

# STORM WATER SEWER PLANS FOR MEDITERRANEAN PLAZA COMMERCIAL

S.W.S. NO. 339

PROJECT NO.

468-76-245-81686-000-000-001

CITY OF WICHITA, KANSAS  
MICHAEL E. LINDEBAK, CITY ENGINEER  
MAY, 1988

### GENERAL NOTES

1. THE TOPS OF INLET AND MANHOLE AS NOTED ON THE PLANS MAY VARY SO AS TO MEET PROPOSED TOP OF CURB ELEVATIONS OR PAVEMENT ELEVATIONS. THE FIELD ENGINEER SHALL LOCATE INLETS AND MANHOLES WITH REFERENCE TO PROPOSED PAVING PLANS OF THE PERTINENT STREETS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR OR A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH STATE LAWS.
3. UNDERGROUND UTILITY SERVICE LINES AND OVERHEAD UTILITY POLE LINES ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT OF WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.

NOTE: NOTIFY THE FOLLOWING COMPANIES PRIOR TO ANY EXCAVATION:

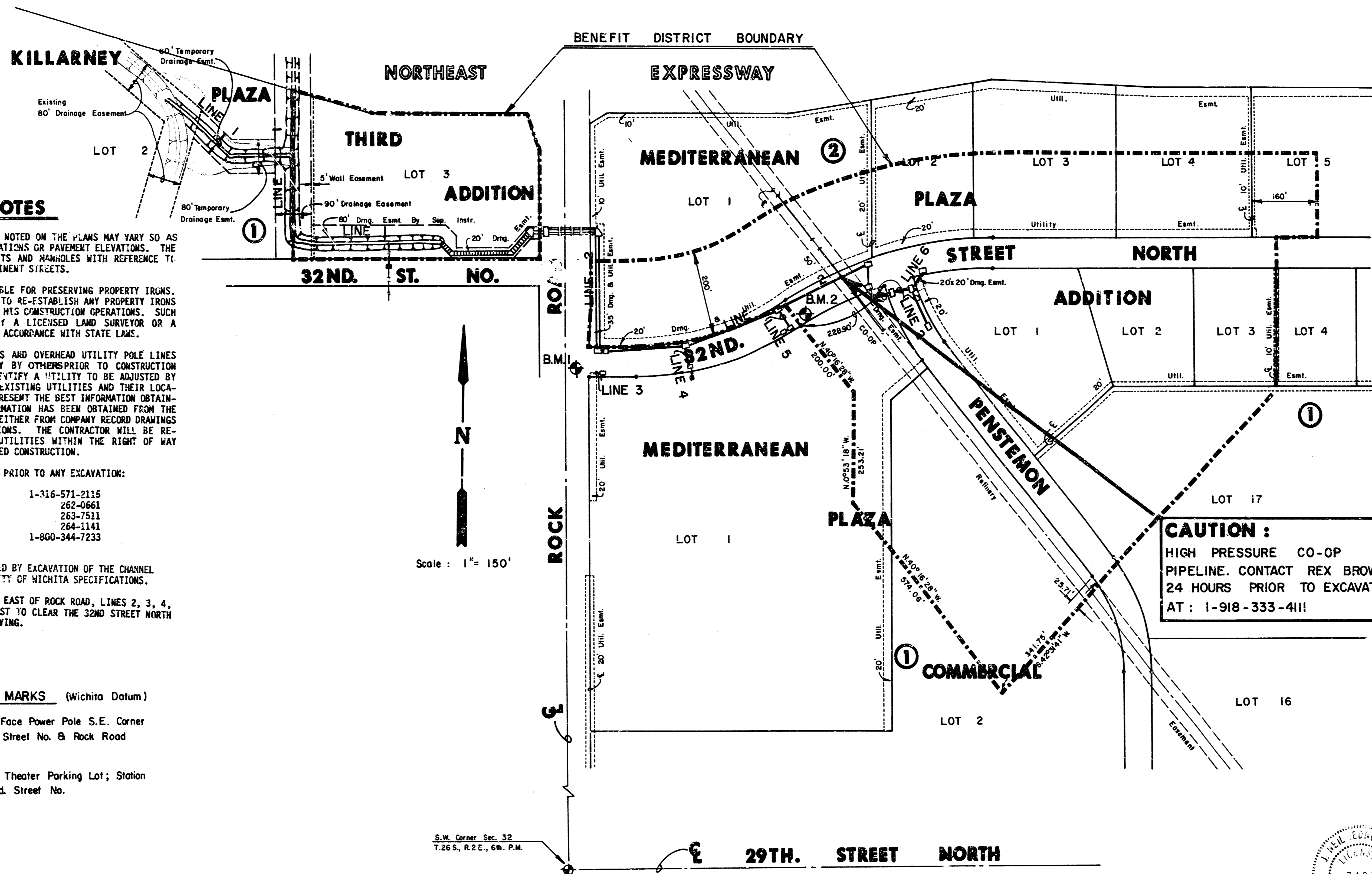
BELL TELEPHONE COMPANY	1-316-571-2115
CABLEVISION	262-0661
KPAL COMPANY	263-7511
KANSAS GAS & ELECTRIC	264-1141
KANSAS ONE-CALL	1-800-344-7233

4. THE CHANNEL AND ALL AREAS DISTURBED BY EXCAVATION OF THE CHANNEL SHALL BE SEEDED AND MULCHED PER CITY OF WICHITA SPECIFICATIONS.
5. THAT PORTION OF THIS PROJECT LYING EAST OF ROCK ROAD, LINES 2, 3, 4, 5 AND 6, SHALL BE CONSTRUCTED FIRST TO CLEAR THE 32ND STREET NORTH AND PENSTEMON RIGHTS OF WAY FOR PAVING.

### BENCH MARKS (Wichita Datum)

- B.M. 1 R.R. Spike W. Face Power Pole S.E. Corner  
Int. Of 32nd. Street No. & Rock Road  
Elev. = 208.86
- B.M. 2 " " Top Curb Theater Parking Lot; Station  
6+08.2 32nd. Street No.  
Elev. = 212.22

S.W. Corner Sec. 32  
T.26S., R.2E., 6th. P.M.



### INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2-3	PLAN & PROFILE LINE 1
4	PLAN & PROFILE LINE 2 & 3
5	PLAN & PROFILE LINE 2 & 4
6	PLAN & PROFILE LINE 2
7	PLAN & PROFILE LINE 5 & 6
8-9	CHANNEL CROSS SECTIONS
10	STORM WATER SEWER DETAILS
11	TYPE A&B STD. SHALLOW MANHOLE
12	STD. TYPE IA CURB INLET (6" x 10')
13	STD. TYPE IA CURB INLET (6" x 5')
14-16	FINAL PLAT

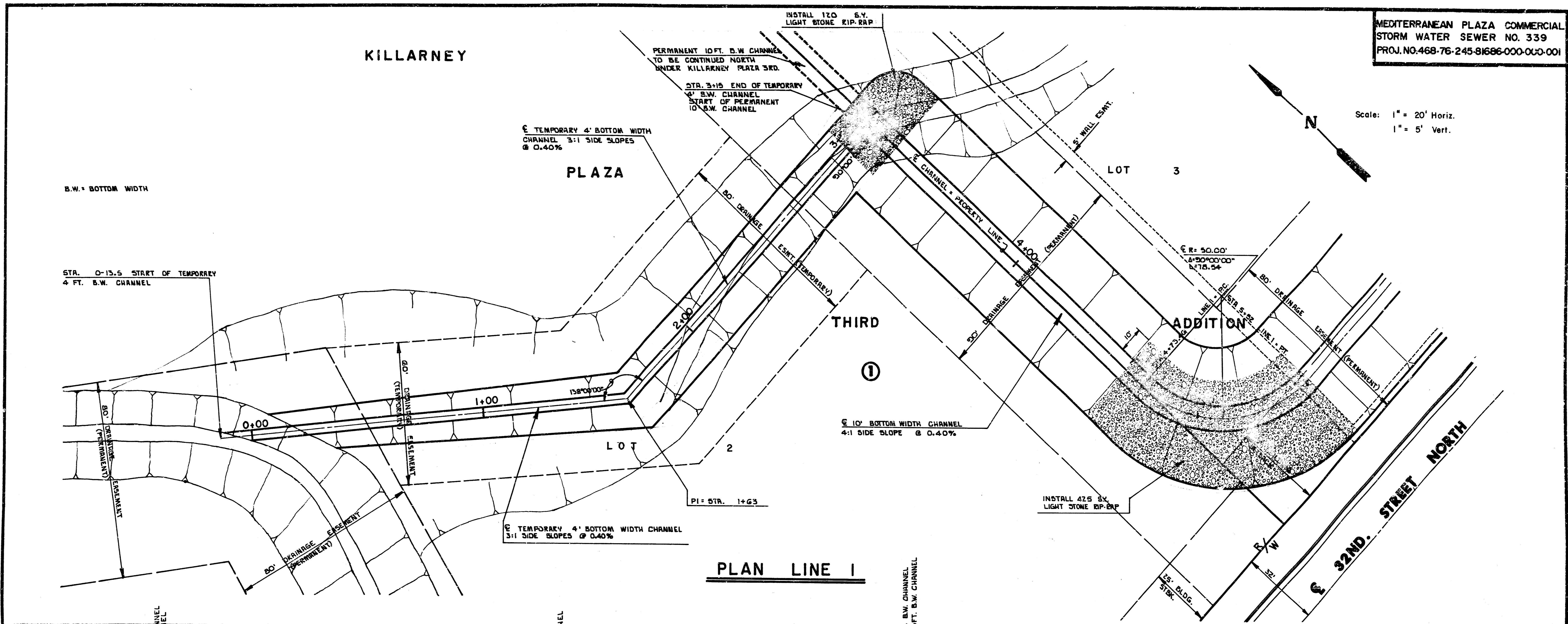
*Booked  
From  
PLAN  
918B  
MCG*

**CAUTION:**  
HIGH PRESSURE CO-OP  
PIPELINE. CONTACT REX BROWN  
24 HOURS PRIOR TO EXCAVATION  
AT: 1-918-333-4111

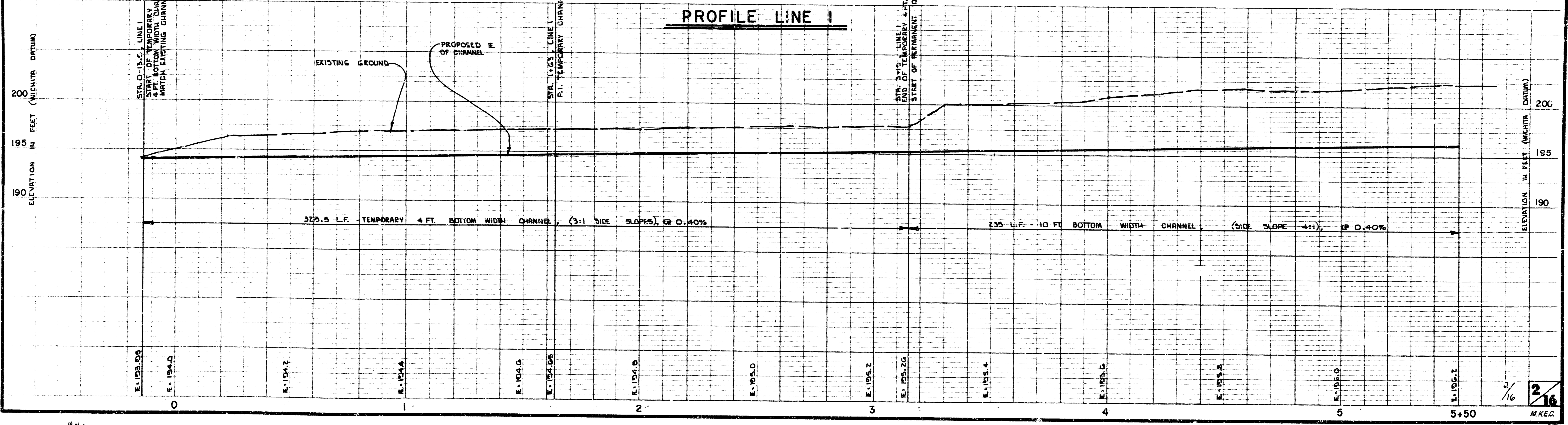


	<b>MEDITERRANEAN PLAZA COMMERCIAL STORM WATER SEWER PLANS</b>	Design J.L.B. Drawn by D.L.M./S.L.M. Checked by Date MAY 1988 No. 00
	MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226	Sheet 1 of 16

Scale: 1" = 20' Horiz.  
 1" = 5' Vert.



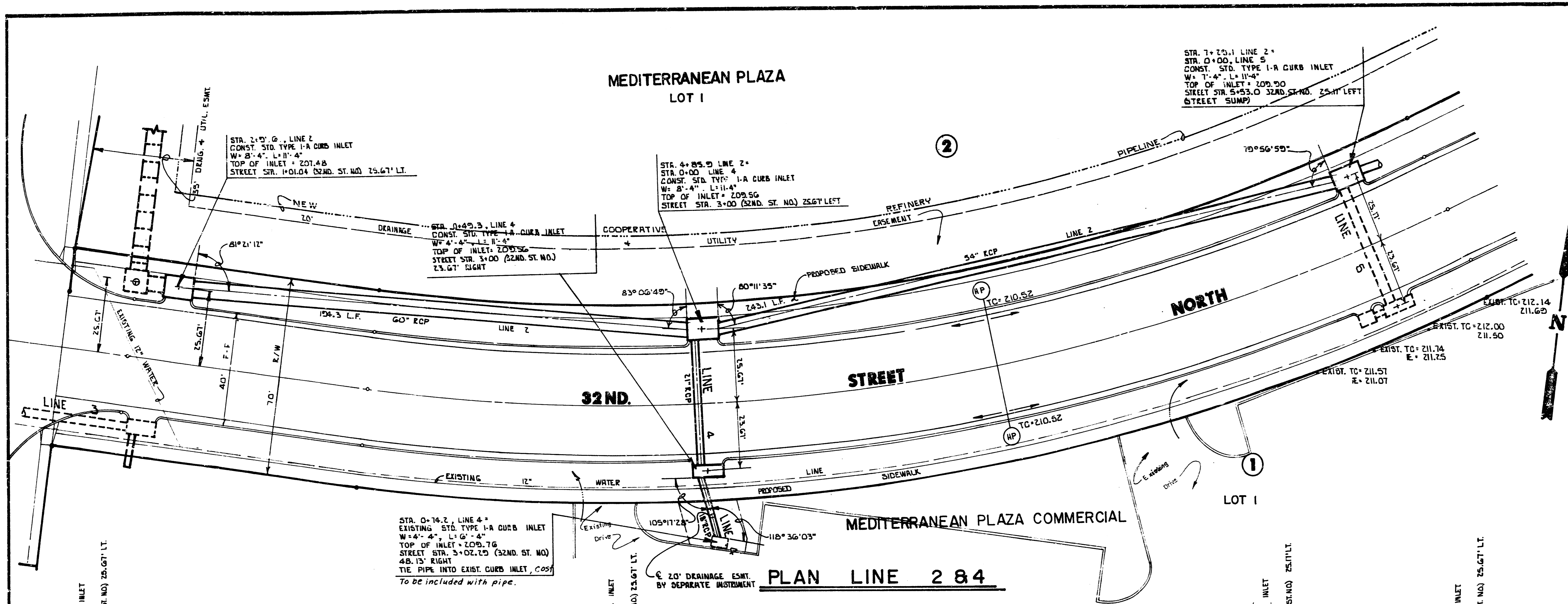
**PLAN LINE 1**



**PROFILE LINE 1**



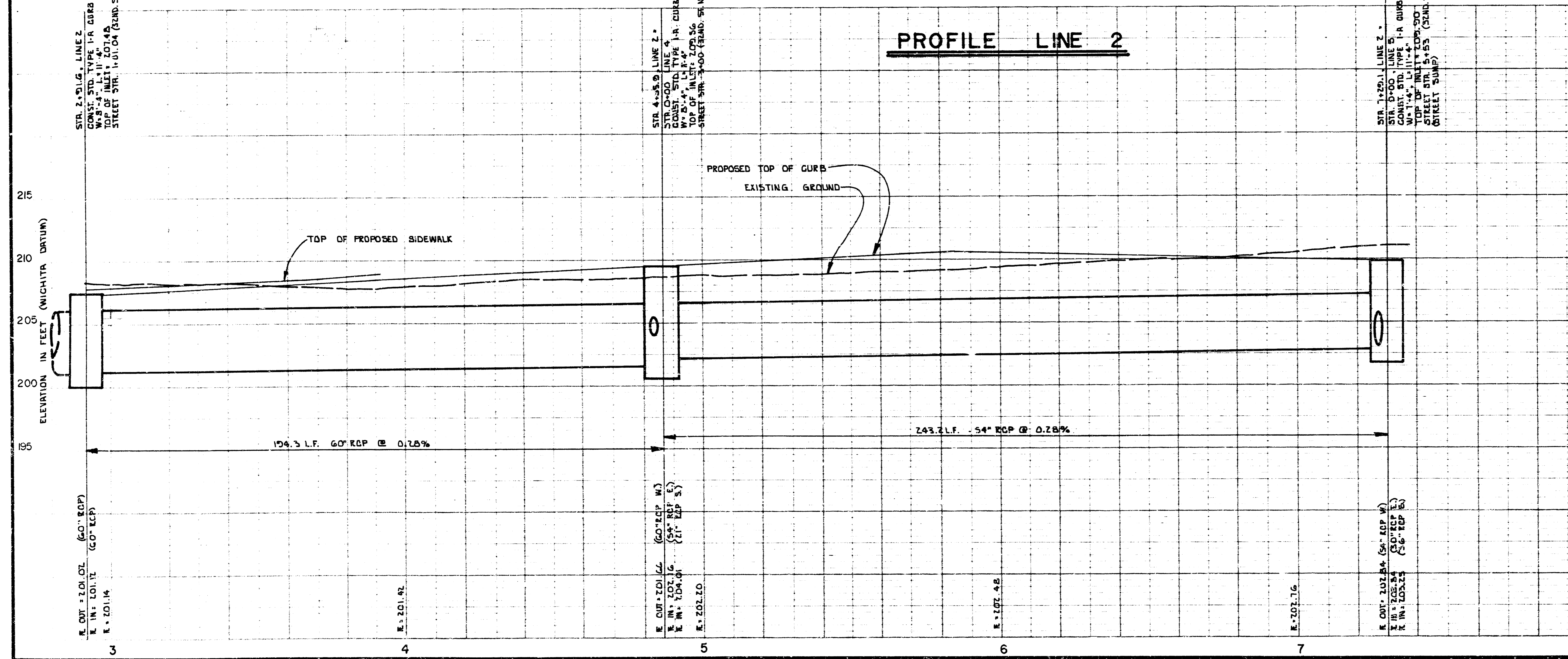




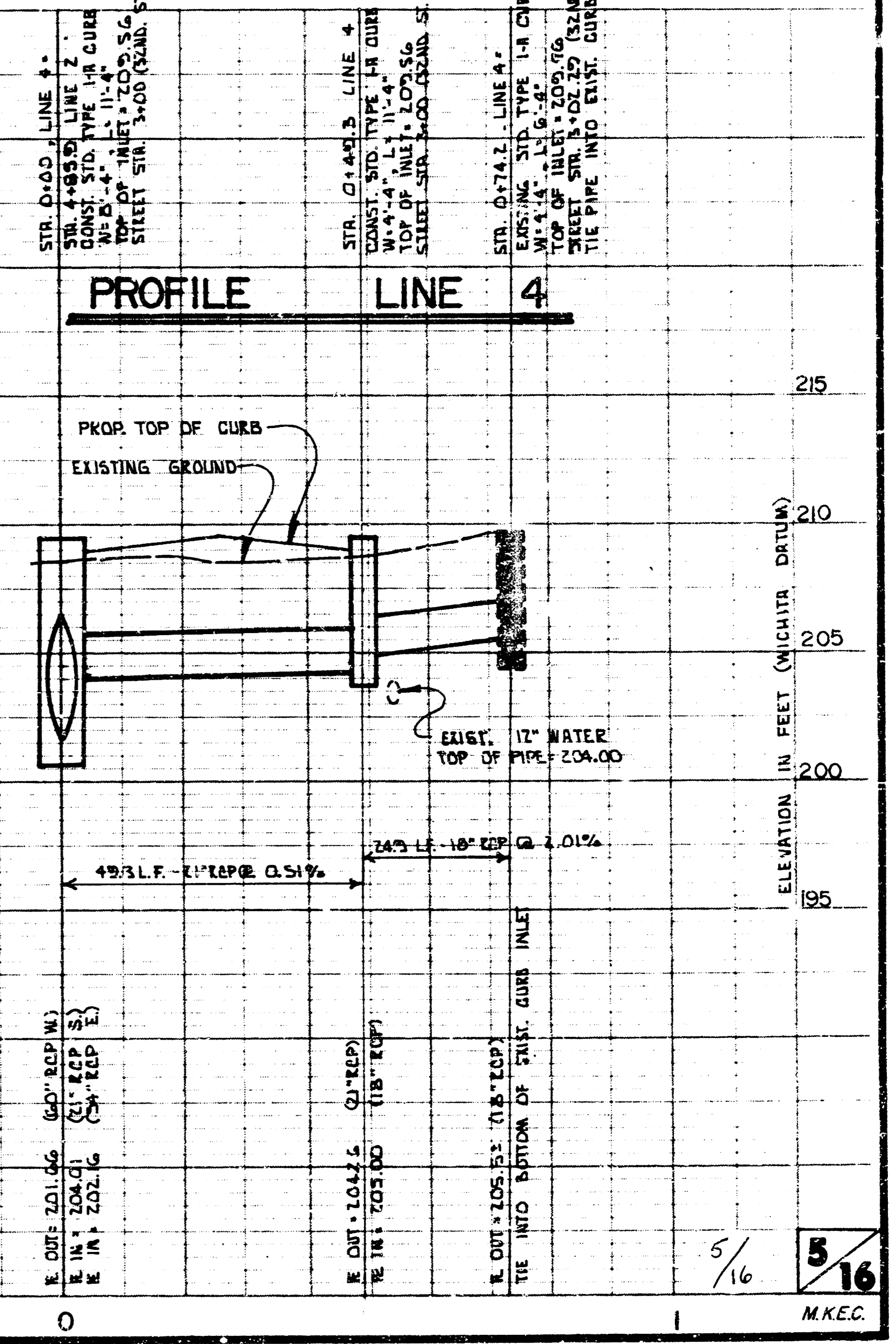
SCALE: 1" = 20' HORIZ.  
 1" = 5' VERT.

**PLAN LINE 2 & 4**

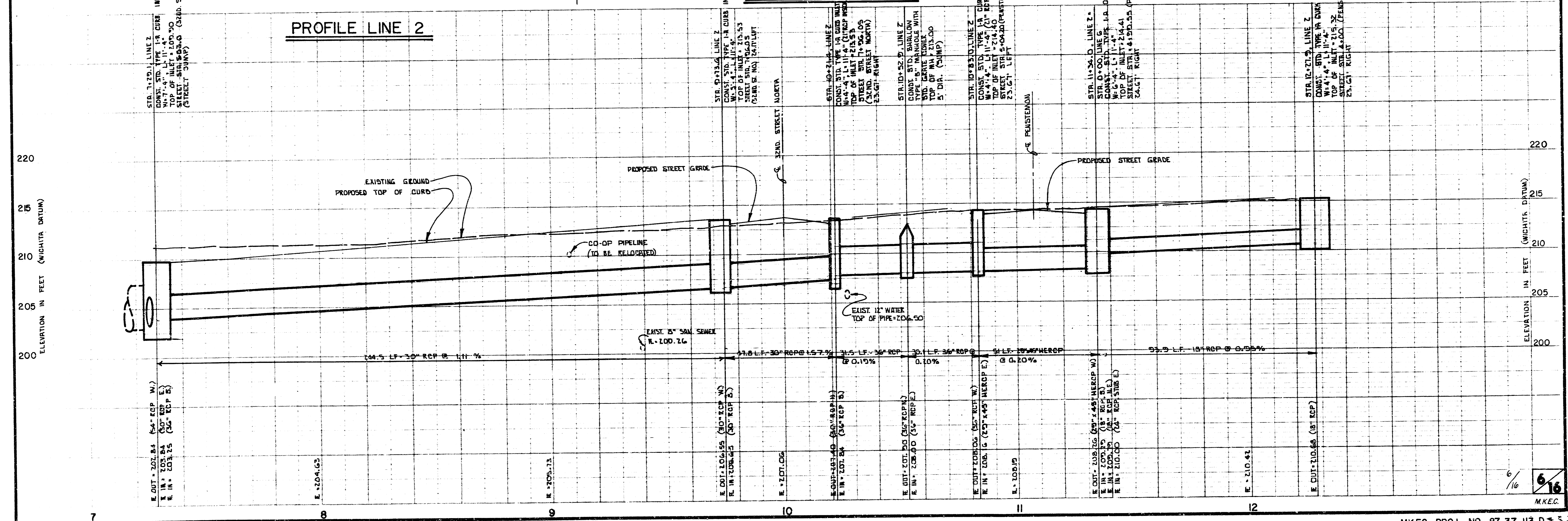
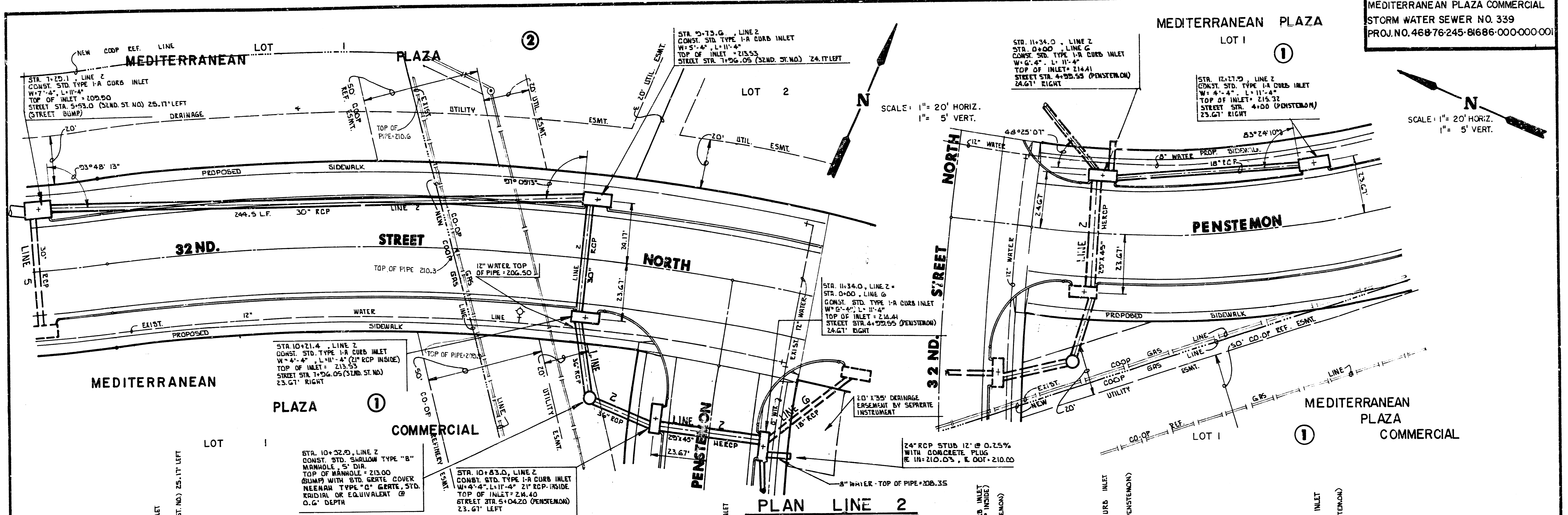
**PROFILE LINE 2**



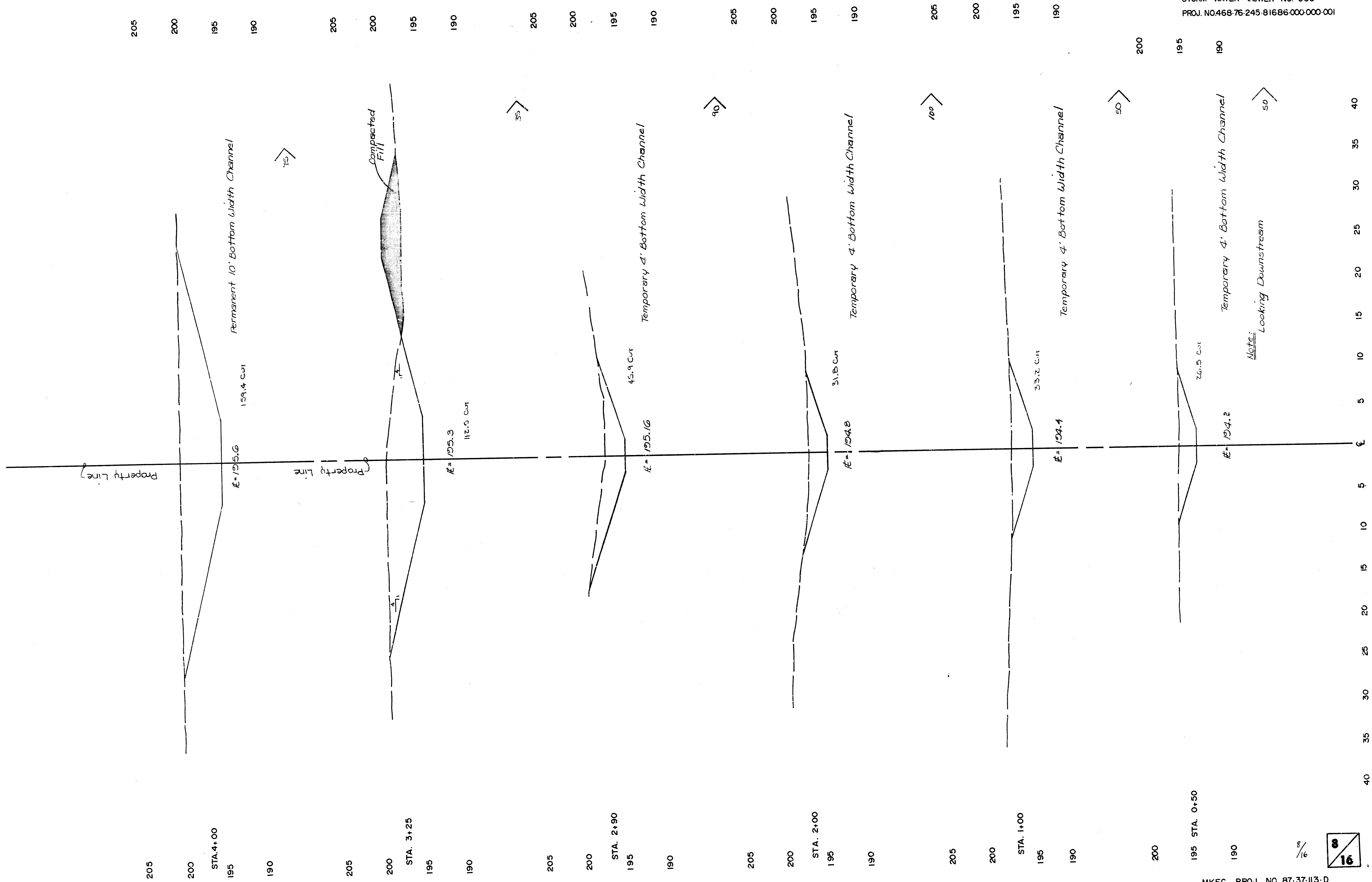
**PROFILE LINE 4**

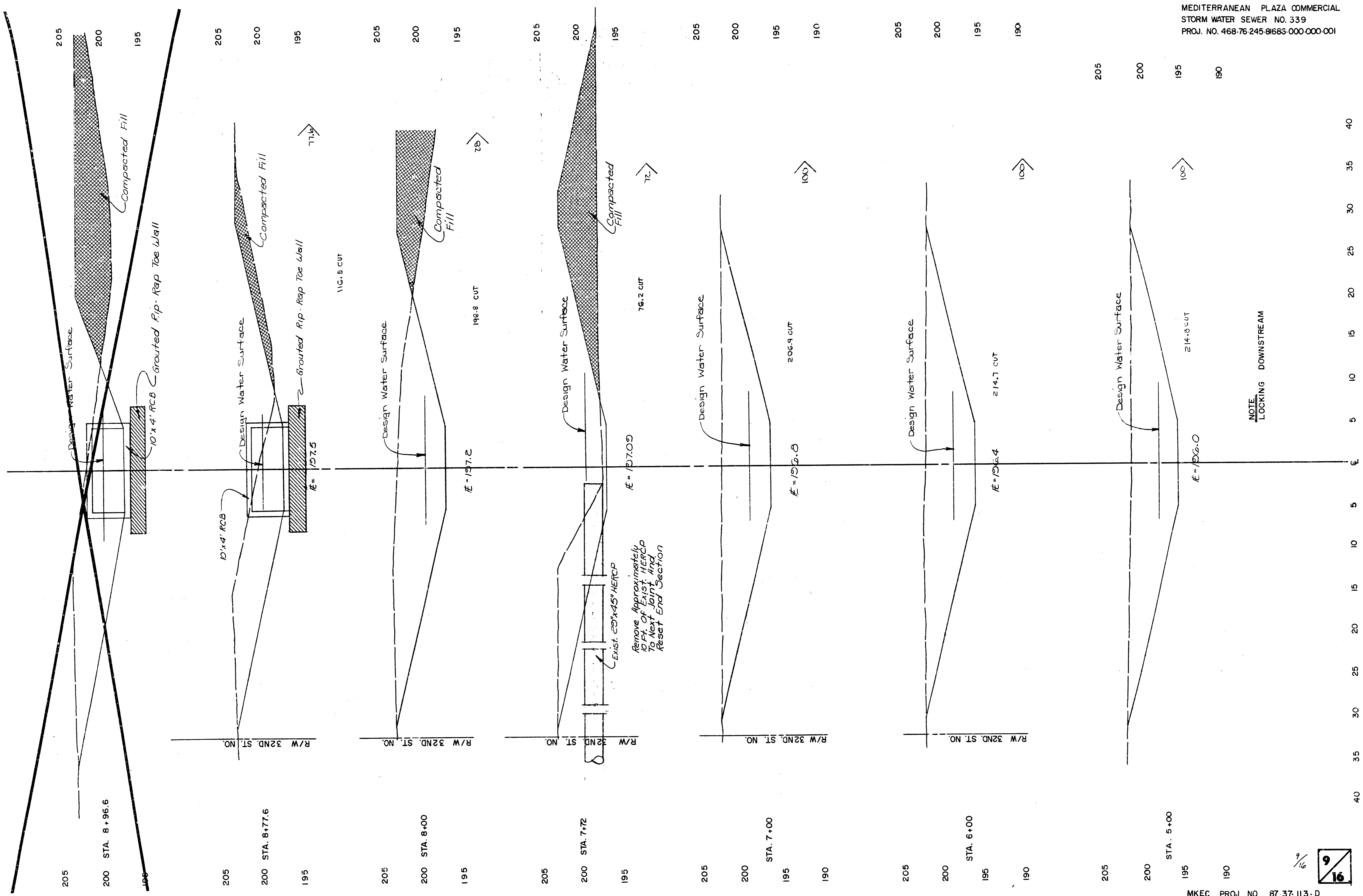


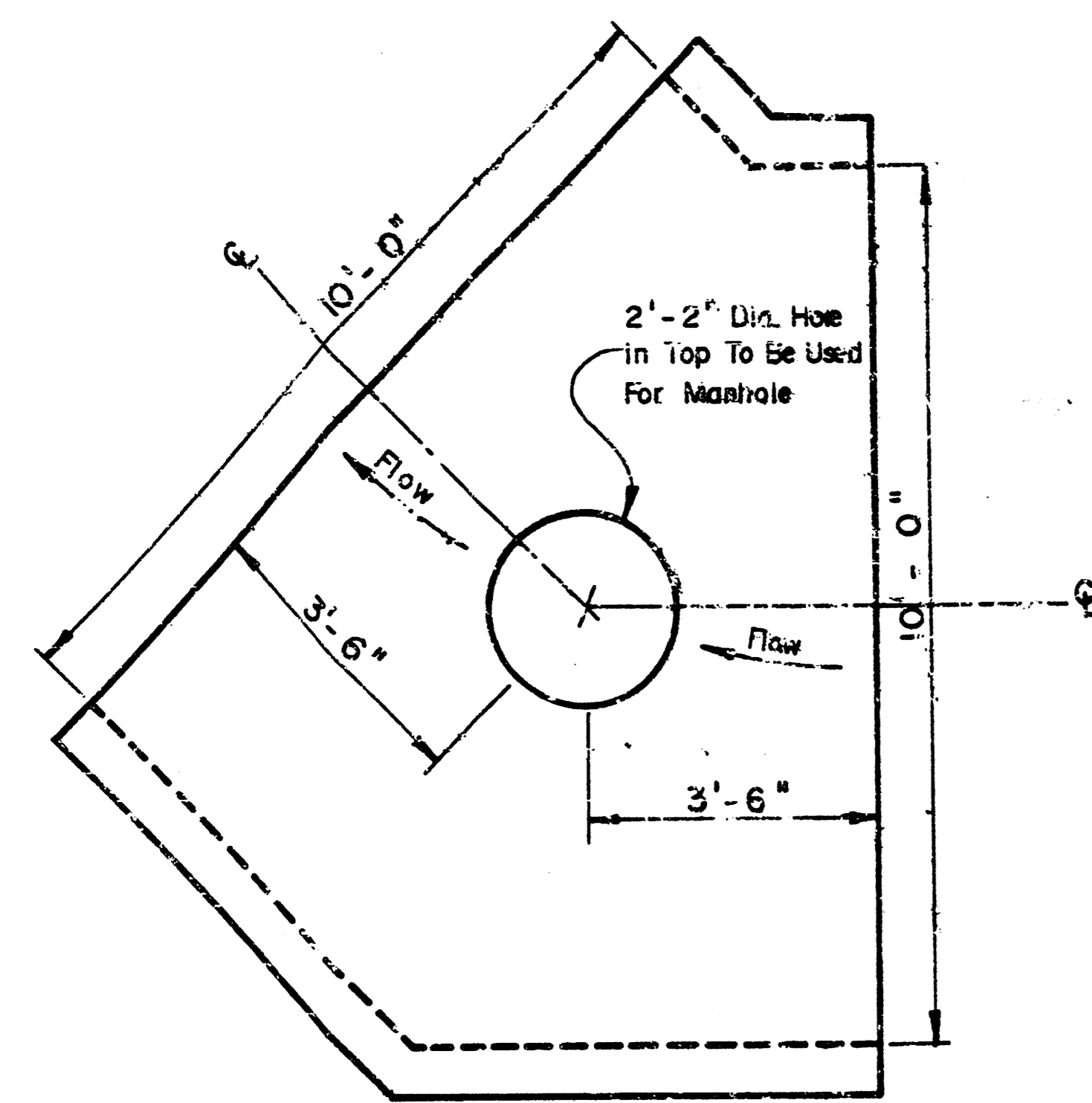
5/16  
 MKEC





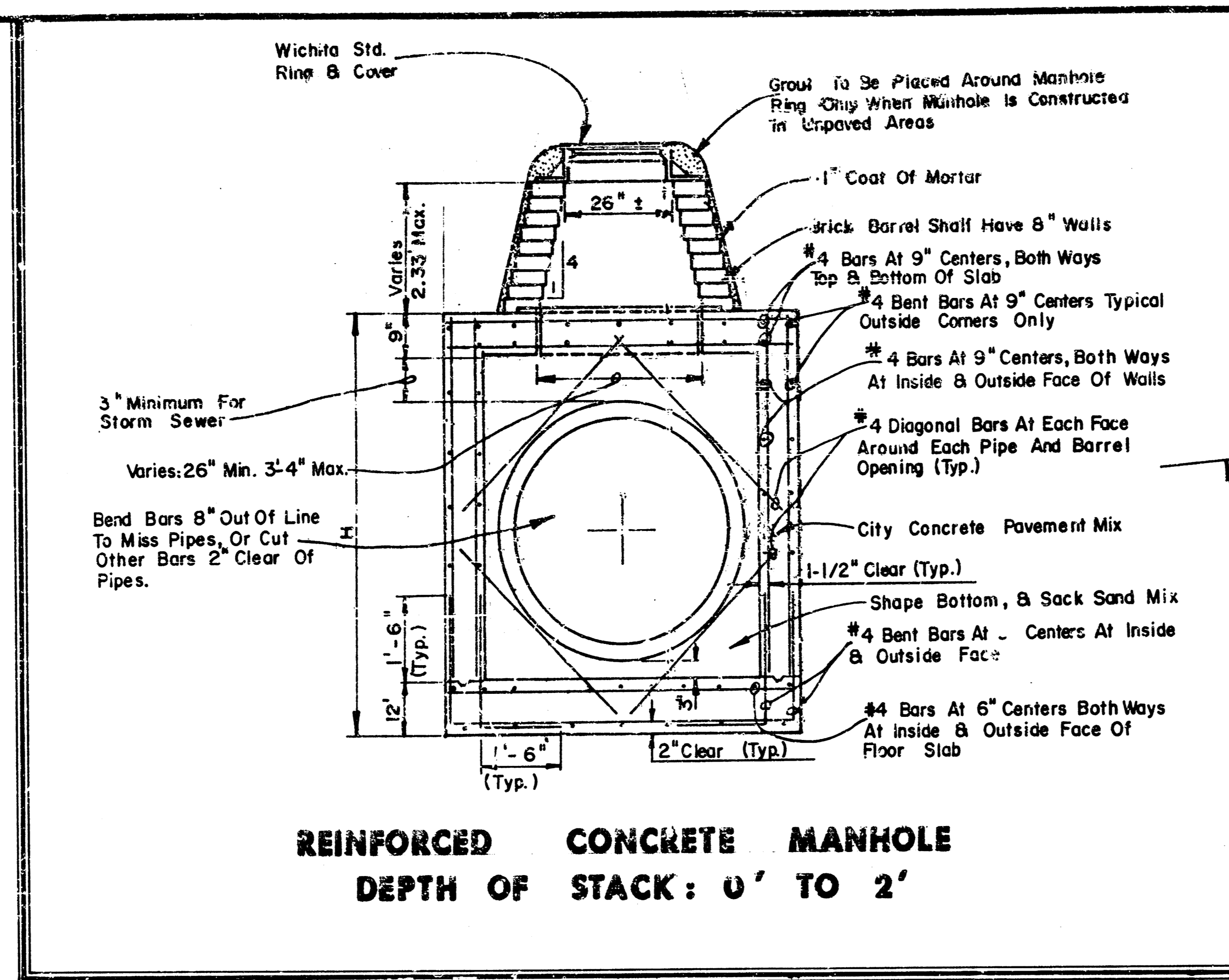




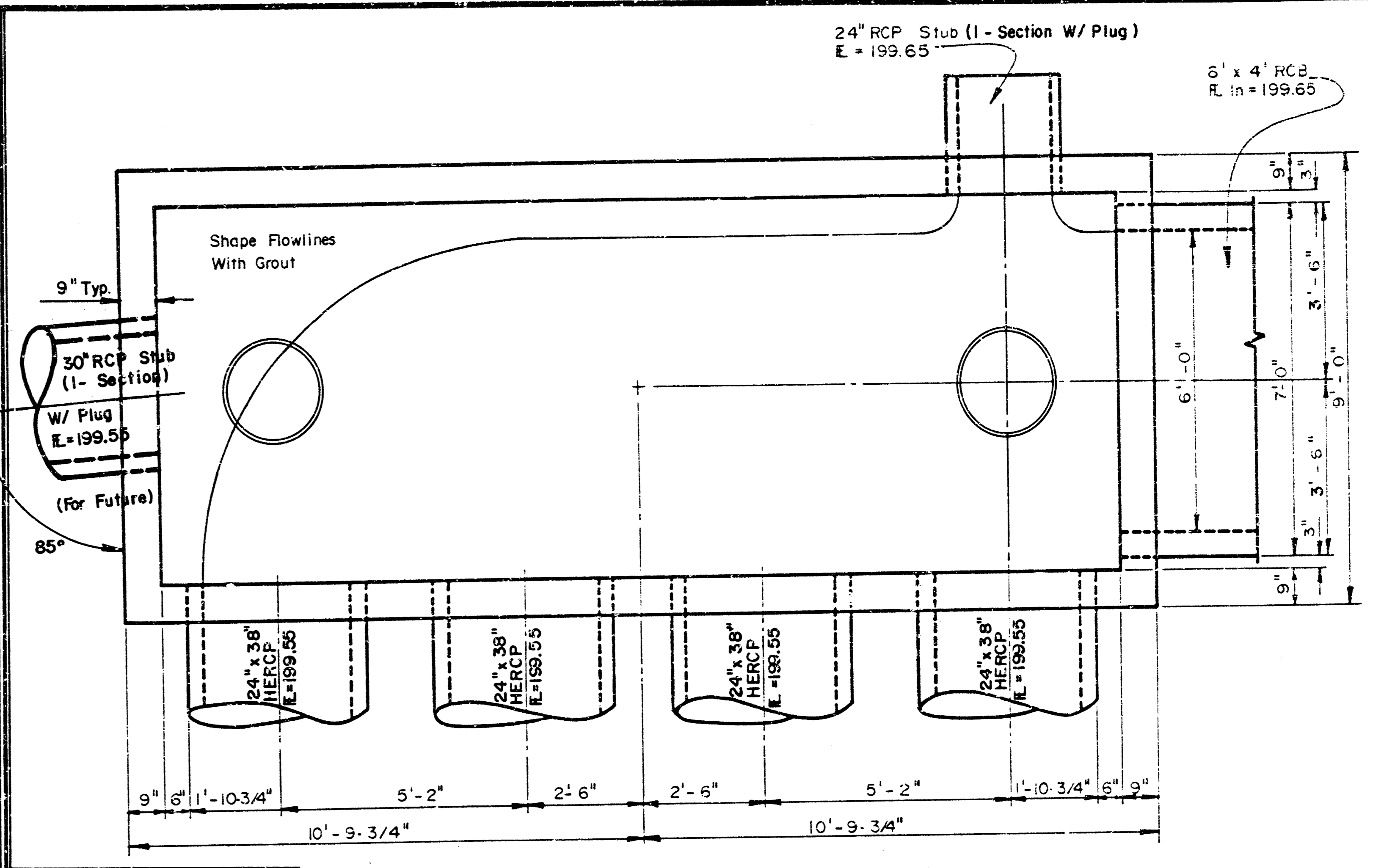


**SPECIAL 45° TURN FOR  
10' X 4' PRECAST RCB**

STA. 9+24.1, LINE 1  
 STA. 10+69.1, LINE 1  
 STA. 8+87.1, LINE 1 (Opposite/Mirror Image)  
 Scale: 1" = 20'

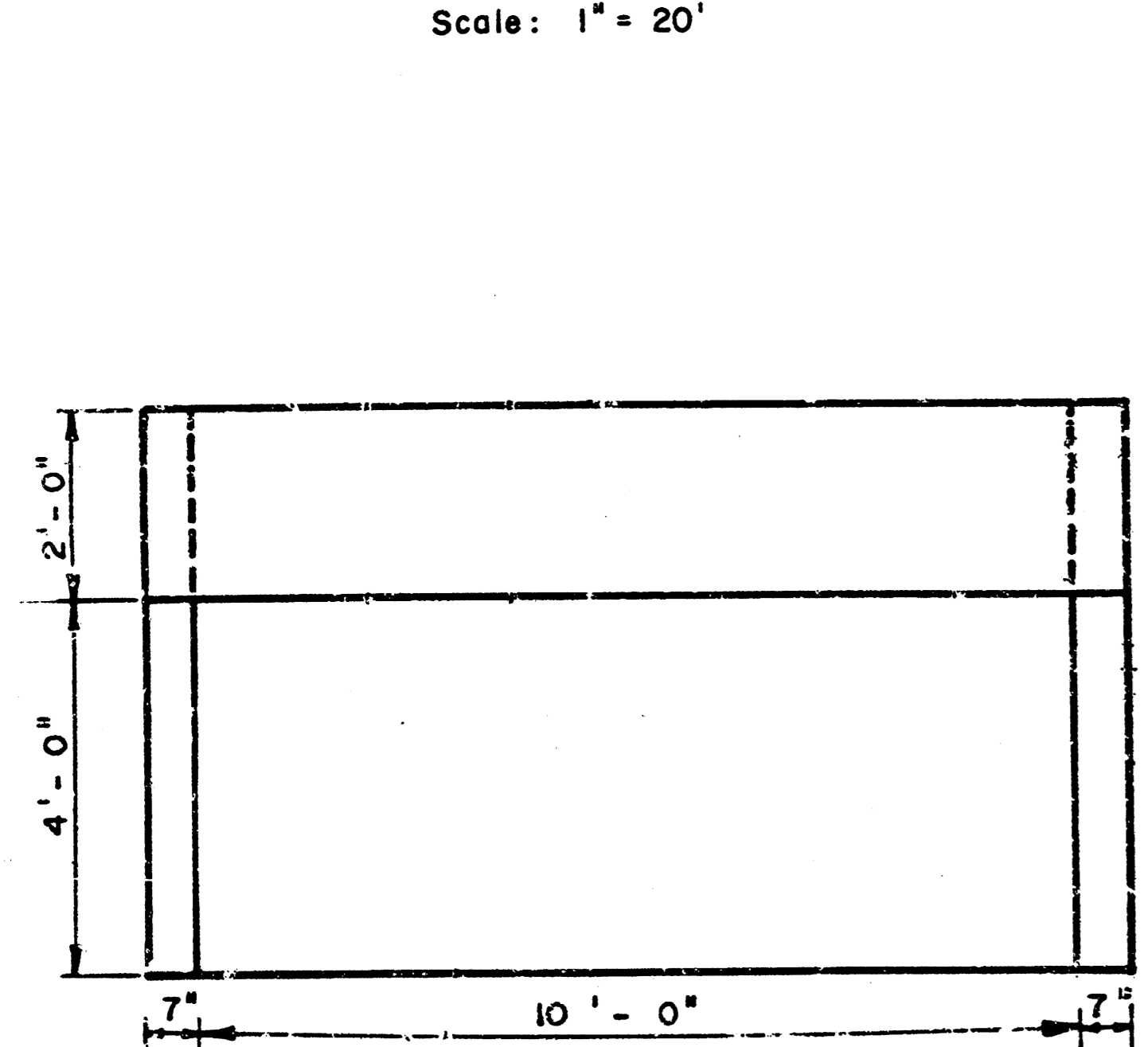


**REINFORCED CONCRETE MANHOLE  
DEPTH OF STACK: 0' TO 2'**

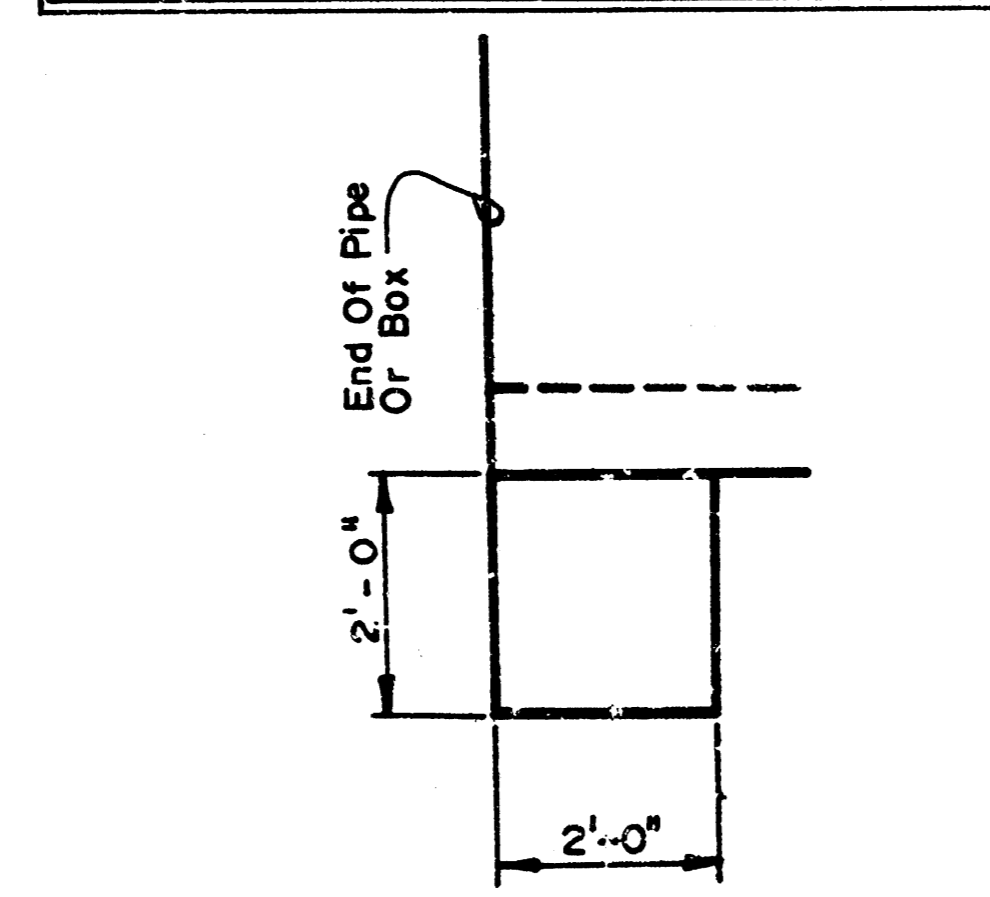


**SPECIAL REINF. CONC. MANHOLE  
PLAN**

STA. 0+11.8, LINE 2  
 Scale: 1" = 2'-0"

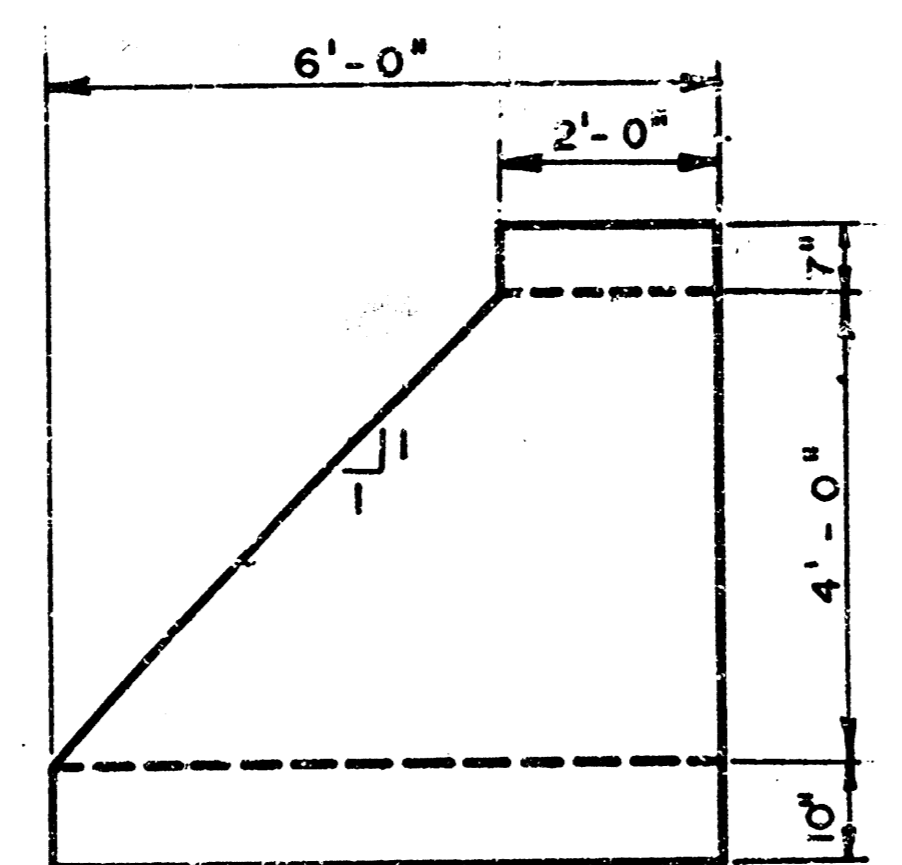


**PLAN VIEW**



**TYPICAL CROSS SECTION  
GROUTED RIP-RAP  
TOE WALL**

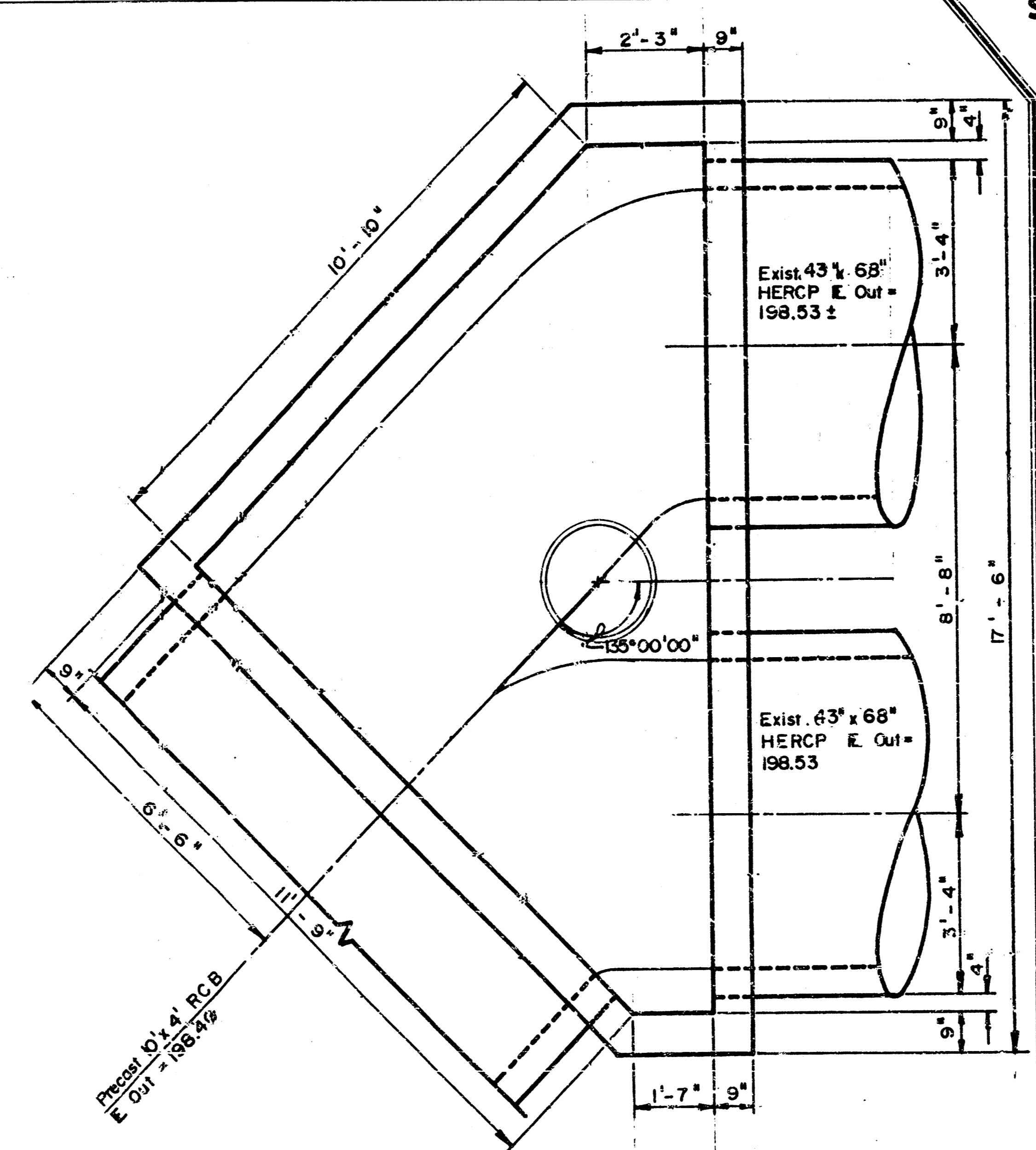
STA. 7+72.0, LINE 1  
 STA. 8+96.6, LINE 1



**END VIEW**

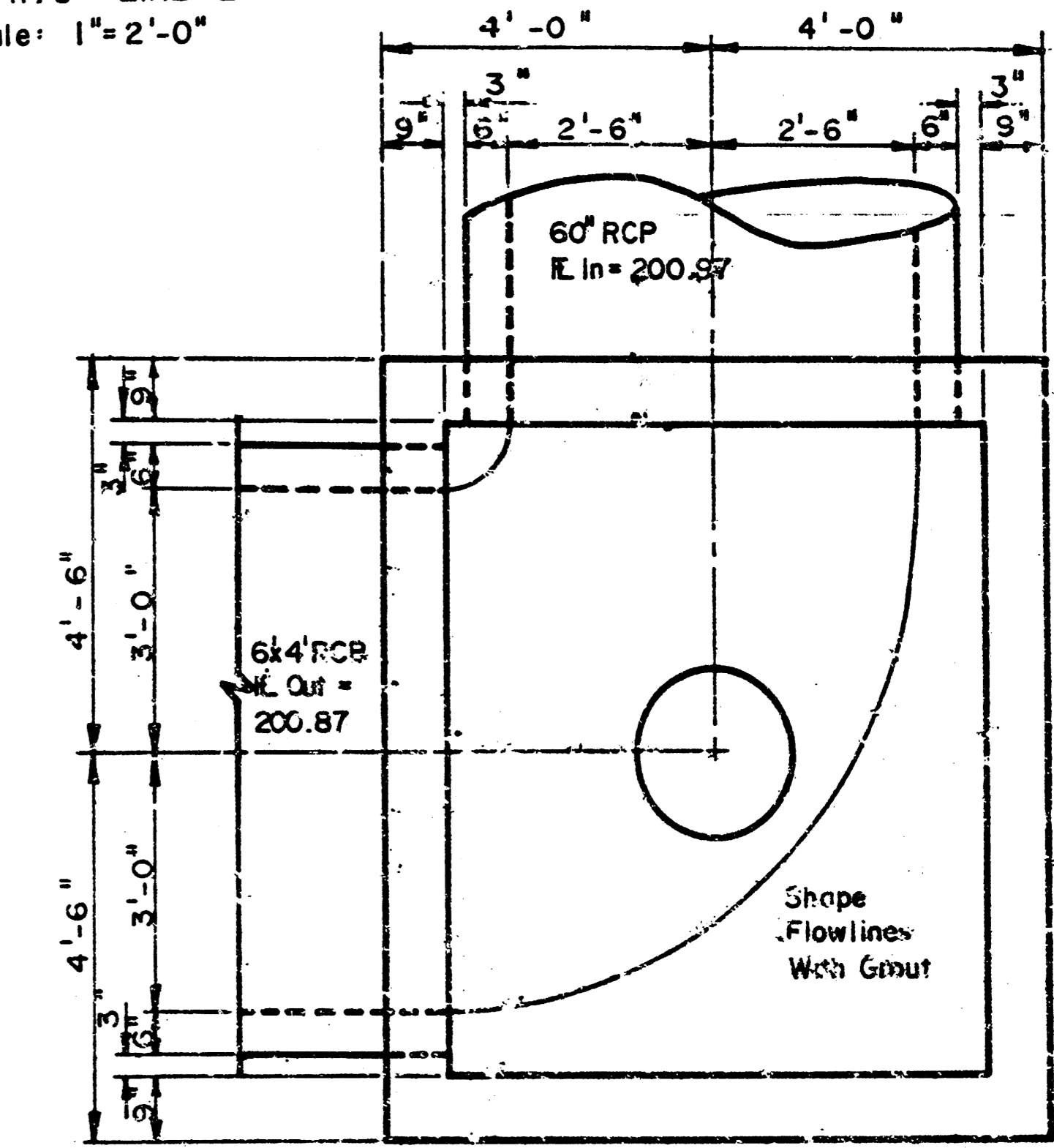
**END SECTION - PRECAST R.C.B.**

STA. 8+96.6, LINE 1  
 Scale: 1" = 2'-0"



**SPECIAL REINF. CONC. MANHOLE  
PLAN**

STA. 11+23, LINE 1  
 Scale: 1" = 2'-0"

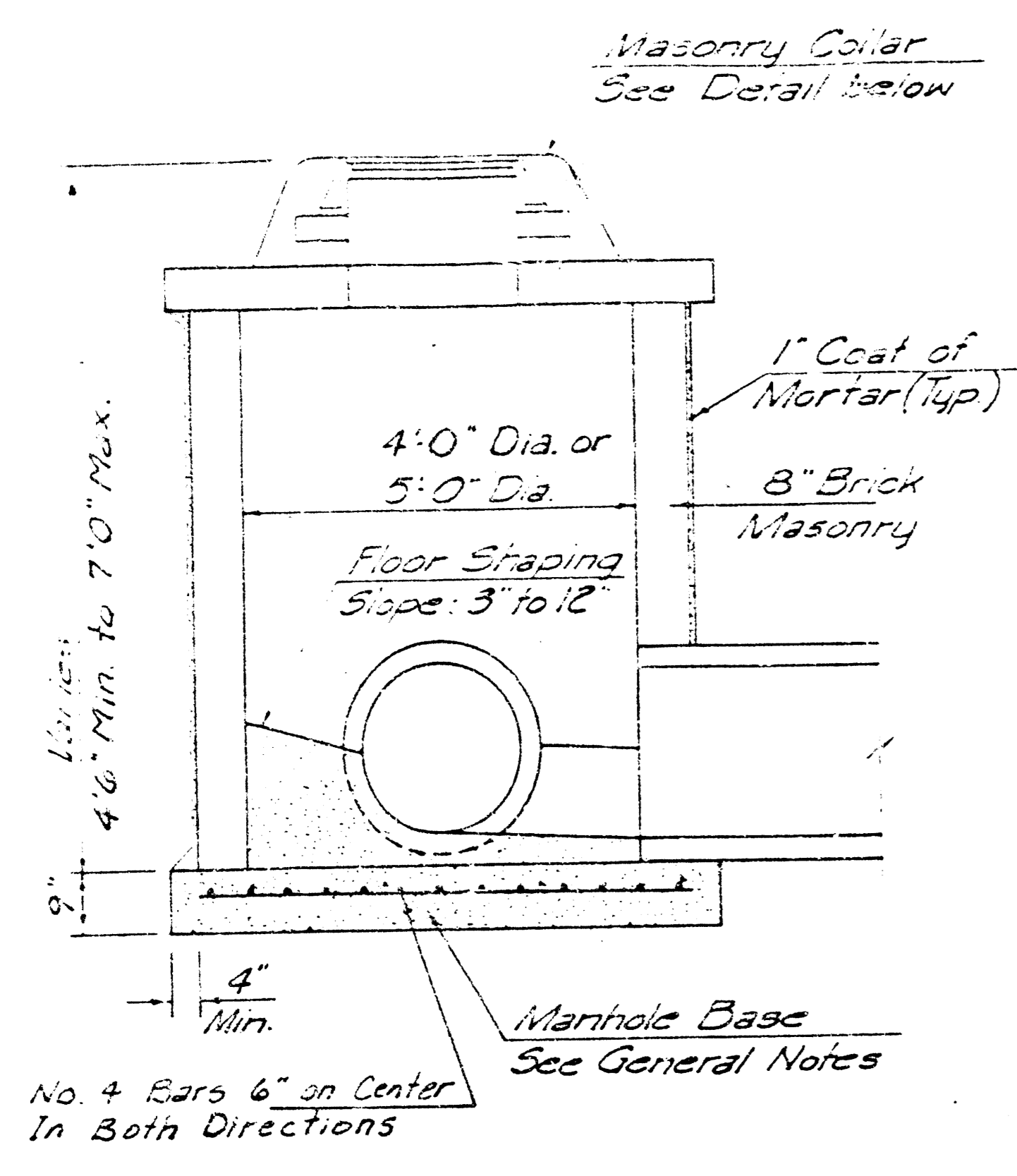


**SPECIAL REINF. CONC. MANHOLE  
PLAN**

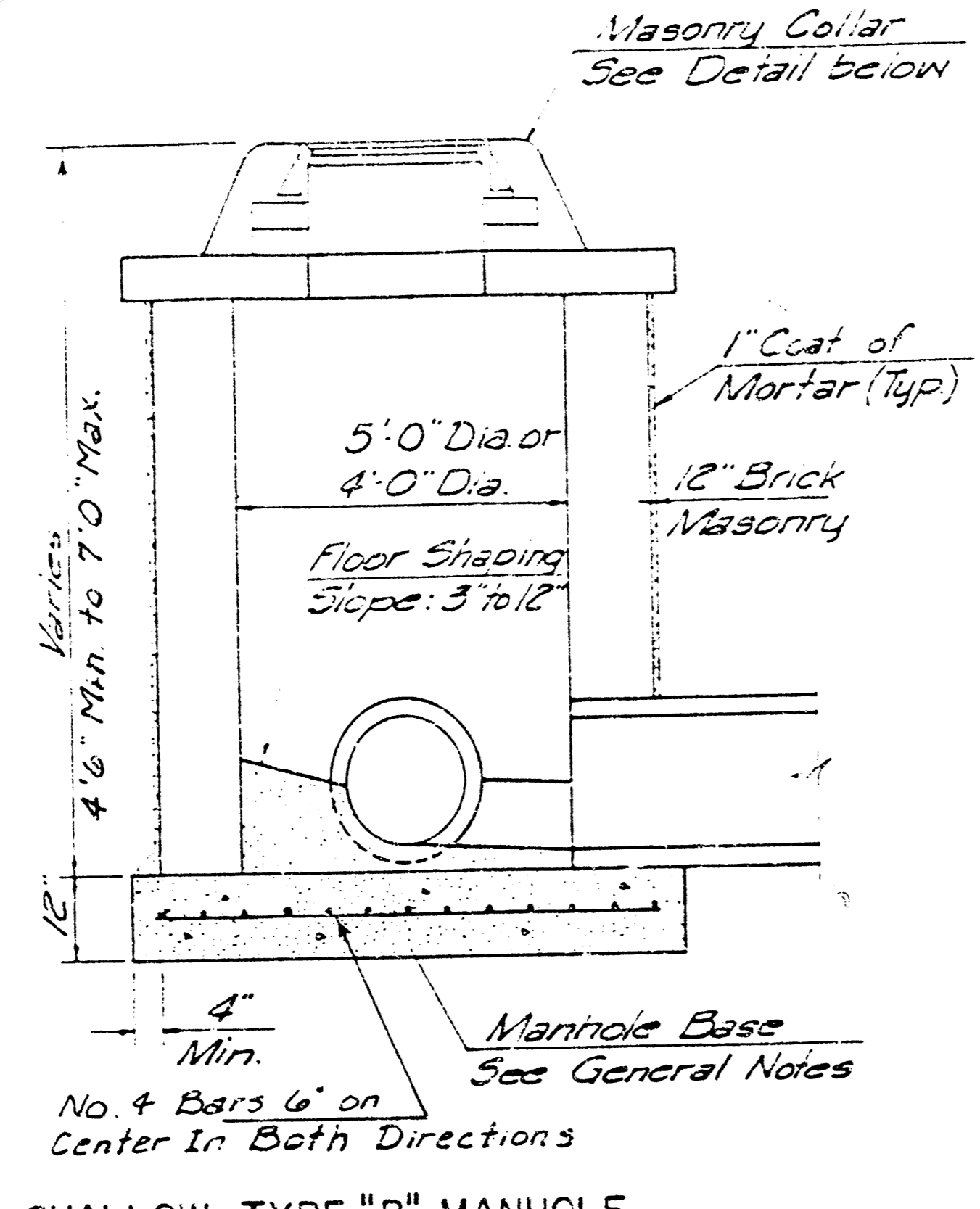
STA. 2+74.8, LINE 2  
 Scale: 1" = 2'-0"

**LINE #2**

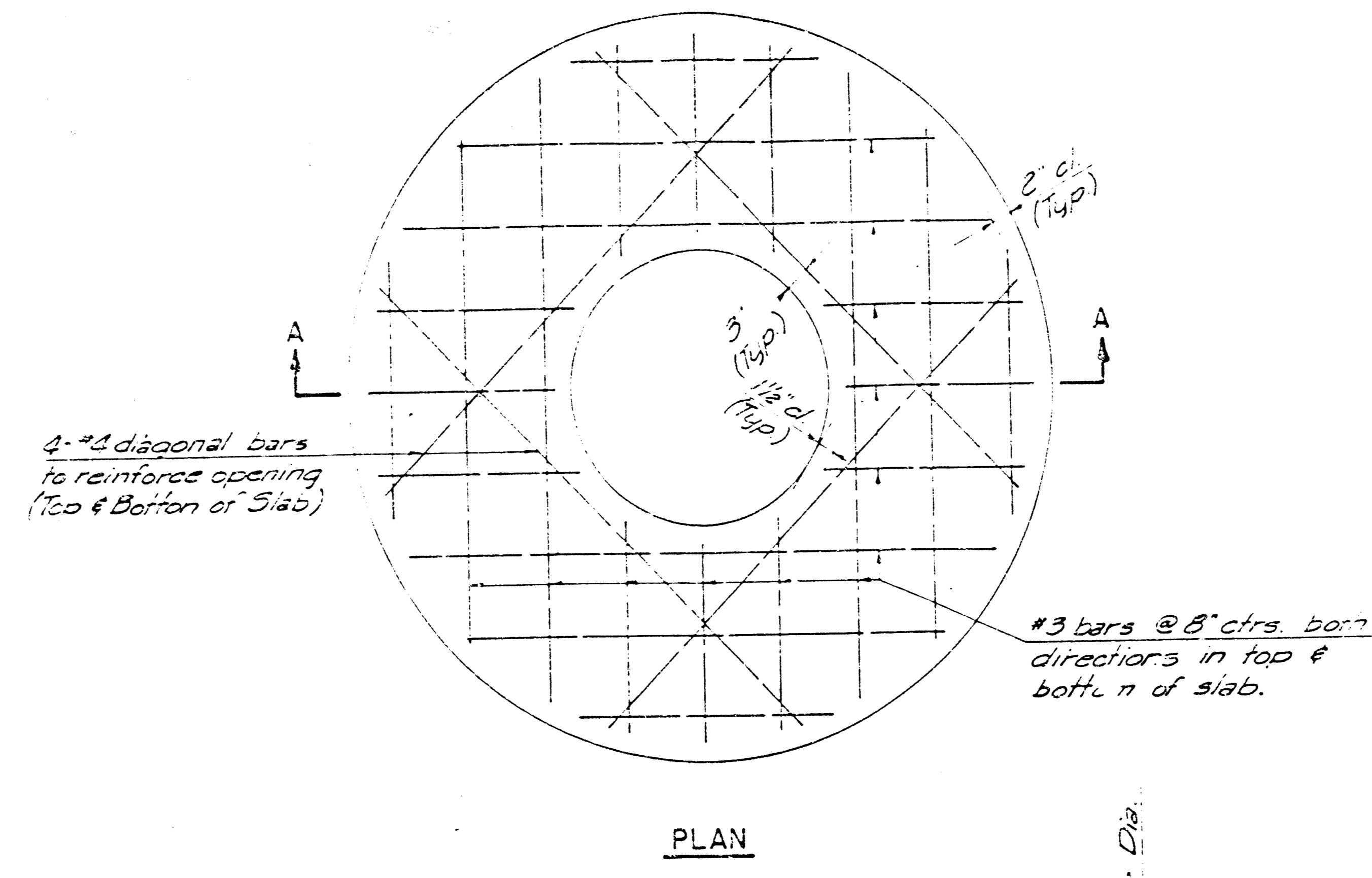
	<b>STORM WATER SEWER DETAILS</b>		Design
			Drawn by
		Checked by	Date
		Scale	Sheet
MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226		10/16	10
		682-6561	of 16



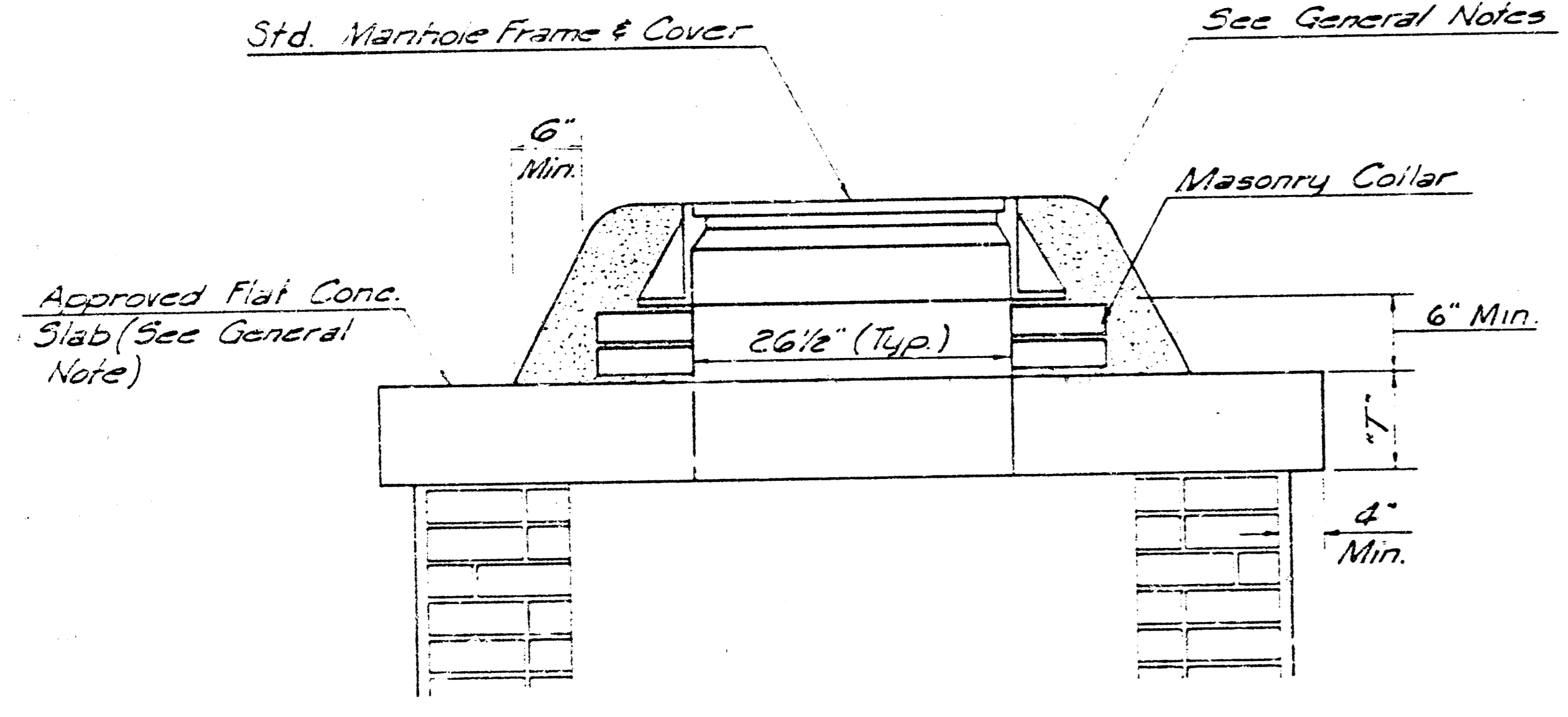
SHALLOW TYPE "A" MANHOLE



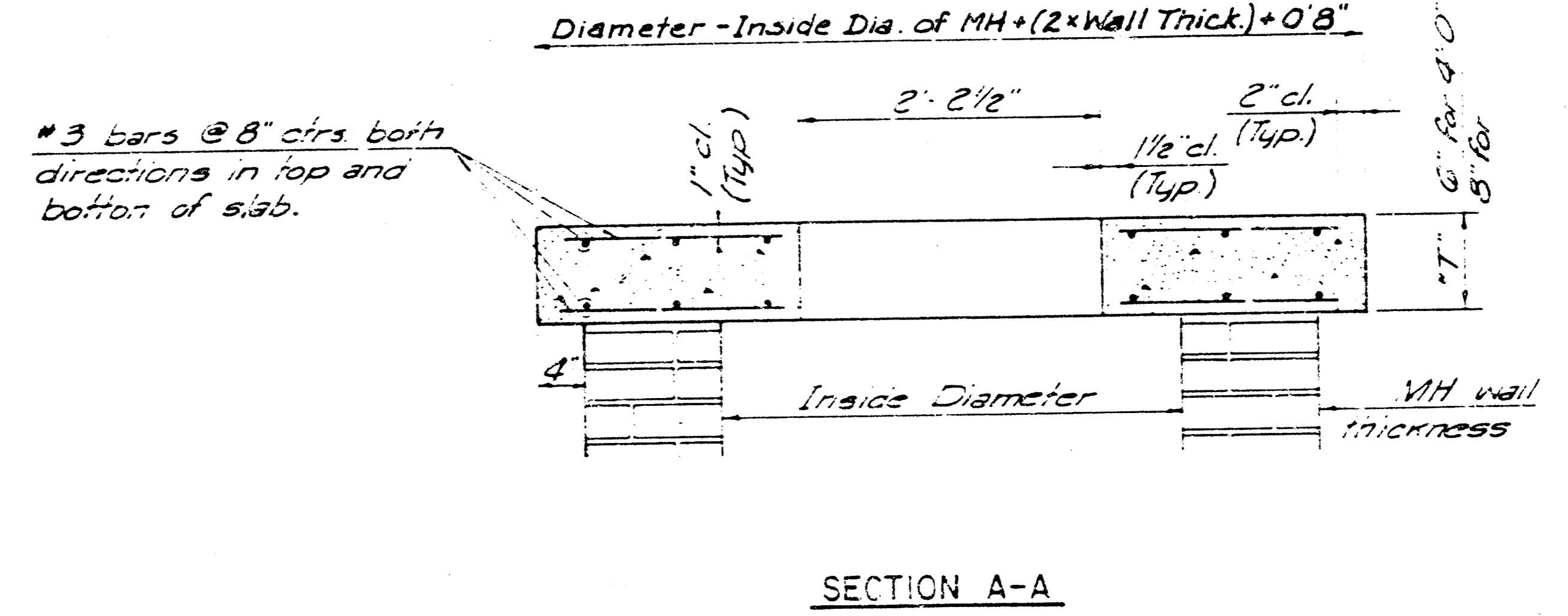
SHALLOW TYPE "B" MANHOLE



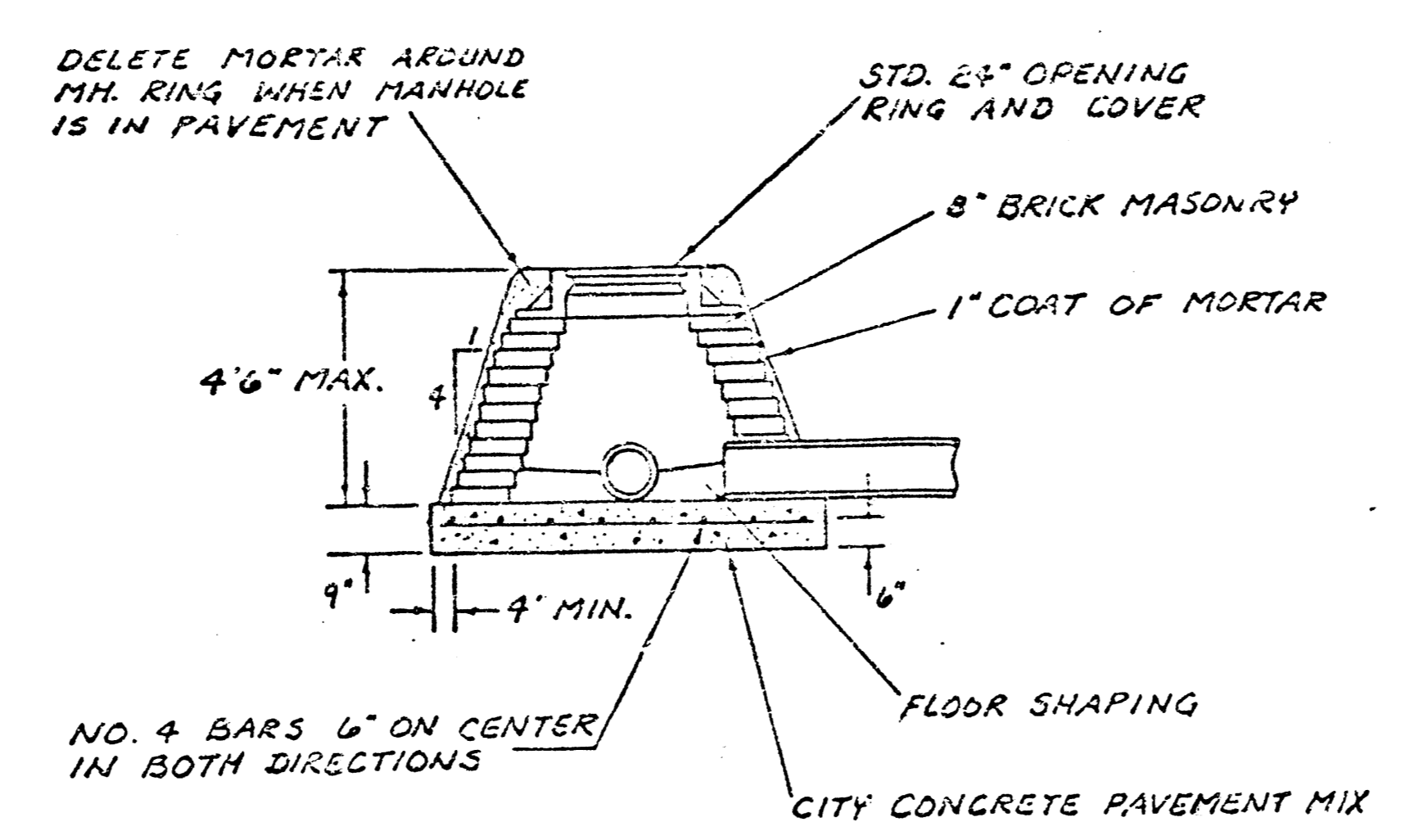
PLAN



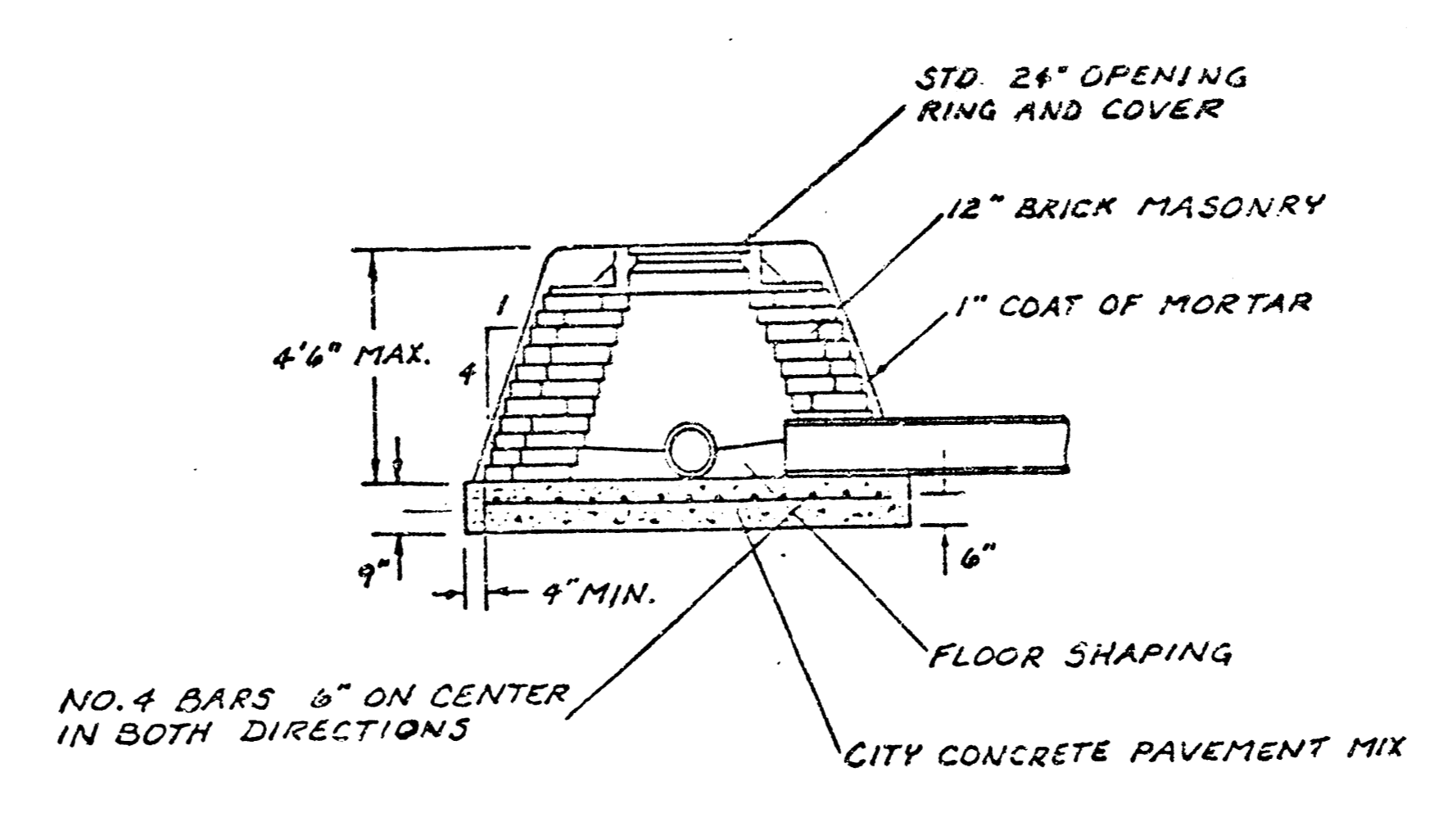
MASONRY COLLAR DETAIL



SECTION A-A  
FLAT CONCRETE SLAB DETAILS



SPECIAL SHALLOW TYPE 'A' MANHOLE



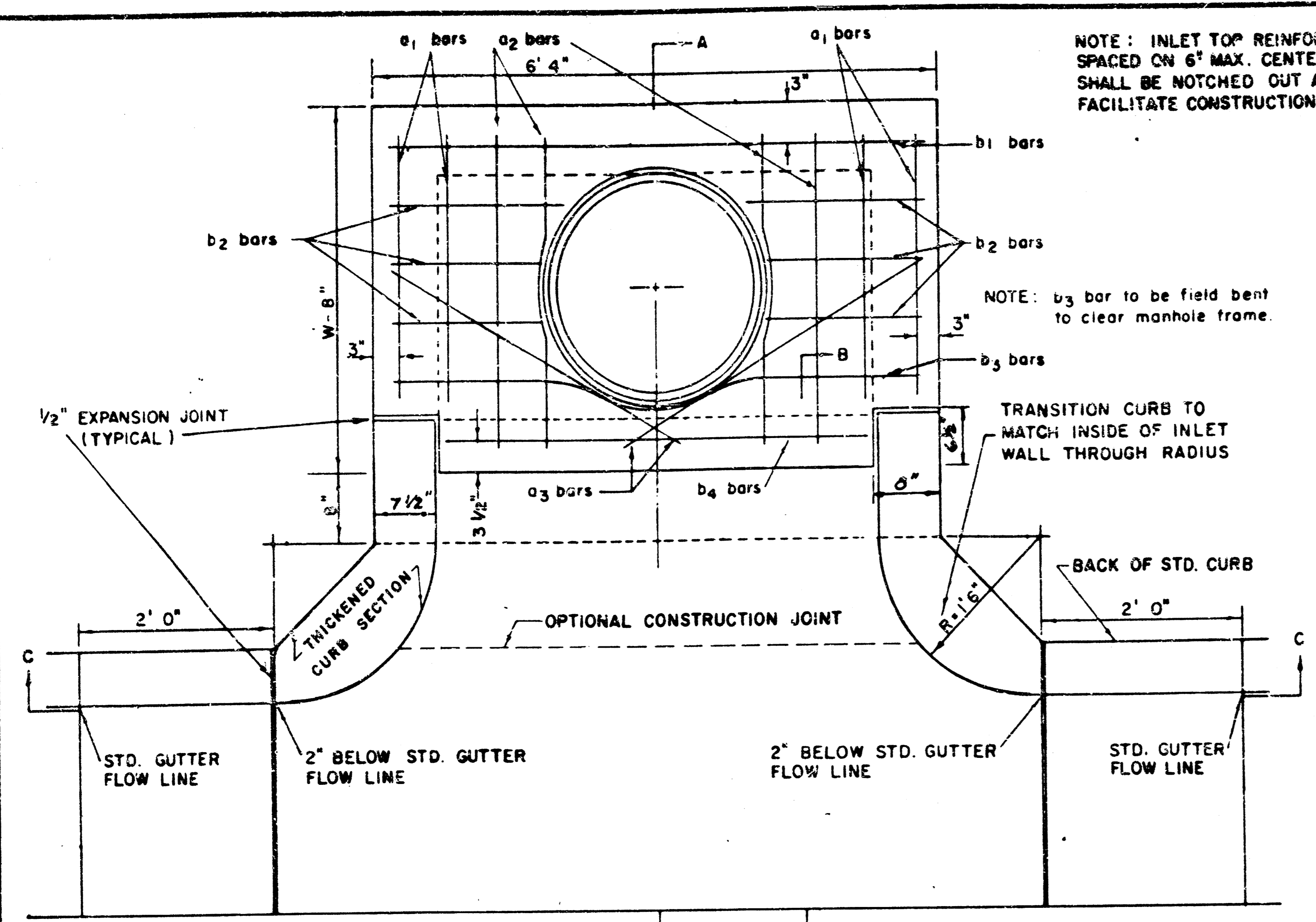
SPECIAL SHALLOW TYPE 'B' MANHOLE

- GENERAL NOTES
- MORTAR USED IN MASONRY CONSTRUCTION SHALL CONTAIN 3 BAGS OF CEMENT PER CUBIC YARD. CONCRETE USED IN MANHOLE BASES SHALL CONFORM TO THE REQUIREMENTS OF CONCRETE FOR CONCRETE PAVEMENT CONSTRUCTION AS SPECIFIED IN THE CITY STANDARD PAVING SPECIFICATIONS USING CITY CONCRETE MIXTURE MIX WITHOUT AIR ENTRAINING AGENT. MORTAR SHALL BE PLACED IN THE MANHOLE RING AS SHOWN ON THE DRAWINGS AND MANHOLES ARE CONSTRUCTED IN UNPAVED AREAS. TYPE "A" SHALLOW MANHOLES CAN BE USED ON SENIOR AND THE MANHOLE IS NOT LOCATED WITHIN PUBLIC STREET PAVEMENT. MANHOLES CONSTRUCTED WHERE PIPE SIZES ARE SMALLER THAN 24" SHALL HAVE AN INSIDE DIAMETER OF 4". MANHOLES CONSTRUCTED WHERE PIPE SIZES ARE 24" OR LARGER SHALL HAVE AN INSIDE DIAMETER OF 5". COMPLETED MANHOLE SHALL BE WITHOUT LEAKS AND WATER TIGHT.
  - REINFORCING STEEL SHALL BE INSTALLED IN THE MANHOLE BASES AND SHALL CONSIST OF NO. 4 BARS PLACED ON 6" CENTERS IN BOTH DIRECTIONS. THE MANHOLE BASE REINFORCEMENT SHALL BE PLACED 6" ABOVE THE BOTTOM OF THE MANHOLE BASE. ALL COSTS FOR FURNISHING AND INSTALLING REINFORCING STEEL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE MANHOLE.
  - THE FLOORS OF ALL MANHOLES SHALL BE SLOPED WITH FLOW CHANNELS SUCH THAT THE MANHOLES WILL BE SELF-CLEANING AND FREE OF OBSTACLES. DEBRIS SHALL BE DEPOSITED AS SEWAGE FLOWS THROUGH THE MANHOLE FROM THE INLET PIPES TO THE OUTLET PIPE. FLOW CHANNELS SHALL BE FORMED TO CROSS THE DOWN-HALVES OF THE INLET AND PIPES AND THE UP-UPPER HALF OF THE DOWN-HALVES. MANHOLE FLOORS SHALL BE SLOPED AT A RATE OF 3" TO 12" IN ALL AREAS OUTSIDE OF THE FLOW CHANNELS SLOPED TOWARD THE MANHOLE. PIPES LAID THROUGH MANHOLES SHALL HAVE THE TOP HALF REINFORCED TO WELD LINES FOR THE FULL INSIDE DIAMETER OF THE MANHOLE. MANHOLE FLOORS SHALL THEN BE SHAPED AROUND THE OUTLINE HALF OF THE PIPE WHICH FORMS THE FLOW CHANNEL.
  - PIPES INSTALLED WITHIN THE EXCAVATION FOR THE MANHOLE SHALL BE GRADED WITH CONCRETE TO THE LEVEL OF THE MANHOLE. WHEN CLAY PIPE IS USED, THE GRADE SHALL BE TO THE POINT OF THE MANHOLE. THE GRADE SHALL BE REINFORCED AT THE POINT OF THE MANHOLE. A MANHOLE WHICH WILL MAINTAIN THE INTEGRITY OF THE MANHOLE SHALL BE GRADED WITHIN MANHOLE EXCAVATION OR IN CASE PIPE IS USED MANHOLE SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE MANHOLE.
  - MANHOLE COVER CASTINGS AND MANHOLE FRAME CASTINGS SHALL CONFORM TO THE REQUIREMENTS AS INDICATED IN THE STANDARD SPECIFICATIONS AND AS SHOWN IN THE STANDARD DETAIL DRAWINGS.
  - THE CRUMPS OF INFLOWING PIPES SHALL NEVER BE SET LOWER THAN THE CRUMPS OF THE OUTFLOWING PIPE.
  - STANDARD SHALLOW MANHOLES TYPE "A" AND "B" SHALL BE PAID FOR AT THE UNIT PRICE BID PER EACH FOR THE TYPE AND DIAMETER INDICATED. STANDARD SPECIAL SHALLOW MANHOLES TYPE "A" AND "B" SHALL BE PAID FOR AT THE UNIT PRICE BID PER EACH FOR THE TYPE INDICATED. ALL STANDARD SHALLOW MANHOLE DIAMETERS WILL BE 4' UNLESS INDICATED OTHERWISE.

CITY OF WICHITA, KANSAS  
STANDARD SHALLOW MANHOLES  
TYPE 'A' AND TYPE 'B'

Drawn by	Checked by
Date	Scale
Sheet No.	Project No.





PLAN

STEEL SCHEDULE

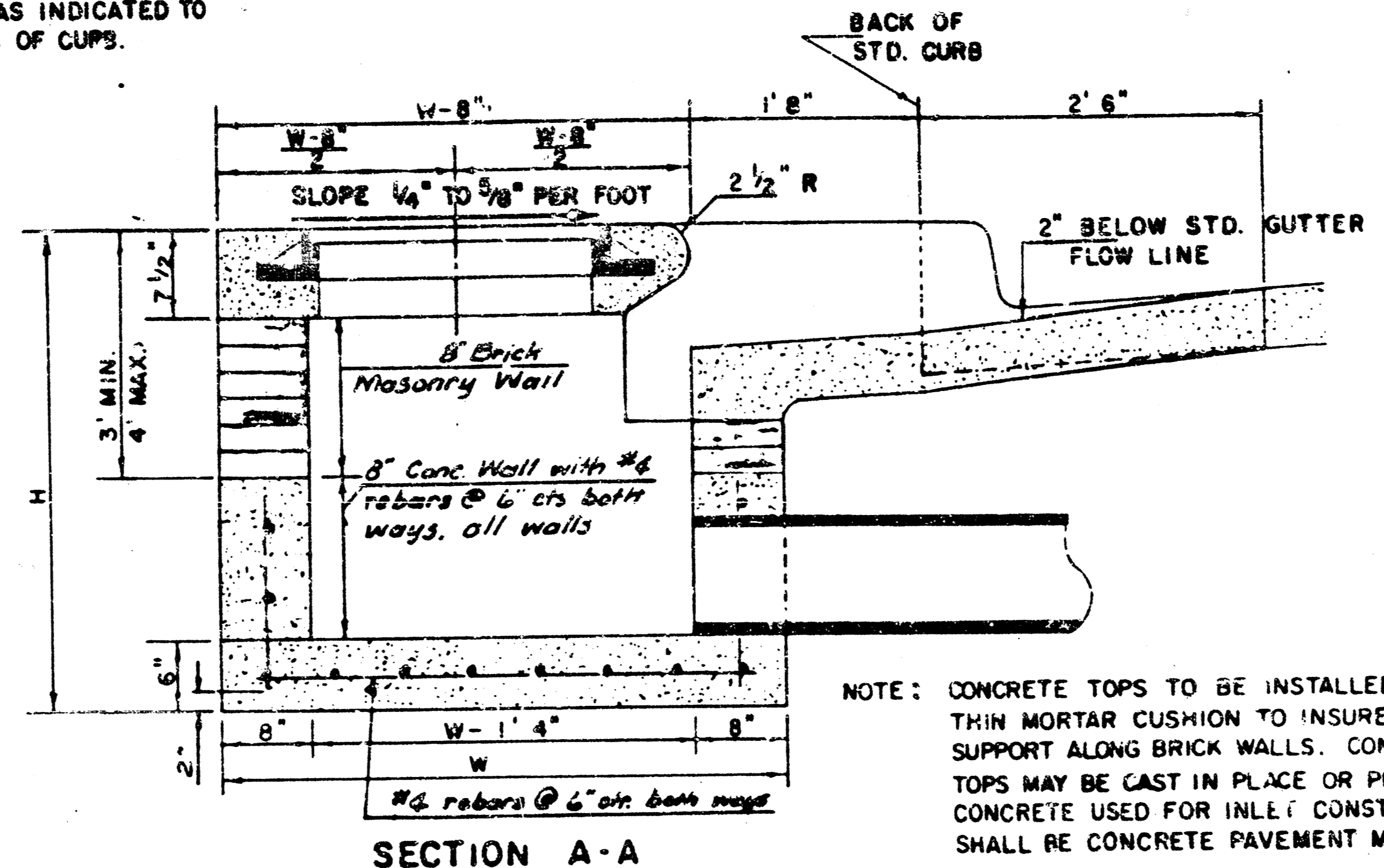
BAR NUMBER	$a_1$	$a_2$	$a_3$	$b_1$	$b_2$	$b_3$	$b_4$	WT. LBS.
4	4	2	1	3	5	7	9	
SIZE	"4	"4	"4	"4	"4	"4	"4	"6
W=4'4"	5'7"	6'7"	4'0"	6'1"	-	-	-	60±
W=5'4"	7'7"	9'7"	5'0"	6'1"	-	-	-	81±
W=6'4"	9'7"	10'7"	6'0"	6'1"	-	-	-	101±
W=7'4"	11'7"	12'7"	7'0"	6'1"	-	-	-	121±
W=8'4"	13'7"	14'7"	8'0"	6'1"	1'9"	6'2"	4'8"	141±

\* NOTE:  $a_3$  BARS TO BE PLACED APPROX. 2" BELOW TOP OF INLET COVER

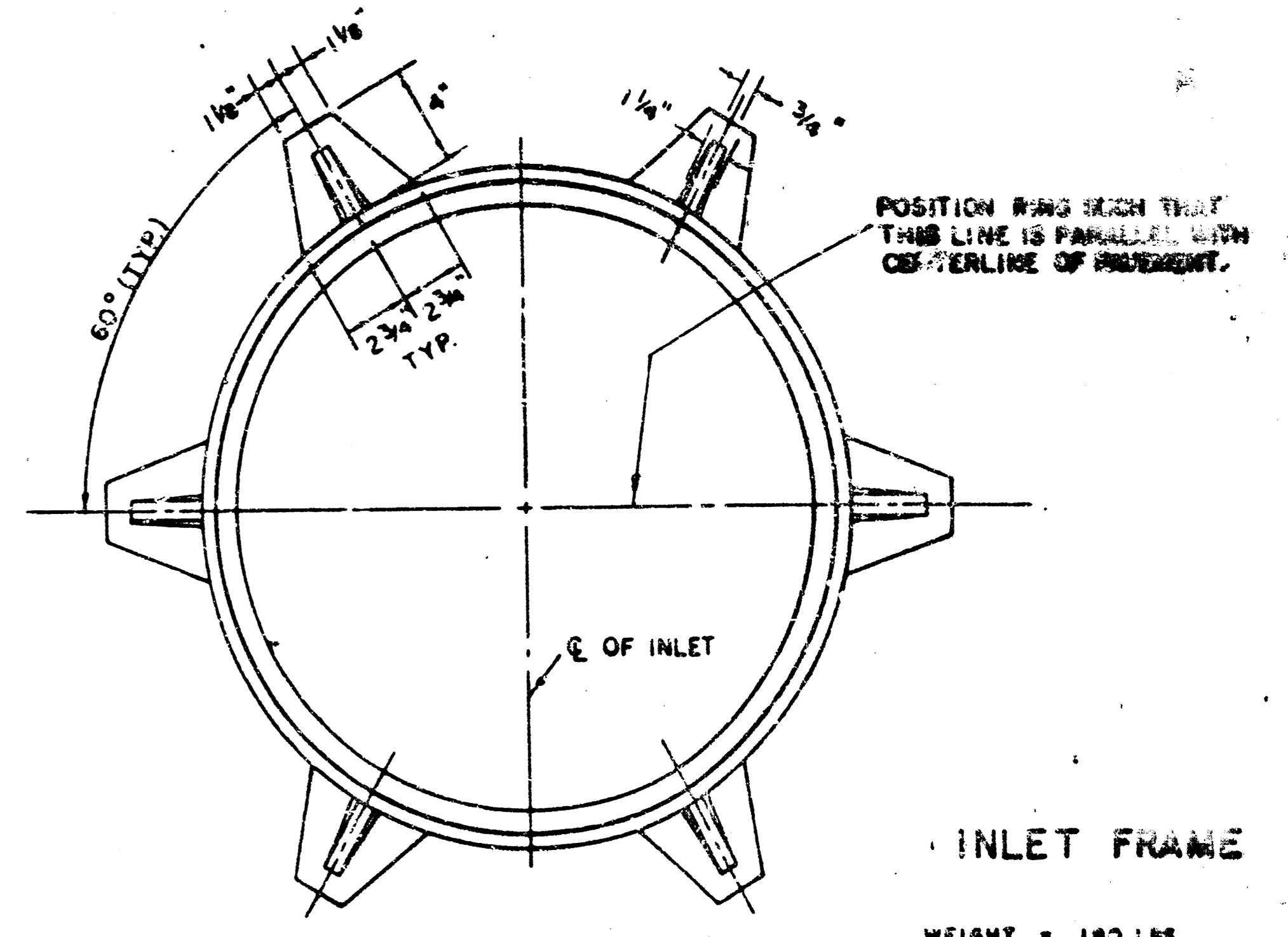
BENDING DIAGRAM

STANDARD CURB INLET PRECAST TOPS

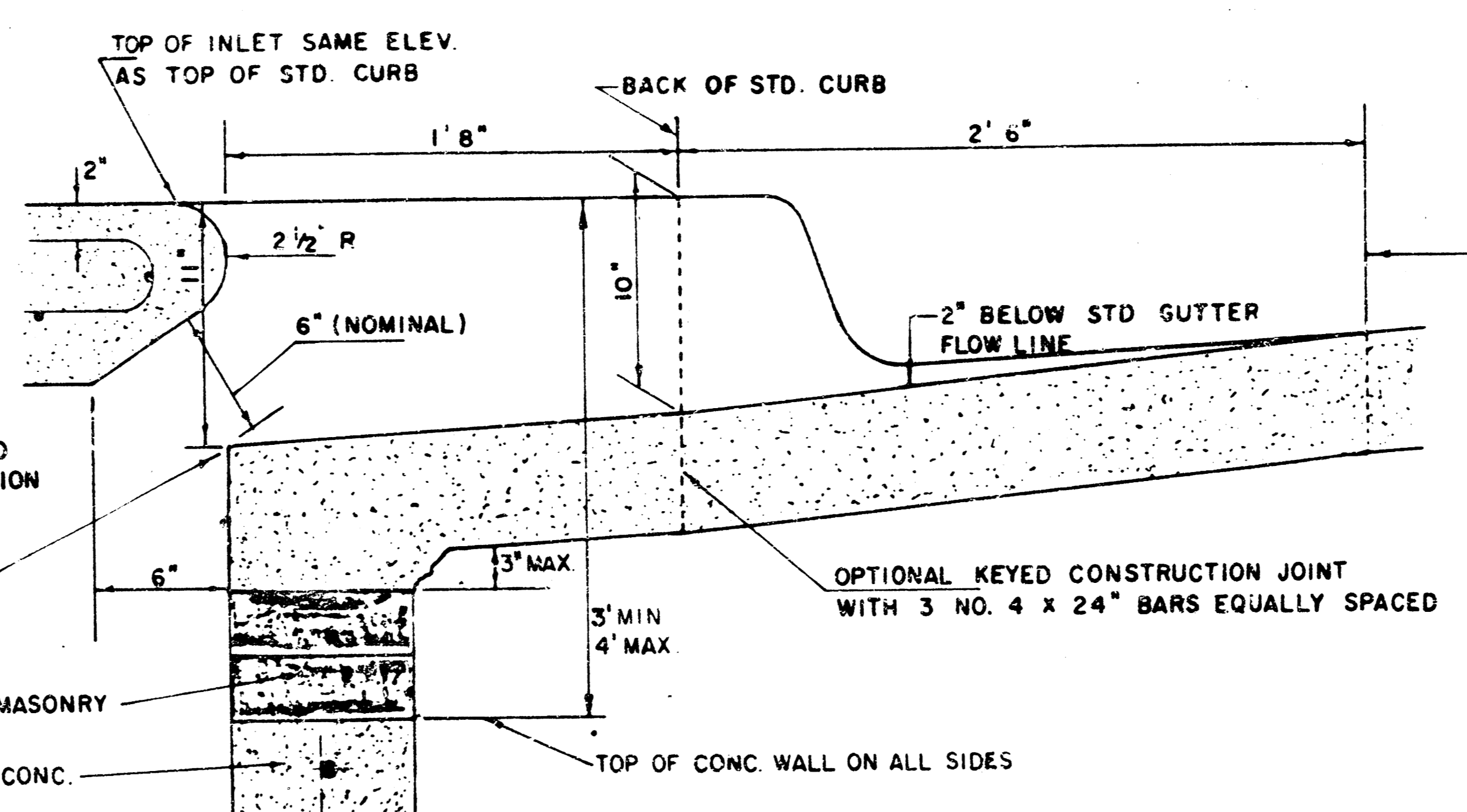
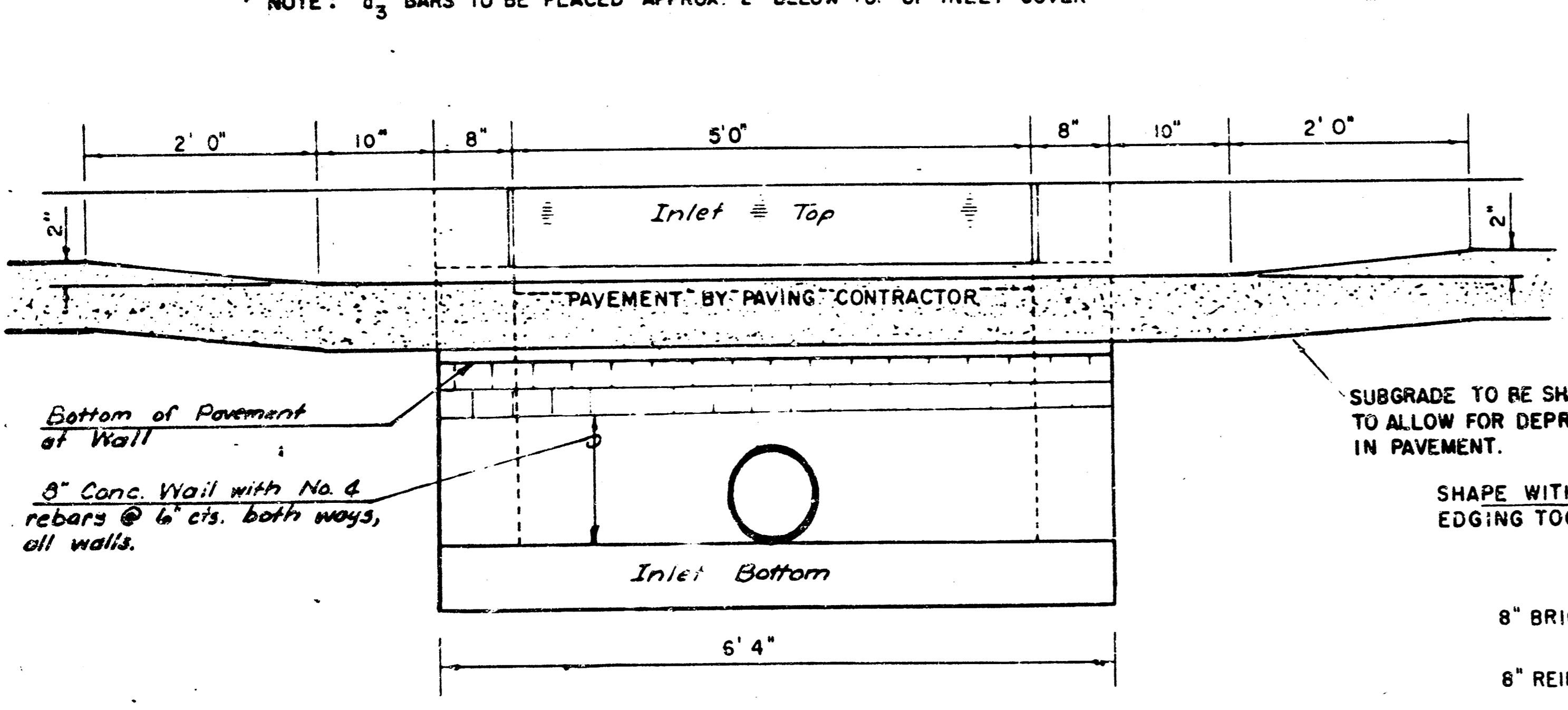
W	PRE-CAST TOP SIZE	PIPE SIZE	CU. YD. CONC.
4'4"	3'8" x 6'4" x 7 1/2"	21" & SMALLER	0.38 ±
5'4"	4'8" x 6'4" x 7 1/2"	24" & 30"	0.51 ±
6'4"	5'8" x 6'4" x 7 1/2"	36" & 42"	0.64 ±
7'4"	6'8" x 6'4" x 7 1/2"	48" & 54"	0.77 ±
8'4"	7'8" x 6'4" x 7 1/2"	60" & 66"	0.90 ±



SECTION A-A



SEE CITY OF WICHITA STANDARD MANHOLE FRAME AND COVER DETAIL SHEET FOR COVER DETAILS TO BE USED WITH INLET FRAME.



REVISED 12-21-1984

**DETAIL STANDARD TYPE IA CURB INLET**

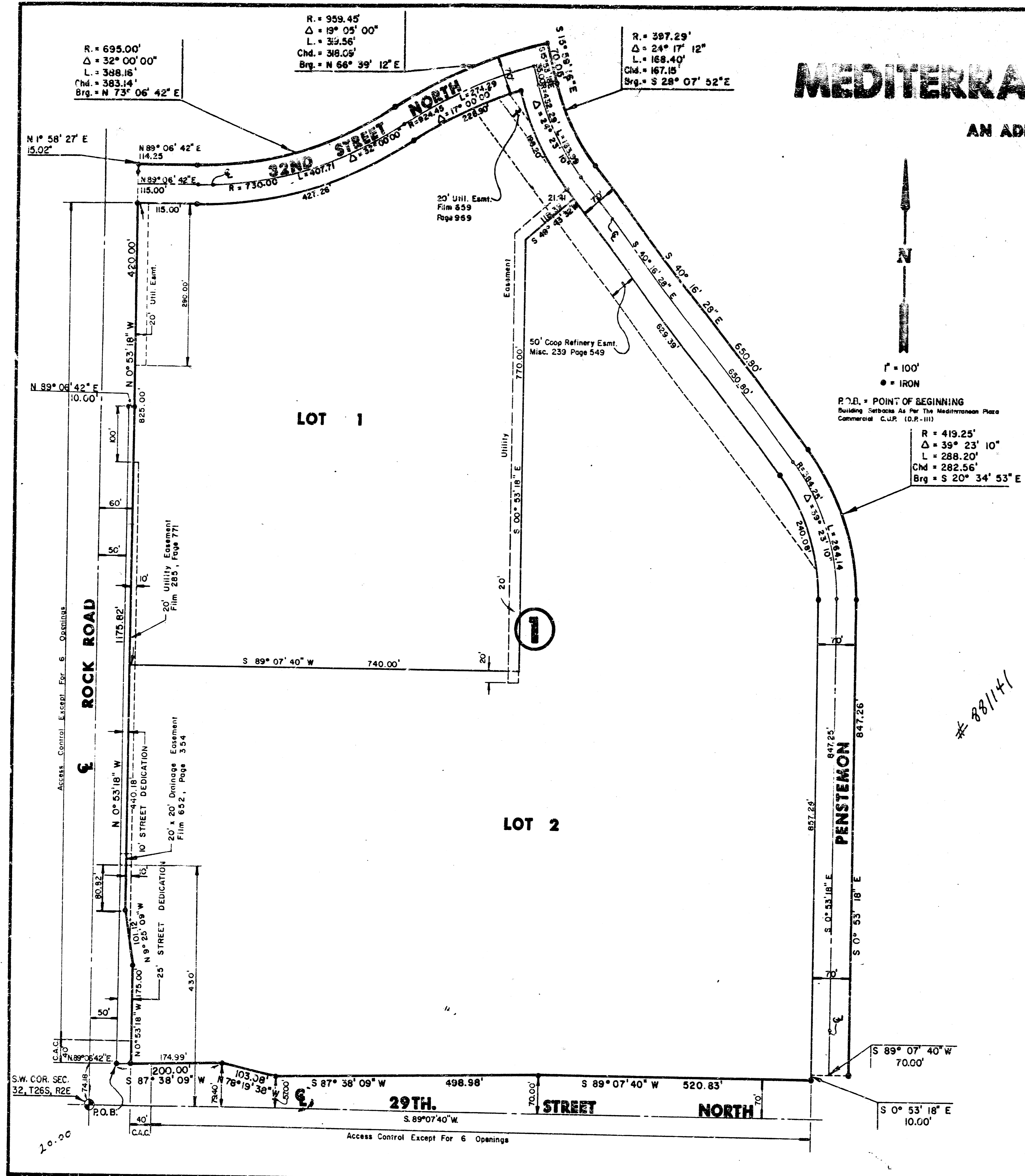
CITY OF WICHITA, KANSAS

INLET OPENING = 6" x 5' 0"

JUNE 1984

# FINAL PLAT OF MEDITERRANEAN PLAZA COMMERCIAL

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



I, Kenneth H. Bengtson, a Civil Engineer in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "MEDITERRANEAN PLAZA COMMERCIAL", an addition to Wichita, Sedgwick County, Kansas, into Lots, a Block, and Streets, the same being accurately set forth in the accompanying plat and described hereinafter:

A tract of unplatted land and a portion of platted land, said platted land lying in the "THE RENAISSANCE", an addition to Wichita, Sedgwick County, Kansas, all lying in the Southwest Quarter, Section 32, Township 26 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:

Commencing at the Southwest corner of said Southwest Quarter; thence N 0° 53' 18" W, 74.18 feet along the West line of said Southwest Quarter; thence N 89° 06' 42" E, 50.00 feet to the point of beginning; thence N 0° 53' 18" W, 1175.82 feet; thence N 89° 06' 42" E, 10.00 feet to a point lying 60.00 feet East of the West line of said Southwest Quarter, said point being the Southwest corner of 31st Street North as platted in said "THE RENAISSANCE"; thence Northerly along the West line of said "THE RENAISSANCE", N 0° 53' 18" W, 420.00 feet; thence N 1° 58' 27" E, 15.02 feet; thence N 89° 06' 42" E, 114.25 feet to a point on a curve to the left; thence along said curve 388.16 feet, said curve having a central angle of 32° 00' 00", a radius of 895.00 feet, and a long chord of 383.14 feet, bearing N 73° 09' 42" E, to a point on a curve to the right; thence along said curve 319.56 feet; said curve having a central angle of 19° 05' 00", a radius of 959.45 feet, and a long chord of 313.09 feet, bearing N 66° 39' 12" E; thence S 15° 59' 16" E, 70.05 feet to a point on a curve to the left; thence along said curve 168.40 feet, said curve having a central angle of 24° 17' 12", a radius of 397.29 feet, and a long chord of 167.15 feet, bearing S 28° 07' 52" E; thence S 40° 16' 28" E, 650.80 feet to a point on a curve to the right, said point also lying on the East line of Penstemon Street as platted in said "THE RENAISSANCE"; thence along said curve and said Penstemon Street 288.20 feet, said curve having a central angle of 39° 23' 10", a radius of 419.25 feet, and a long chord of 282.56 feet, bearing S 20° 34' 53" E; thence continuing along said Penstemon Street S 0° 53' 18" E, 847.26 feet to a point lying 80.00 feet North of the South line of said Southwest Quarter; thence S 89° 07' 40" W, 70.00 feet parallel with said South line; thence S 0° 53' 18" E, 10.00 feet; thence S 89° 07' 40" W, 520.83 feet; thence S 87° 38' 09" W, 498.98 feet; thence N 78° 19' 38" W, 103.08 feet; thence S 87° 38' 09" W, 200.00 feet to the point of beginning.

All Lots, Blocks, Streets, platted easements, building setbacks within the above described property are being vacated and replatted by virtue of K.S.A. 12-512b.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 15th day of March, 1987.

*Kenneth H. Bengtson*  
Kenneth H. Bengtson, P.E.  
Mid-Kansas Engineering Consultants, P.A.  
3500 N. Rock Road, Building #800  
Wichita, KS 67226



Know all men by these presents that we the undersigned property owners of the land as above set forth in the Civil Engineers Certificate, have caused the same to be known as "MEDITERRANEAN PLAZA COMMERCIAL", an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements for the construction and maintenance of drainage and public utilities as indicated on the accompanying plat are hereby granted. All abutters right of access to or from 29th Street North over and across the South line of Lot 2, Block 1, are hereby granted, provided, however, that Lot 2, Block 1 shall have access to 29th Street North at six (6) locations to be determined by the City Engineer. All abutters right of access to or from Rock Road over and across the West lines of Lot 1, Block 1 and Lot 2, Block 1, are hereby granted, provided, however, that Lot 1, Block 1 and Lot 2, Block 1 shall have access to Rock Road at six (6) locations to be determined by the City Engineer. Building setbacks shall be in accordance with the Mediterranean Plaza Commercial C.U.P. (DP-111) on file with the Wichita-Sedgwick County Metropolitan Area Planning Department.

WOODLAWN DEVELOPMENT COMPANY,  
a partnership

By: *Donald G. Ristak*  
Donald G. Ristak, Attorney-in-Fact for  
Woodlawn Development Company

STATE OF KANSAS  
SEDGWICK COUNTY

Be it remembered that on this 18th day of March, 1987, before me a Notary Public in and for said State and County, came Donald J. Ablah, Attorney-in-Fact for Woodlawn Development Company, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

*Joyce L. Kaufman*  
Joyce L. Kaufman  
Notary Public  
My Appointment Expires June 8, 1988

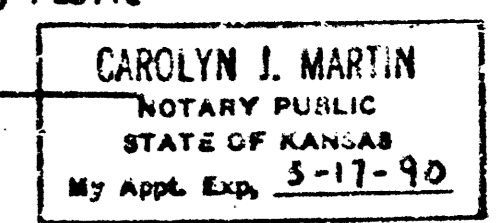
We, the Wichita State Bank, Mortgagees on the above described property, do hereby consent to the plat of "MEDITERRANEAN PLAZA COMMERCIAL".

WICHITA STATE BANK, WICHITA, KANSAS  
By: *Larry E. Burns*  
Larry E. Burns, Senior Vice-President

STATE OF KANSAS )  
SEDGWICK COUNTY ) SS:

Be it remembered that on this 19th day of March, 1987, before me a Notary Public in and for said State and County, came the Wichita State Bank, Wichita, Kansas, by Larry E. Burns, Senior Vice-President to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

*Carolyn J. Martin*  
Carolyn J. Martin  
Notary Public  
My Appointment Expires 3-17-90



This plat of "MEDITERRANEAN PLAZA COMMERCIAL" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 19th day of February, 1987.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION  
*John E. Koot*, Chairman  
*Marvin S. Kroust*, Secretary



This plat approved and all dedications shown hereon, if any, accepted by the City Commission of the City of Wichita, Kansas, this 21st day of March, 1987.

*Tony Casado*, Mayor  
*Dale E. Rea*, Deputy City Clerk

Entered on transfer record this 12th day of March, 1987.  
*Don Wright*, County Clerk

STATE OF KANSAS )  
SEDGWICK COUNTY ) SS:

This is to certify that this instrument was filed for record in the Register of Deeds office this 14th day of May, 1987, at 3:00 PM.

*Pat Kettler*  
Pat Kettler, Register of Deeds  
*Ed Resa*, Deputy

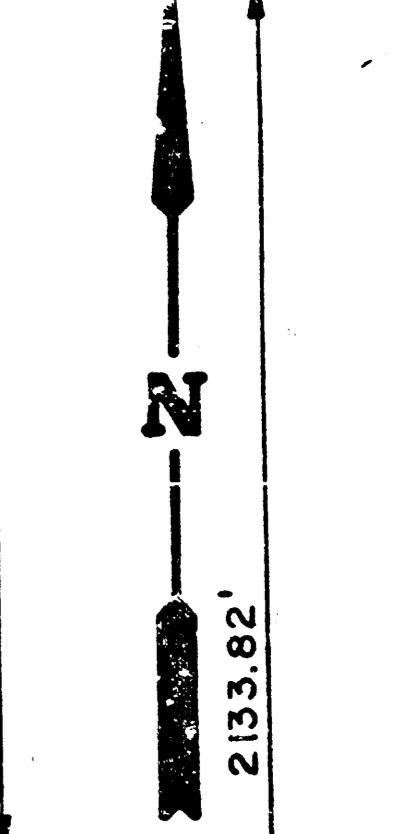
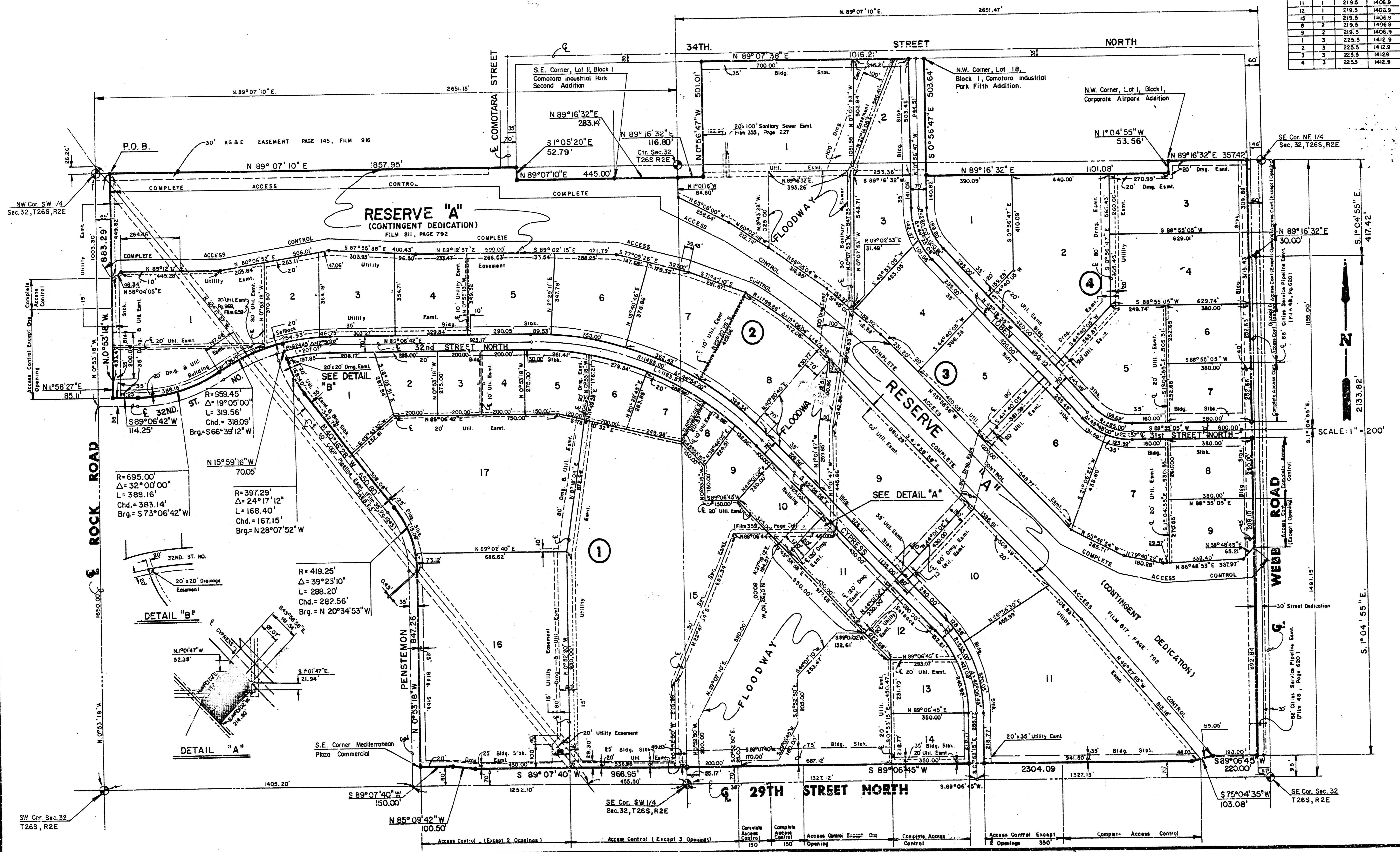


11-7 N

# FINAL PLAT OF MEDITERRANEAN PLAZA

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

Lot No.	Block No.	Minimum City Frontage	Minimum Lot Area (U.S.S.)
10	1	219.5	1406.9
11	1	219.5	1406.9
12	1	219.5	1406.9
13	1	219.5	1406.9
14	2	219.5	1406.9
15	2	219.5	1406.9
1	3	225.5	1412.9
2	3	225.5	1412.9
3	3	225.5	1412.9
4	3	225.5	1412.9



15/16

B 6-38

# FINAL PLAT FOR MEDITERRANEAN PLAZA AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

I, Kenneth H. Bengtson, a Civil Engineer and a Registered Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "MEDITERRANEAN PLAZA", an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, Streets and a Reserve, the same being accurately set forth in the accompanying plat and described herein:

A tract of unplatted and platted land consisting of CORPORATE AIRPARK ADDITION, a portion of THE RENAISSANCE, and a portion of COMOTARA INDUSTRIAL PARK FIFTH ADDITION, additions to Wichita, Sedgwick County, Kansas, all lying in Section 32, Township 26 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:

Beginning at a point lying 65.00 feet East of the Northwest corner and lying on the North line of the Southwest Quarter of said Section 32; thence N 89° 07' 10" E, 1857.95 feet along the North line of said Southwest Quarter to a point on the East right-of-way line of Comotara Street as platted in COMOTARA INDUSTRIAL PARK SECOND ADDITION, an addition to Wichita, Sedgwick County, Kansas, said point also lying on the West line of Lot 11, Block 1, in said addition; thence S 01° 05' 20" E, 52.79 feet along the West line of said Lot 11, Block 1; thence N 89° 07' 10" E, 445.00 feet along the South line of said Lot 11, Block 1, to the Southeast corner of said Lot 11, Block 1, said point also being the Southeast corner of said COMOTARA INDUSTRIAL PARK SECOND ADDITION and the Southwest corner of COMOTARA INDUSTRIAL PARK FIFTH ADDITION, an addition to Wichita, Sedgwick County, Kansas; thence N 89° 15' 32" E, 283.14 feet along the South line of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; said point lying on the East line of said Southwest Quarter; thence continuing along said South line N 89° 16' 32" E, 116.80 feet parallel with the North line of the Southeast Quarter of said Section 32; thence N 00° 56' 47" W, 501.01 feet to the South line of 34th Street North, as platted in said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; thence N 89° 07' 38" E, 1016.21 feet along said South line to the Northwest corner of Lot 18, Block 1, of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; thence S 00° 56' 47" E, 503.64 feet to the Southwest corner of said Lot 18, Block 1; thence N 89° 16' 32" E, 1101.08 feet along said South line to a point on the West line of CORPORATE AIRPARK ADDITION, an addition to Wichita, Sedgwick County, Kansas; thence N 01° 04' 55" W, 53.56 feet to the Northwest corner of said CORPORATE AIRPARK ADDITION said point lying on the South line of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; thence N 89° 16' 32" E, 357.42 feet along said South line to the Southeast corner of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION, said point also being the Northeast corner of Lot 1, Block 1, of said CORPORATE AIRPARK ADDITION; thence S 01° 04' 55" E, 417.42 feet parallel and 60.00 feet West of the East line of said Southeast Quarter; thence N 89° 16' 32" E, 30.00 feet; thence S 01° 04' 55" E, 213.82 feet parallel and 30.00 feet West of the East line of said Southeast Quarter to a point lying 95.00 feet North of the South line of said Southeast Quarter; thence S 89° 06' 45" W, 220.00 feet parallel with said South line; thence S 75° 04' 35" W, 103.08 feet to a point lying 70.00 feet North of the South line of said Southeast Quarter; thence S 89° 06' 45" W, 2304.09 feet parallel and 70.00 feet North said South line to a point on the West line of said Southeast Quarter; thence S 89° 07' 40" W, 966.95 feet parallel and 70.00 feet North of the South line of said Southwest Quarter; thence N 85° 09' 42" W, 100.50 feet to a point lying 80.00 feet North of the South line of said Southwest Quarter; thence S 89° 07' 40" W, 150.00 feet to the Southeast corner of MEDITERRANEAN PLAZA COMMERCIAL, an addition to Wichita, Sedgwick County, Kansas; thence following the Easterly and Northerly boundary of said MEDITERRANEAN PLAZA COMMERCIAL N 00° 53' 18" W, 847.26 feet to a point on a curve to the left thence along said curve 288.20 feet, said curve having a central angle of 39° 23' 10", a radius 419.25 feet, and a long chord of 282.56 feet, bearing N 20° 34' 53" W; thence N 40° 16' 20" W, 650.80 feet to a point on a curve to the right; thence along said curve 168.40 feet, said curve having a central angle of 24° 17' 12", a radius of 397.29 feet, and a long chord of 167.15 feet, bearing N 28° 07' 52" W; thence N 15° 59' 16" W 70.05 feet to a point on a curve to the left; thence along said curve 319.56 feet, said curve having a central angle of 19° 05' 00", a radius of 959.45 feet, and a long chord of 318.09 feet, bearing S 66° 39' 12" W, to a point on a curve to the right; thence along said curve 388.16 feet, said curve having a central angle of 32° 00' 00", a radius of 695.00 feet, and a long chord of 383.14 feet, bearing S 73° 06' 42" W; thence S 89° 06' 42" W, 114.25 feet; thence N 01° 58' 27" E, 85.11 feet to a point lying 65.00 feet East of the West line of said Southwest Quarter; thence N 00° 53' 18" W, 883.29 feet parallel with and 65.00 feet East of the West line of said Southwest Quarter to the point of beginning.

All lots, blocks, streets, platted easements, building setbacks within the above described property are being vacated and replatted by virtue of K.S.A. 12-512b.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 31<sup>st</sup> day of December, 1987.

Kenneth H. Bengtson  
Kenneth H. Bengtson, P.E., R.L.S. #922  
Mid-Kansas Engineering Consultants, P.A.  
3500 N. Rock Road, Building #800  
Wichita, KS 67226



Know all men by these presents that we the undersigned property owners of the land as above set forth in the Civil Engineer's and Registered Land Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, Blocks, Streets and a Reserve, the same to be known as "MEDITERRANEAN PLAZA", an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements for the construction and maintenance of drainage and public utilities as indicated on the accompanying plat are hereby granted. The floodway shall be the responsibility of the owners until such time as the governing body exercising jurisdiction elects to assume the responsibility for the maintenance and improvement of the drainage, provided further, that no structure shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the City Engineer. Reserve "A" is platted for the right-of-way for the Northeast Expressway and is subject to the terms of a contingent dedication recorded on File #11, Page 792. All abutter rights of access to or from Reserve "A" are hereby dedicated to the City of Wichita. All abutter rights of access to or from the East line of Rock Road over and across the West line of Mediterranean Plaza, are hereby dedicated to the City of Wichita, except that Lot 1, Block 2 shall have access to Rock Road at one location. All abutter rights to or from the North line of 29th Street North over and across the South line of Mediterranean Plaza, are hereby dedicated to the City of Wichita, except that Lot 15, Block 1 shall have access to 29th Street North at four locations; Lot 16, Block 1 shall have access to 29th Street North at two locations; and, Lot 11, Block 2 shall have access to 29th Street North at two locations. All abutter rights of access to or from the West line of Webb Road over and across the East line of Mediterranean Plaza, are hereby dedicated to the City of Wichita, except that Lot 9, Block 3 and Lots 3, 4, and 6, Block 4 shall have access to Webb Road at 1 location each. All access locations shall be determined by the City Engineer. Minimum pad elevations are as indicated on the accompanying plat.

All lots, blocks, streets, platted easements, and building setbacks within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

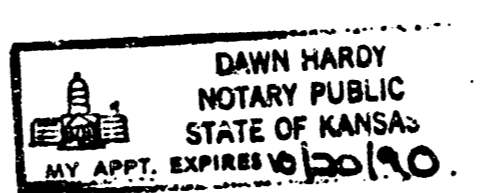
WOODLAWN DEVELOPMENT COMPANY,  
a partnership

By: Donald J. Nolan  
Donald J. Nolan, Attorney-in-fact for  
Woodlawn Development Company

STATE OF KANSAS )  
SEDGWICK COUNTY ) ss:

Be it remembered that on this 31<sup>st</sup> day of December, 1987, before me a Notary Public in and for said State and County, came Donald J. Nolan, Attorney-in-fact for Woodlawn Development Company, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Dawn Hardy, Notary Public  
Dawn Hardy  
My Appointment Expires: 10/20/90



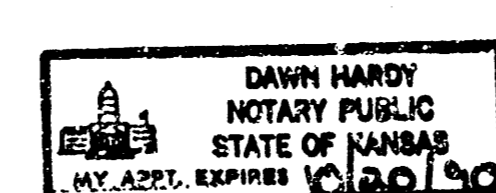
We, the Chemical Bank mortgagees on the above described property, do hereby consent to the plat of "MEDITERRANEAN PLAZA".

CHEMICAL BANK  
By: Phillip S. Fricca  
Phillip S. Fricca, Attorney-in-fact

STATE OF KANSAS )  
SEDGWICK COUNTY ) ss:

Be it remembered that on this 31<sup>st</sup> day of December, 1987, before me a Notary Public in and for said State and County, came Phillip S. Fricca, Attorney-in-fact, on behalf of Chemical Bank, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Dawn Hardy, Notary Public  
Dawn Hardy  
My Appointment Expires: 10/20/90



This plat of "MEDITERRANEAN PLAZA" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 28 day of Ms., 1987.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION  
John Terry Moore, Chairman  
Marvin S. Krout, Secretary  
Marvin S. Krout



This plat approved and all dedications shown hereon, if any, accepted by the City Council of the City of Wichita, Kansas, this 19<sup>th</sup> day of March, 1988.

Robert C. Knight, Mayor  
Dale E. Rea, Deputy City Clerk  
Dale E. Rea



Entered on transfer record this 15<sup>th</sup> day of March, 1988.

Don Wright, County Clerk  
Don Wright



STATE OF KANSAS )  
SEDGWICK COUNTY ) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this 16<sup>th</sup> day of MARCH, 1988.

Pat Kettler, Register of Deeds  
Ed Rea, Deputy  
Ed Rea

# 936453

20.000