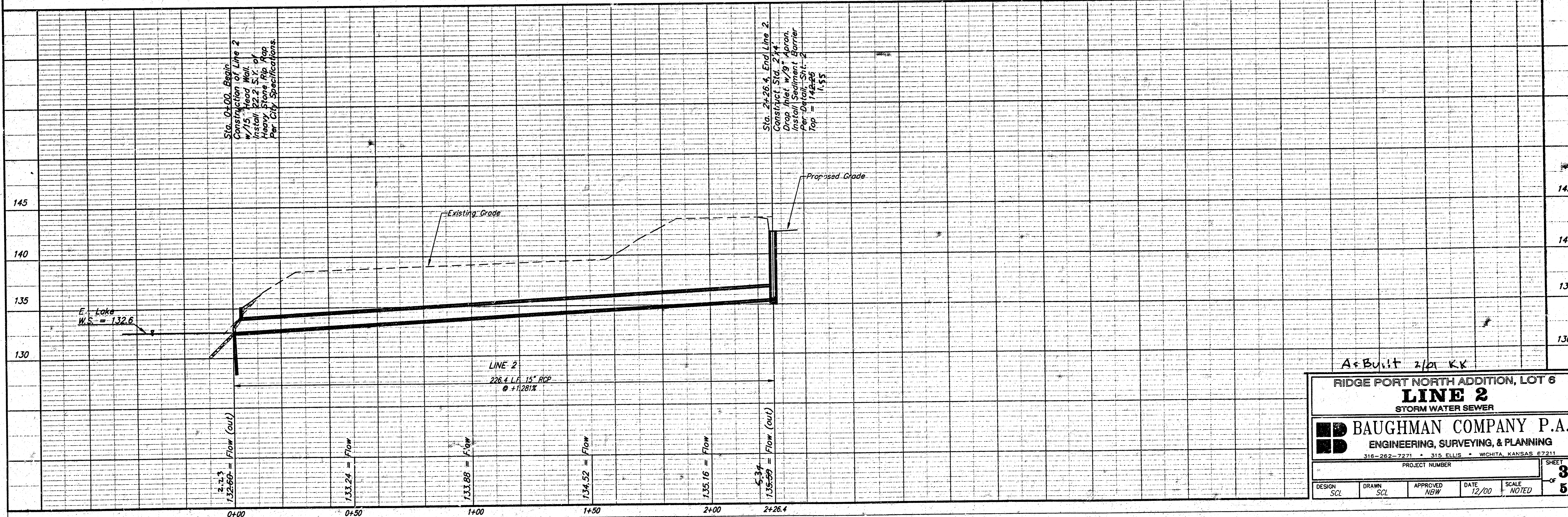
SCALE:
1" = 20' HORIZONTAL
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• = IRON

Bar	Shape	No.	Length	Weight
a1	□	1	76"	5.01
a2	□	1	57"	3.73
a3	□	1	52"	3.45
a4	□	1	49"	3.17
b	□	2	40"	5.34
c	□	4	56"	14.70
d	□	2	35"	2.28
e	□	1	28"	1.78
Total Rebar			39.46 Lbs.	
Concrete			0.67 C.Y.	

GENERAL NOTES

- ALL PIPES SHALL BE FLUSH CUT PRIOR TO BEING CAST INTO CONCRETE HEADWALL.
- CONCRETE USED IN HEADWALL CONSTRUCTION SHALL BE SAME AS PER CITY STANDARD PAVING MIX EXCEPT THAT IT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- ALL EXPOSED EDGES SHALL BE BEVELED 1/2".
- REINFORCING STEEL SHALL COMPLY TO A.S.T.M. DESIGNATION A615 GRADE 60. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BAR UNLESS OTHERWISE NOTED.
- THE "REIN. CONC. HEADWALL" SHALL BE PAID FOR AT THE UNIT PRICE BID PER EACH IN PLACE WHICH SHALL INCLUDE ALL LABOR, MATERIALS, EXCAVATION, CONCRETE, REINFORCING STEEL AND ALL OTHER INCIDENTAL ITEMS NECESSARY TO COMPLETE THE WORK. MATERIAL QUANTITIES SHOWN ARE FOR INFORMATION ONLY.

A Deduction in Concrete Quantities Has Been Made for Pipe Openings Through the Headwall
* Field Bend or Cut Reinforcing as Required for Clearance.
All Concrete Reinforcement to be #4 Rebar
All Rebar to Have Min. of 1 1/2" Conc. Cover



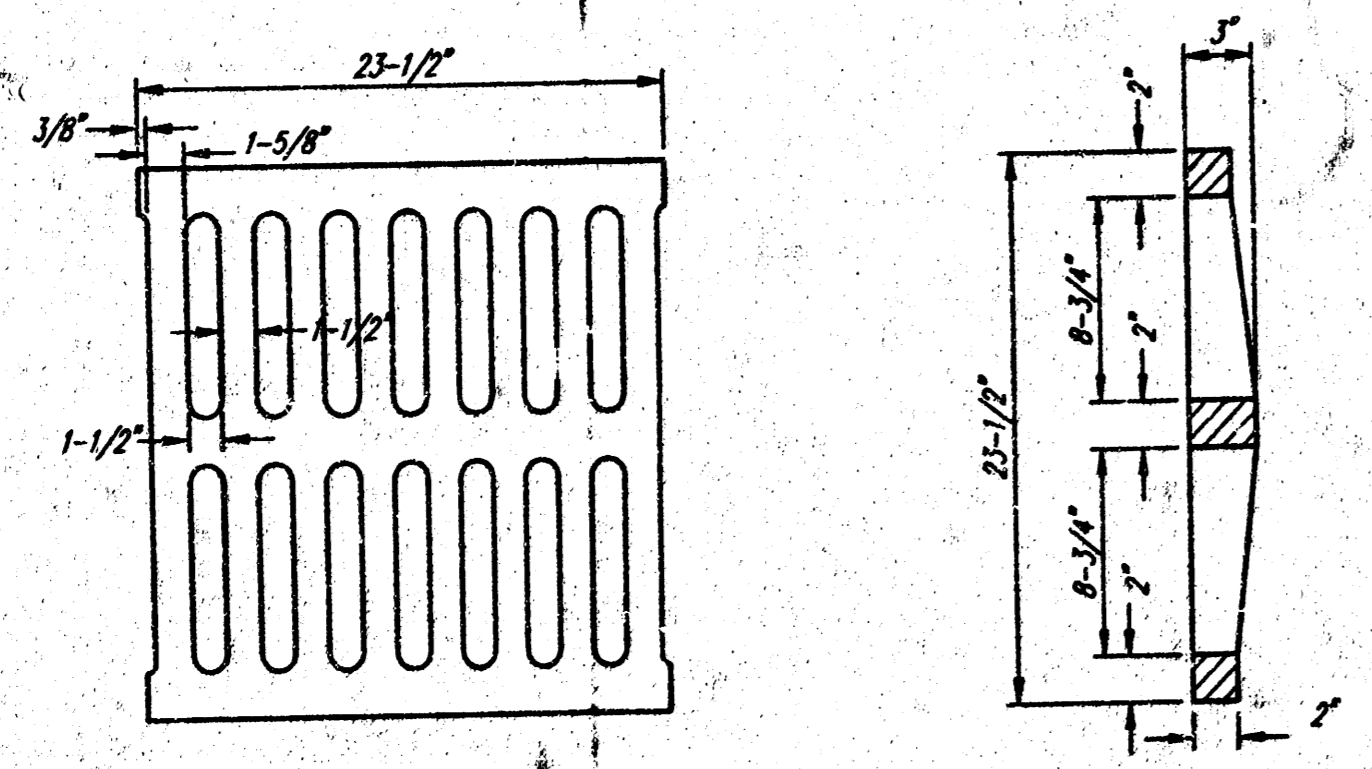
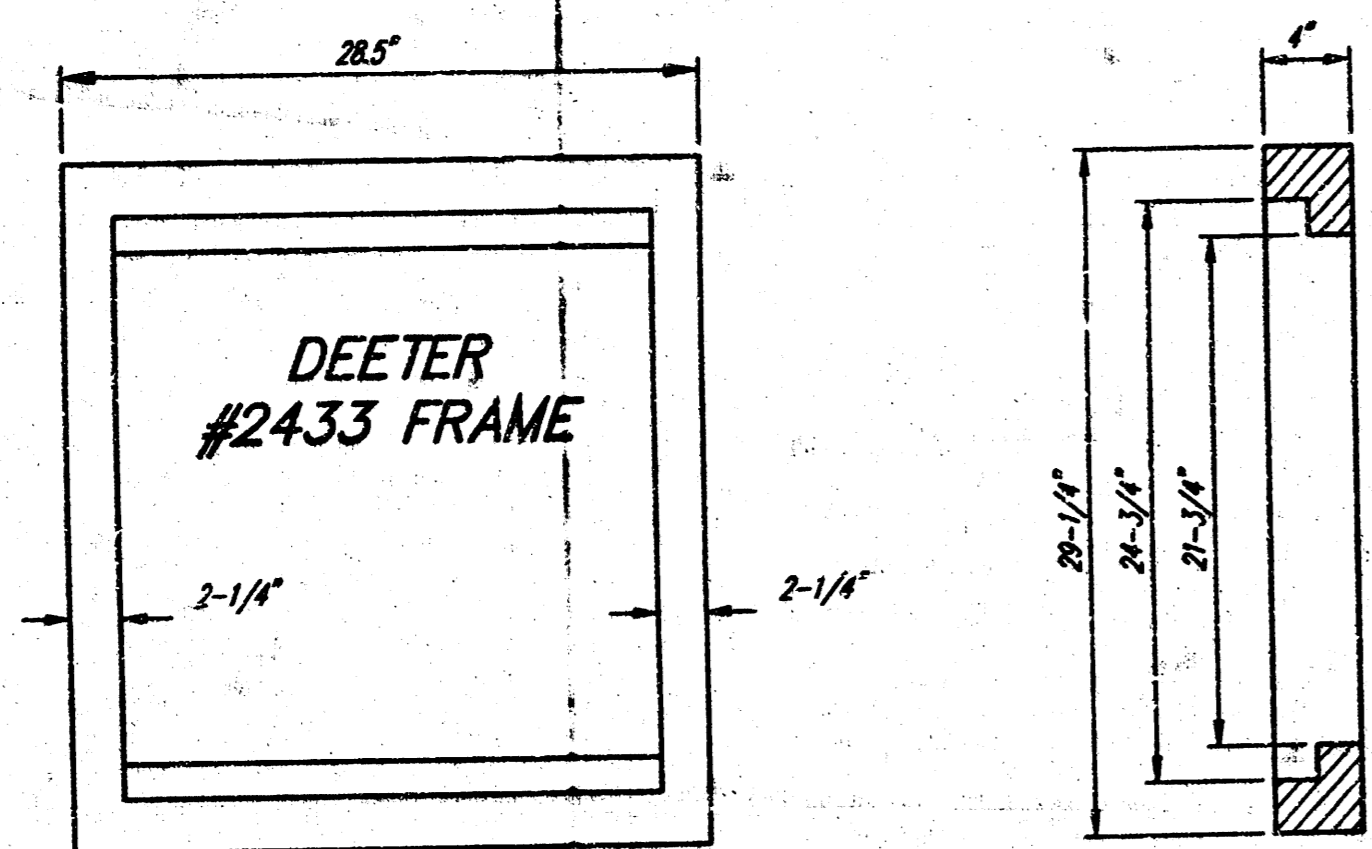
A+Built 2/21 KK

RIDGE PORT NORTH ADDITION, LOT 6
LINE 2
STORM WATER SEWER

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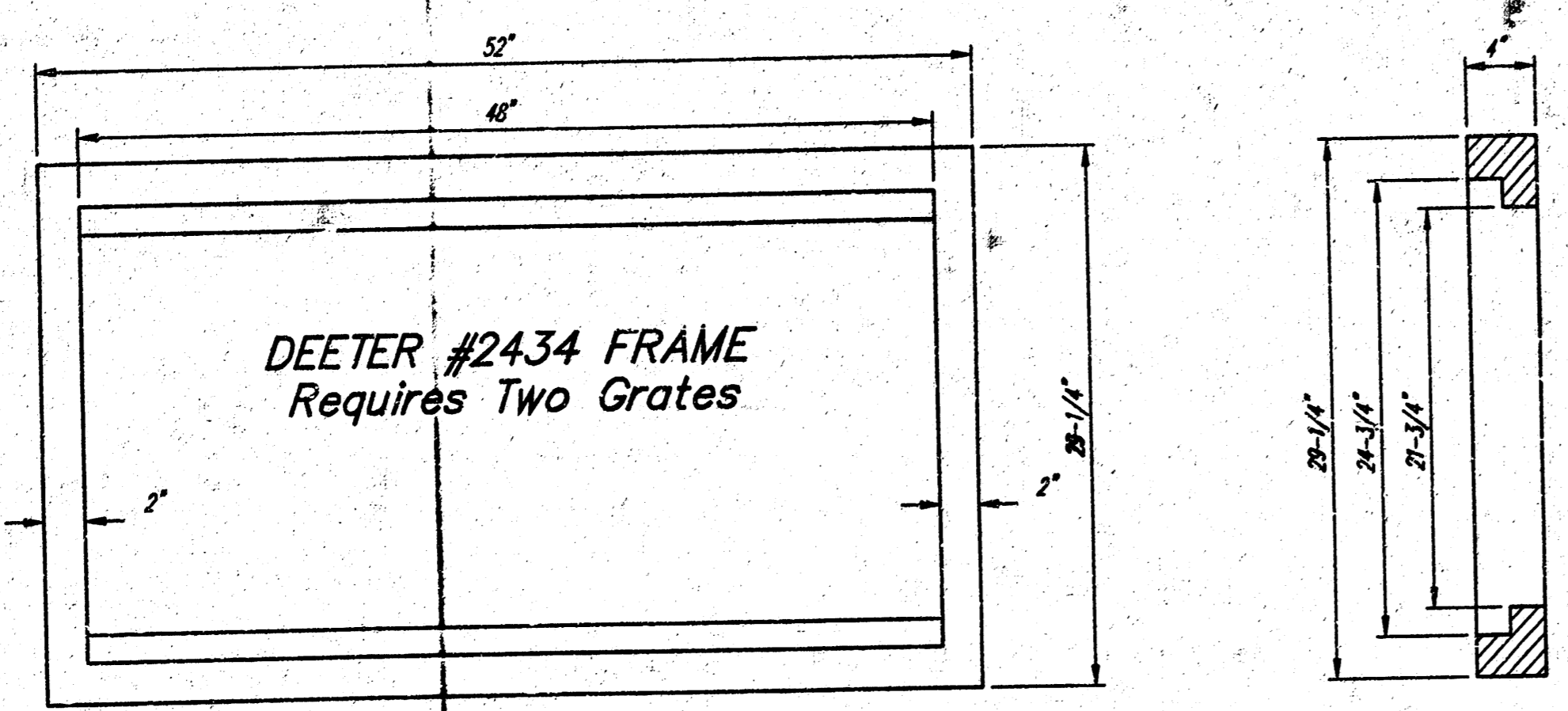
PROJECT NUMBER: _____ SHEET **3** OF **5**

DESIGN: SCL DRAWN: SCL APPROVED: NGW DATE: 12/00 SCALE: NOTED

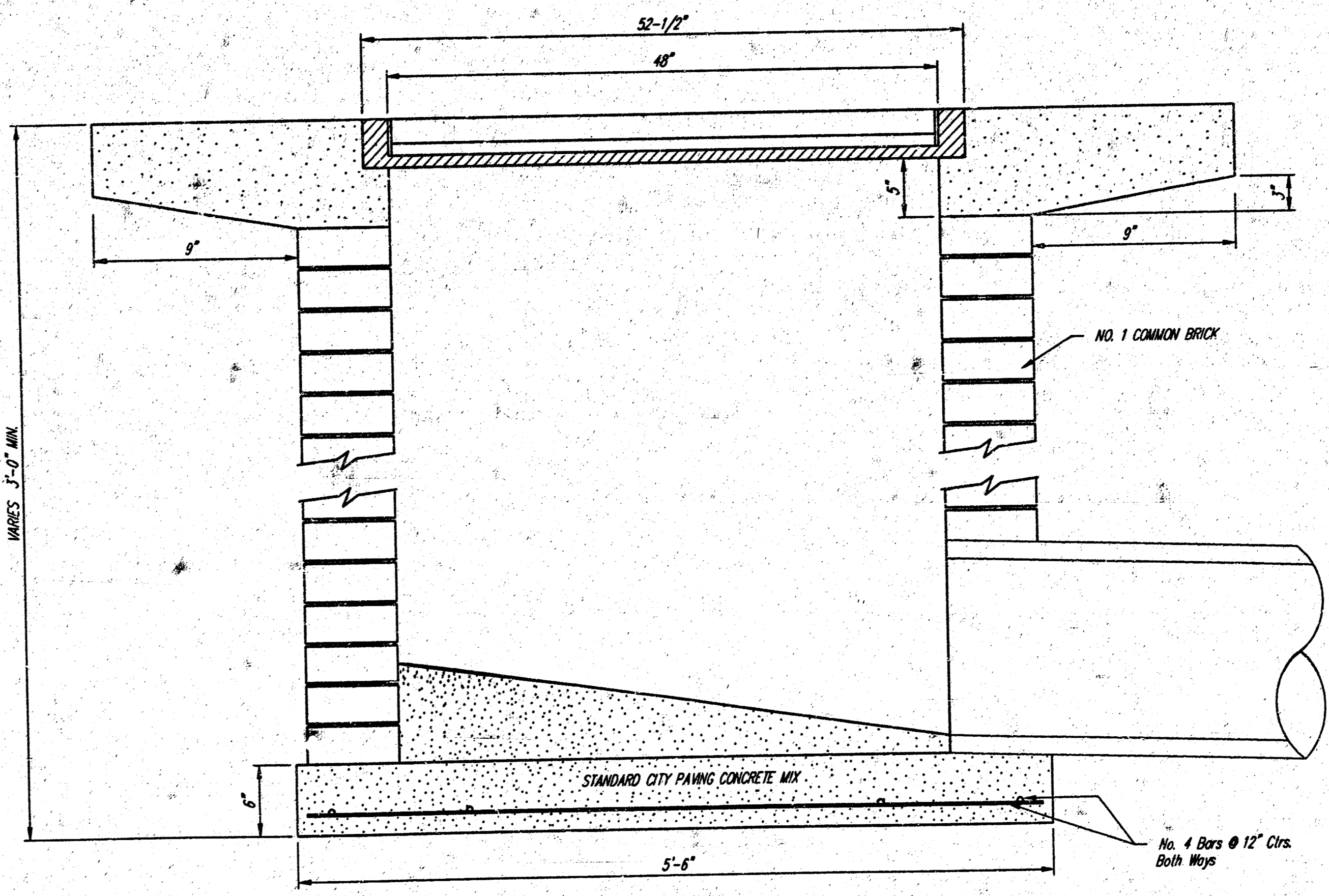
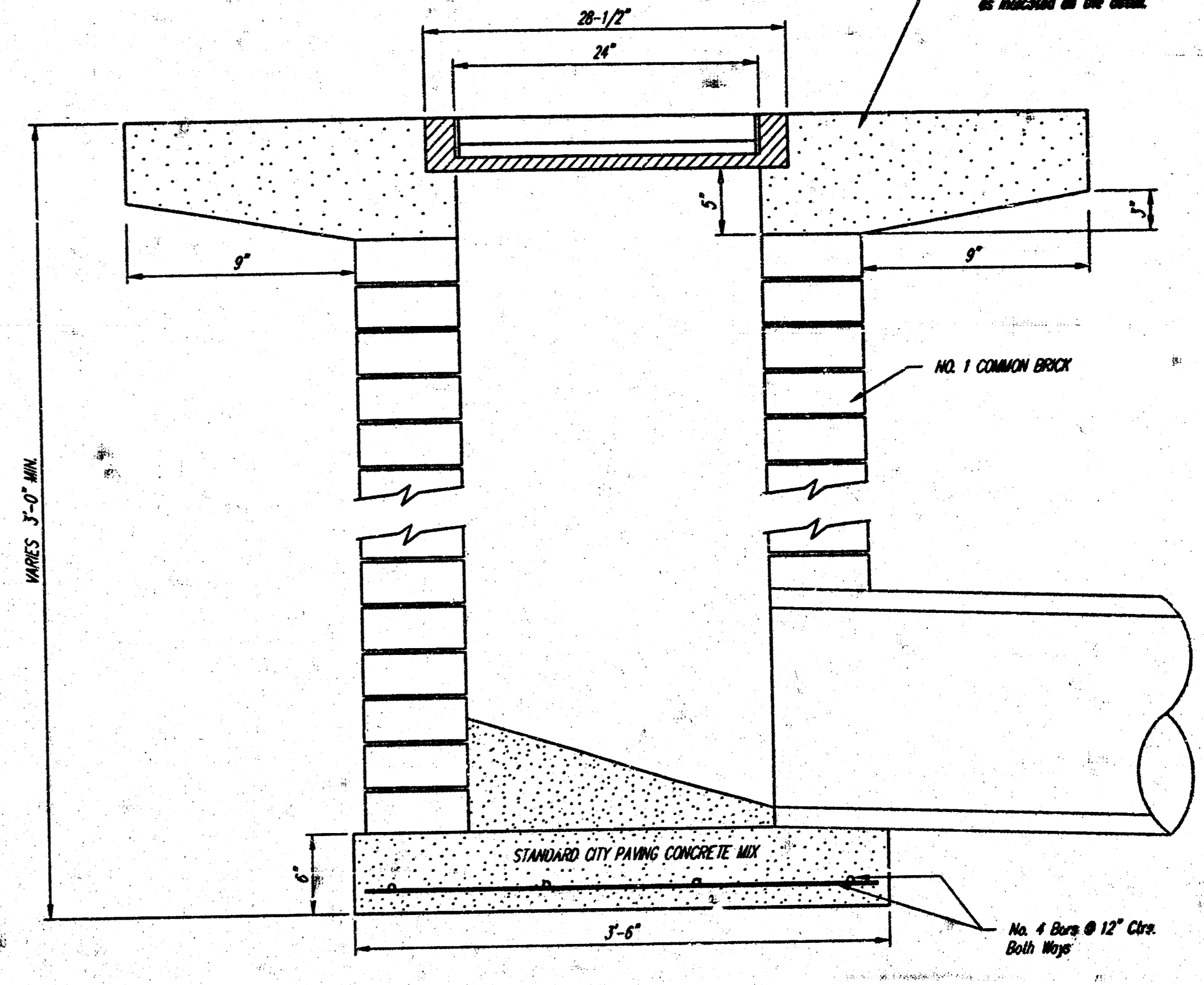
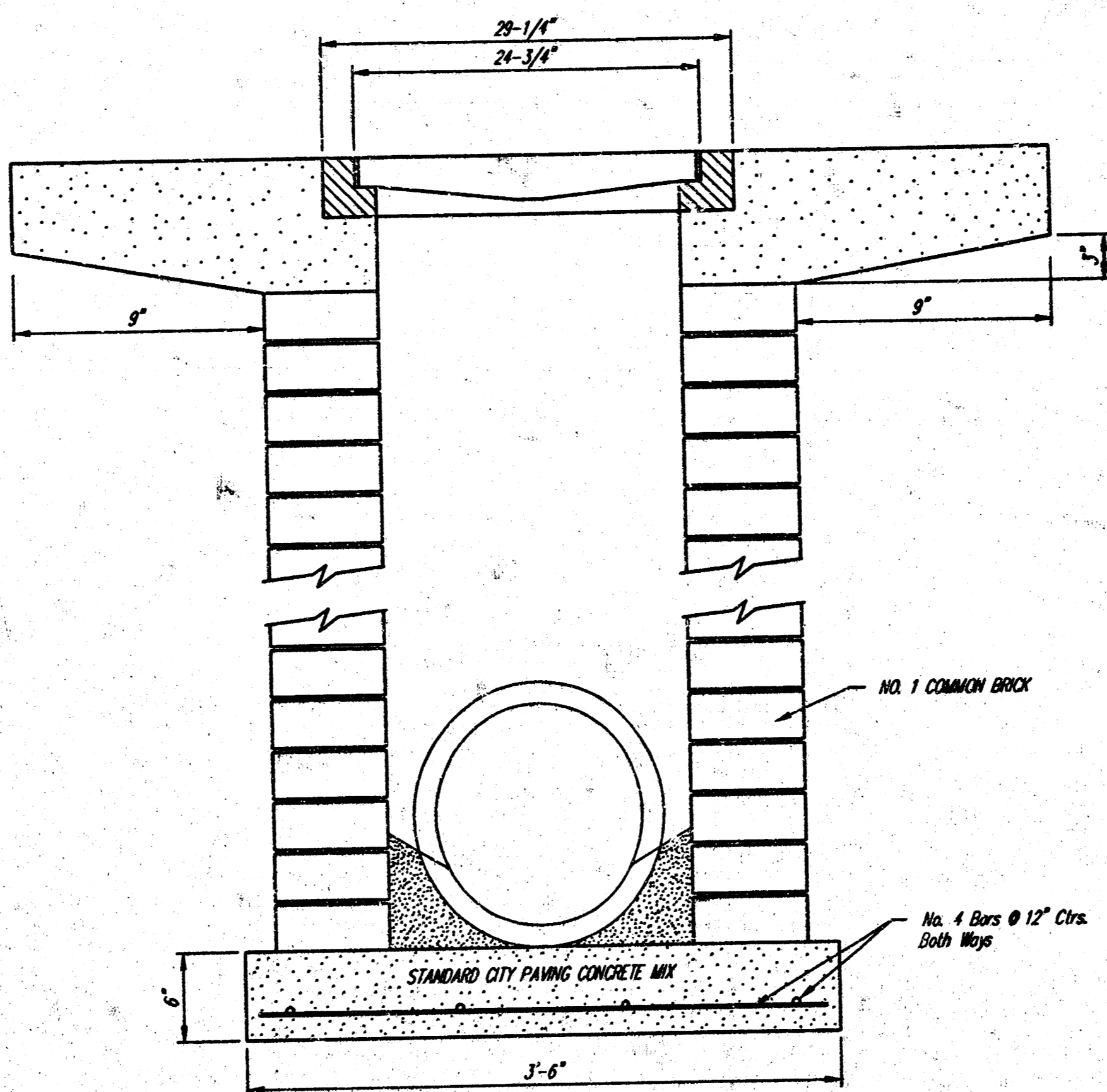


DEETER #2433 GRATE
24" x 24" Frame and Grate Detail

NOTE: Grates shall be imprinted on the top surface with "CITY OF WICHITA" using letters at least 1" in height. Other marking methods may be approved by the engineer.



Double 24" x 24" Frame Detail



CITY OF WICHITA
STANDARD DROP INLET
RIDGE PORTH NORTH ADDITION, LOT 6

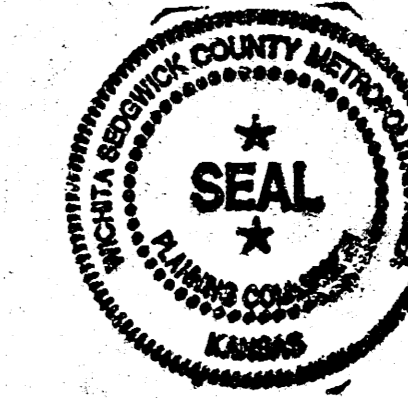
BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
318-262-2271 • 318 ELLIS • WICHITA, KANSAS 67211

DESIGN STAFF	DRAWN STAFF	APPROVED	DATE 12/00	SCALE NONE	SHEET 4 OF 5
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RIDGE PORT NORTH ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

This plat of "RIDGE PORT NORTH ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.
 Dated this 14th day of January, 1999.
 Wichita-Sedgwick County Metropolitan Area Planning Commission



William M. Johnson, Chairman
 William M. Johnson
Marvin S. Krout, Secretary
 Marvin S. Krout

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 25th day of March, 1999.



Bob Knight, Mayor
 Bob Knight
Pat Burnett, City Clerk
 Pat Burnett

Entered on transfer record this 7th day of June, 1999.



James Alford, County Clerk
 James Alford

This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 3rd day of June, 1999, at 1:50 o'clock P.M. and is duly recorded.

Bill Meek, Register of Deeds
 Bill Meek
Linda Kizzick, Deputy
 Linda Kizzick

We the undersigned, holders of a mortgage on the above described property, do hereby consent to this plat of "RIDGE PORT NORTH ADDITION", Wichita, Sedgwick County, Kansas.

Gary D. Schmitt, S. V.P.
 Gary D. Schmitt
Gary D. Schmitt, S. V.P.
 Gary D. Schmitt

The foregoing instrument acknowledged before me, this 3rd day of June, 1999, by Gary D. Schmitt, S. V.P. of the bank, on behalf of the bank.

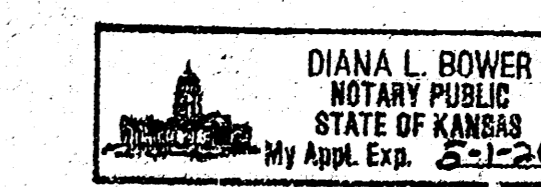
Rhonda M. von Mosch, Notary Public
 Rhonda M. von Mosch
 My App't. Exp. 10-2-2001

The foregoing instrument acknowledged before me, this 31st day of March, 1999, by Kevin M. Mullen, Manager of R & R Realty, LLC, on behalf of the company.

Judith M. Terhune, Notary Public
 Judith M. Terhune
 My App't. Exp. 11-7-2001

The foregoing instrument acknowledged before me, this 31st day of March, 1999, by David M. Mohr, President of Via Christi Property Services, Inc., on behalf of the corporation.

Diana L. Bower, Notary Public
 Diana L. Bower
 My App't. Exp. 5-1-2001

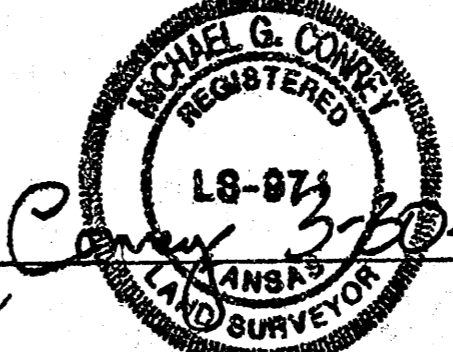


Diana L. Bower, Notary Public
 Diana L. Bower
 My App't. Exp. 5-1-2001

18 08 05 00

State of Kansas) SS
 Sedgwick County) We, Baughman Company, P.A. Surveyors in aforesaid County and State do hereby certify that we have surveyed and platted "RIDGE PORT NORTH ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows: A tract of land in the NW 1/4 of Sec. 34, Twp. 26-S R-1-W of the 6th P.M., Sedgwick County, Kansas, described as follows: Beginning at the NW corner of said NW 1/4; thence N90°00'00"E along the north line of said NW 1/4, 1904.00 feet; thence S00°26'22"W parallel with the west line of said NW 1/4, 1431.92 feet; thence S45°26'22"W, 873.42 feet; thence N89°33'38"W, 626.34 feet to a point 680 feet normally distant east of the west line of said NW 1/4; thence S00°26'22"W parallel with the west line of said NW 1/4, 84.00 feet; thence N89°33'38"W, 300.00 feet; thence S00°26'22"W parallel with the west line of said NW 1/4, 520.05 feet to a point on the south line of said NW 1/4; thence S89°46'23"W along the south line of said NW 1/4, 360.02 feet to the SW corner of said NW 1/4; thence N00°26'22"E along the west line of said NW 1/4, 2643.15 feet to the point of beginning, all being subject to road rights-of-way of record.

Existing public easements and dedications being vacated by virtue of K.S.A. 12-512(b).
 Baughman Company, P.A.



Michael G. Conroy, Surveyor
 Michael G. Conroy

Know all men by these presents that we, the undersigned, have caused the land in the surveys certificate to be platted into Lots, Streets, and Reserves to be known as "RIDGE PORT NORTH ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The wall easement is hereby granted as indicated for the construction and maintenance of a private screening wall and utility main lines and service lines shall be allowed to cross this easement. The streets are hereby dedicated to and for the use of the public. Reserves "A" and "C" are hereby reserved for landscaping, entry monuments, utilities, screening walls, and open space. Reserve "B" is hereby reserved for landscaping, open space, utilities, entry monuments, and streets. Reserve "D" is hereby reserved for drainage purposes, ponds, landscaping, open space, berms, gazebos, screening walls, and sidewalks. Reserve "E" is hereby reserved for floodway, drainage purposes, and open space, and no buildings shall be constructed or placed on or within said Reserve "E", nor shall any fill, change of grade, creation of channel, or any other work be carried on without the permission of the appropriate governing body. Reserves "A", "B", "C", "D", and "E" shall be owned and maintained by the lot owners association for the addition. All adutters rights of access to or from Ridge Road and to or from 37th Street North shall be as indicated on the face of the plat. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Ken-Win Farms, Inc.
Bruce K. Ott, President
 Bruce K. Ott

Joy W. Russell, Manager
 Joy W. Russell

Kevin M. Mullen, Manager
 Kevin M. Mullen

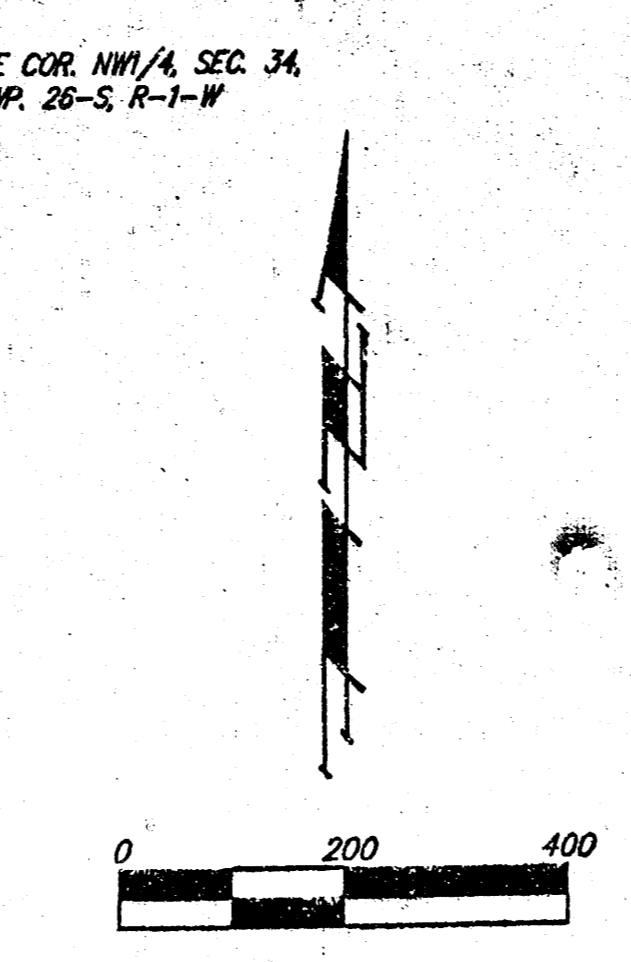
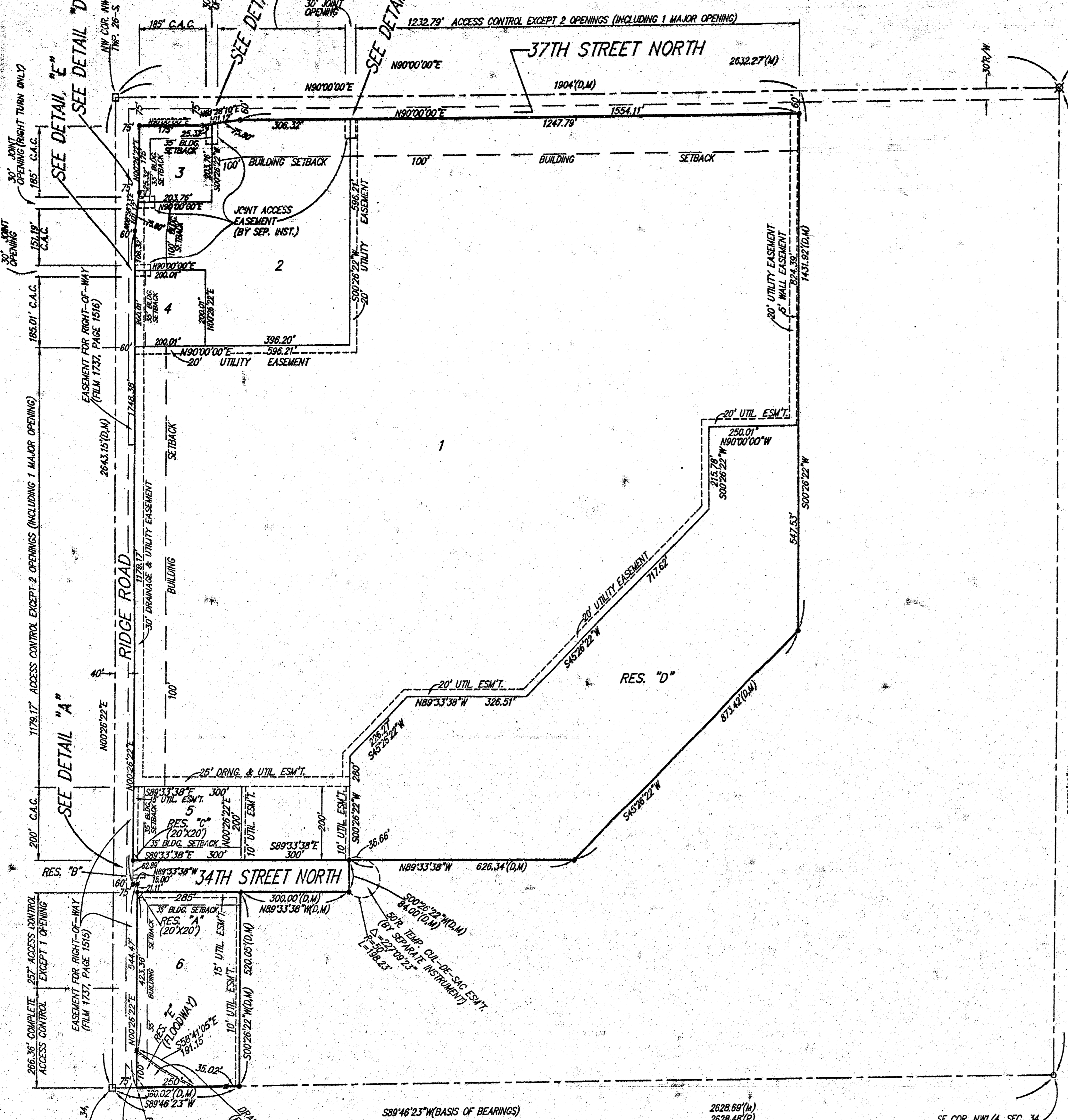
Via Christi Property Services, Inc.
David M. Mohr, President
 David M. Mohr

State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before me, this 31st day of March, 1999, by Bruce K. Ott, President of Ken-Win Farms Inc., on behalf of the corporation.

Diana L. Bower, Notary Public
 Diana L. Bower
 My App't. Exp. 5-1-2001

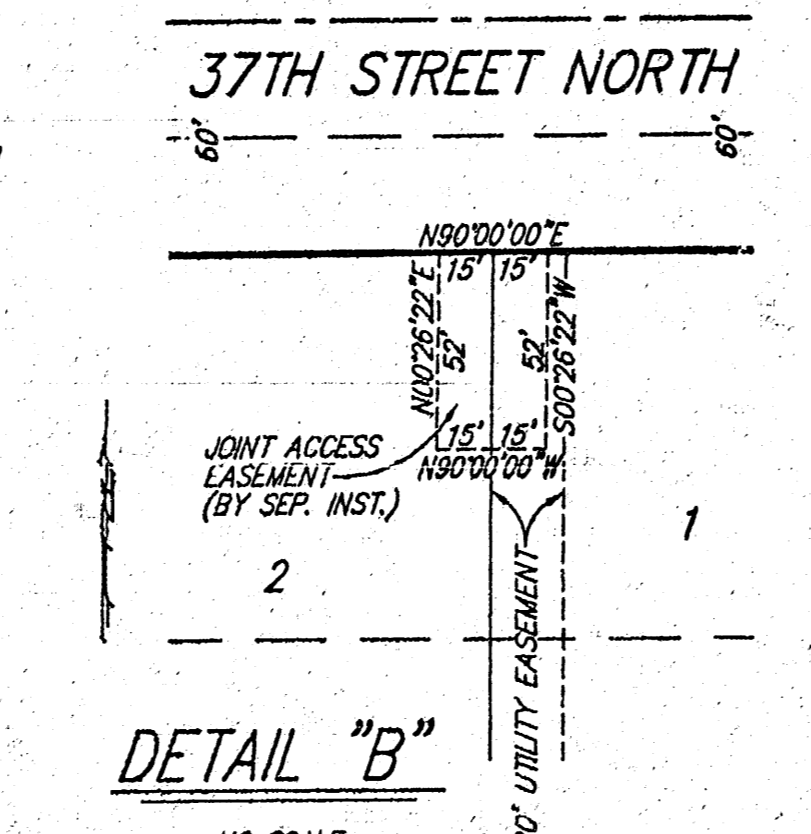
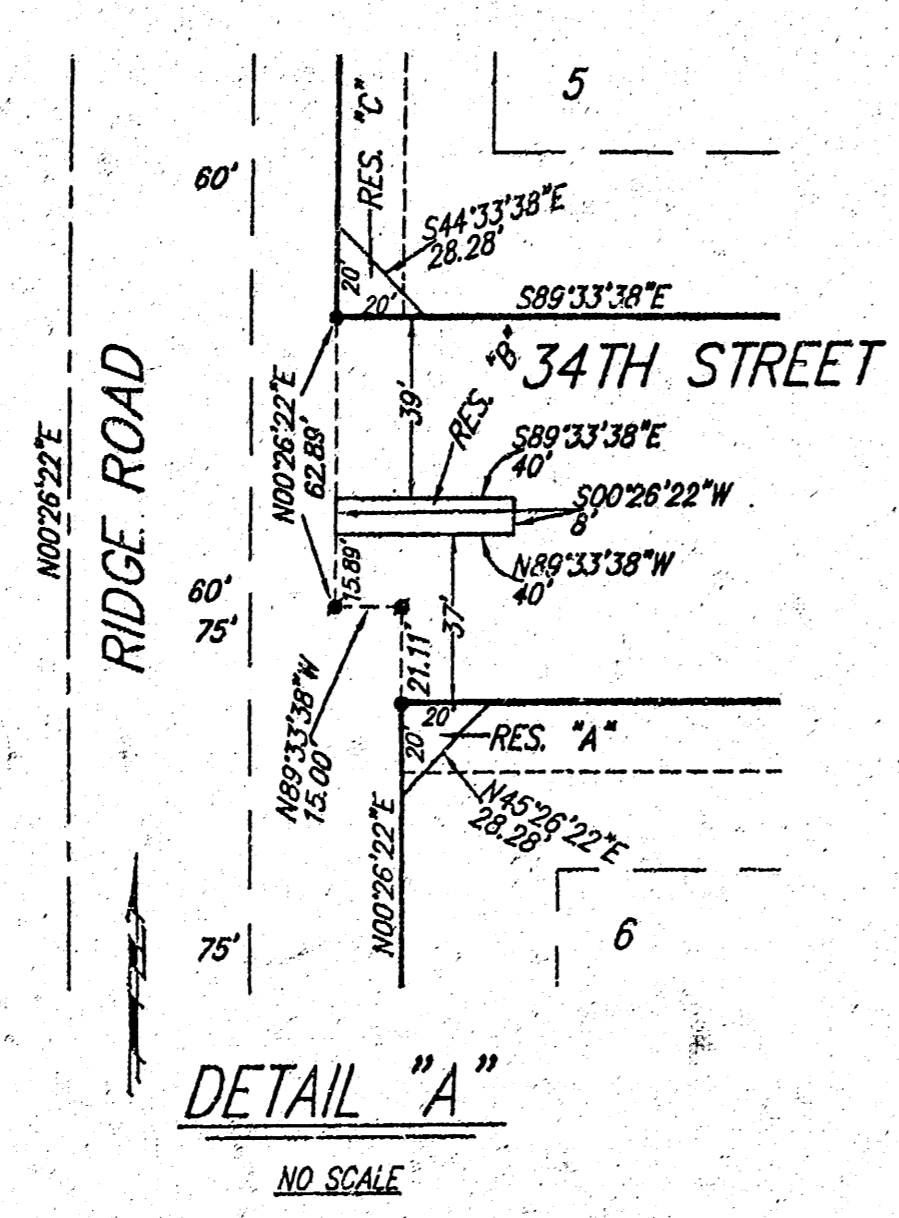
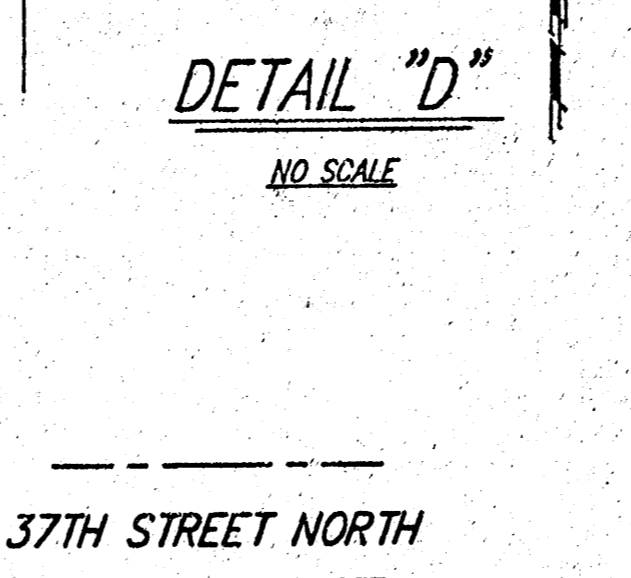
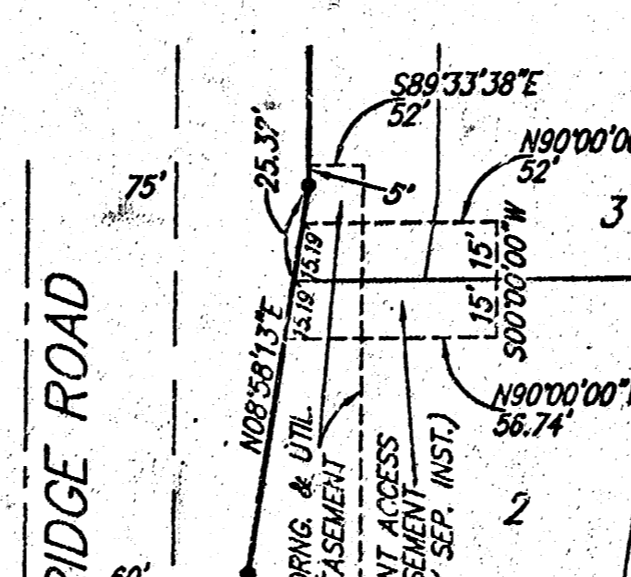
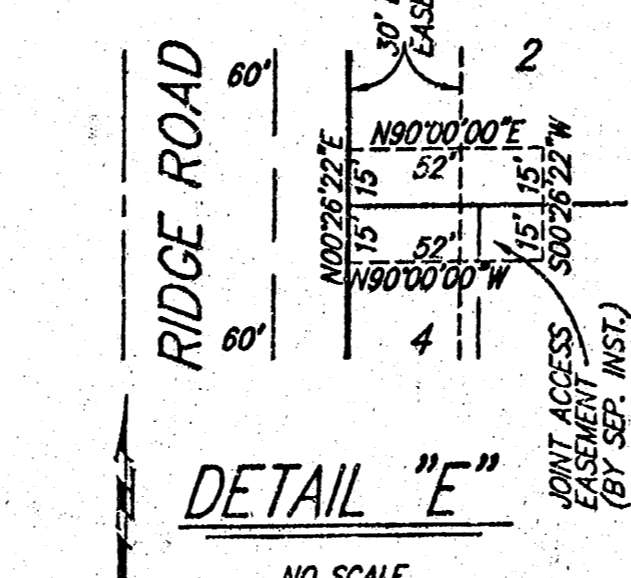
State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before me, this 31st day of March, 1999, by Jay W. Russell, Manager of R & R Realty, LLC, on behalf of the company.

Judith M. Terhune, Notary Public
 Judith M. Terhune
 My App't. Exp. 11-7-2001



(M) = MEASURED
 (D) = DESCRIBED
 (P) = PLATTED

NOTE: ADDITIONAL BUILDING SETBACK REQUIREMENTS PER COMMUNITY UNIT PLAN CP-237.



BLOCK	LOT	ELEVATION (CITY DATUM)
1	1	144.6
1	2,3,4	144.6
1	5	142.8
1	6	142.8

BENCHMARK: CITY DISC - SW COR. RIDGE RD. & 29TH ST. NO. 8417 S. & 63.7 N. OF E. BOTH. ELEV. = 138.15 CITY DATUM (1326.55 M.S.L.)

NOTE: NO BUILDING PERMITS ARE TO BE ISSUED FOR ANY LOTS WITHIN "RIDGE PORT NORTH ADDITION" UNLESS THE LOWEST FLOOR CAN BE CONSTRUCTED AT OR ABOVE THE BASE FLOOD ELEVATION OR UNLESS THE CITY OF WICHITA HAS RECEIVED A LETTER OF MAP REVISION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY WHICH WILL THEN ALLOW BUILDINGS TO BE CONSTRUCTED AT THE LOWEST OPENING AS SPECIFIED ABOVE.