

BENCHMARKS:
 City Disc In T.C. Adj. to F.H. 38'
 South of intersection of Onewood
 and Auburn Hills.
 Elev. = 173.48 (City Datum)

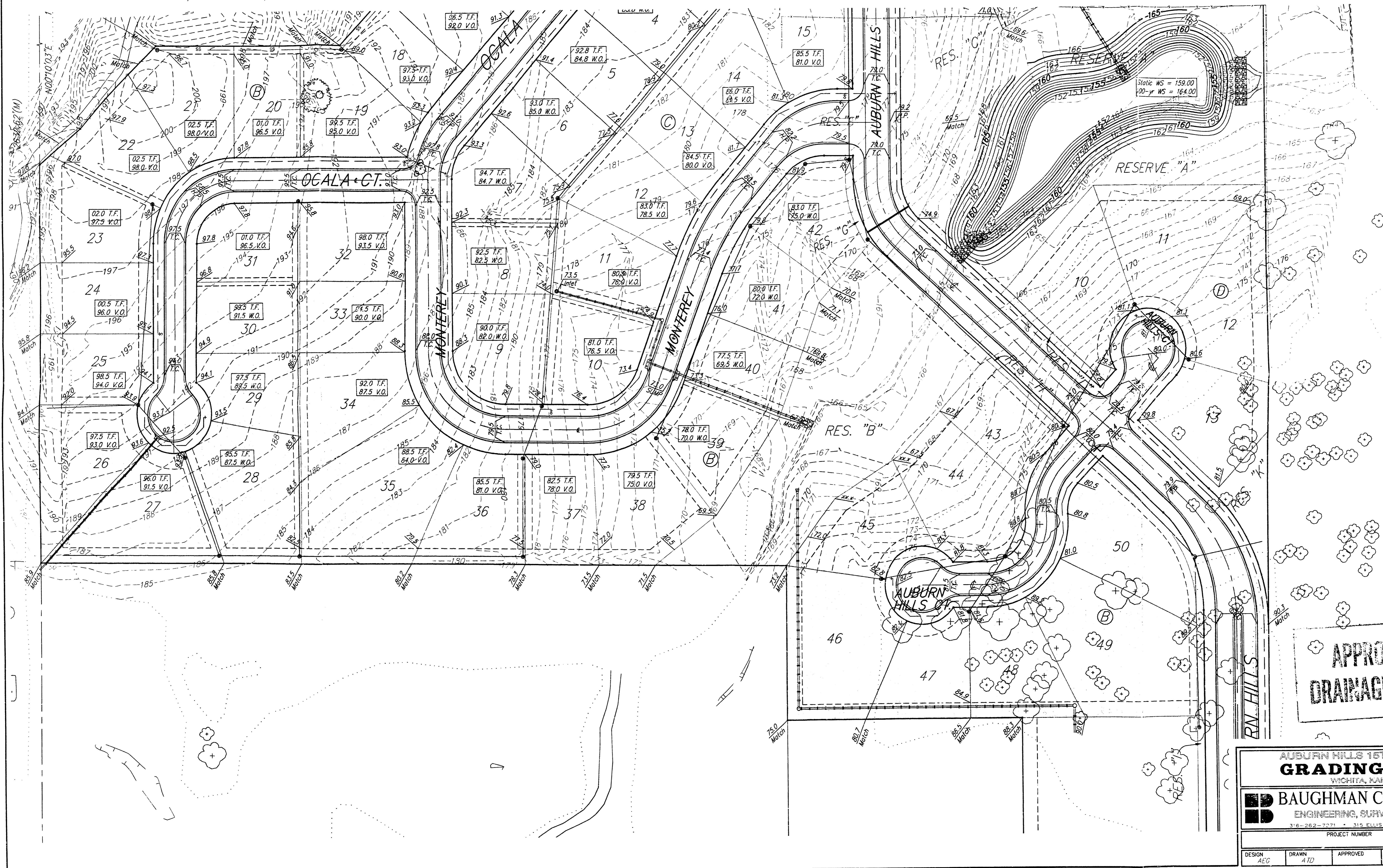
"□" cut in south curb of Onewood
 272' west of C.L. Auburn Hills.
 Elev. = 179.73 (City Datum)

See Sheet 2 for Notes and Typical's

* Extra-deep foundation shall be
 required for Lots 8-9, Block D.

--- 10 --- Existing Grade

Scale: 1" = 60'



**APPROVED
 DRAINAGE PLAN**

**AUBURN HILLS 15TH ADDITION
 GRADING PLAN**
 WICHITA, KANSAS

BAUGHMAN COMPANY P.A.
 ENGINEERING, SURVEYING, & PLANNING
 316-262-7272 • 316-262-7273 • WICHITA, KANSAS 67211

DESIGN	DRAWN	APPROVED	DATE	SCALE	SHEET
LEG	ATD		06/04	Noted	1 2

BENCHMARKS:
 City Disc In T.C. Adj to F.H. 38'
 South of intersection of Onewood
 and Auburn Hills.
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NOTES:

A master grading plan for drainage has been developed for the subdivision and is on file with the City of Wichita, Kansas. Construction of residential structures must follow the master site grading plan elevations which are higher than the minimum pad requirement.

All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the City Engineer of the City of Wichita, Kansas. No obstructions which impede the flow of this drainage system shall be allowed.

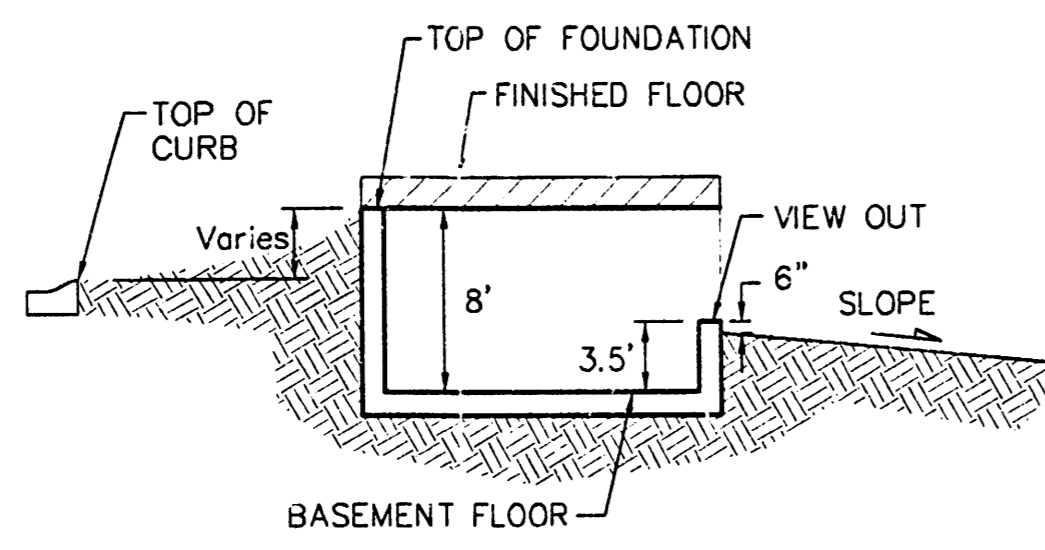
Proposed top of foundation elevations are shown on plans. Contractor to set finished floor elevations.

All street elevations shown on plans are for top of curb (full-height). Typically roll-type curbs are constructed. Deduct 0.25' from top of curb (full-height).

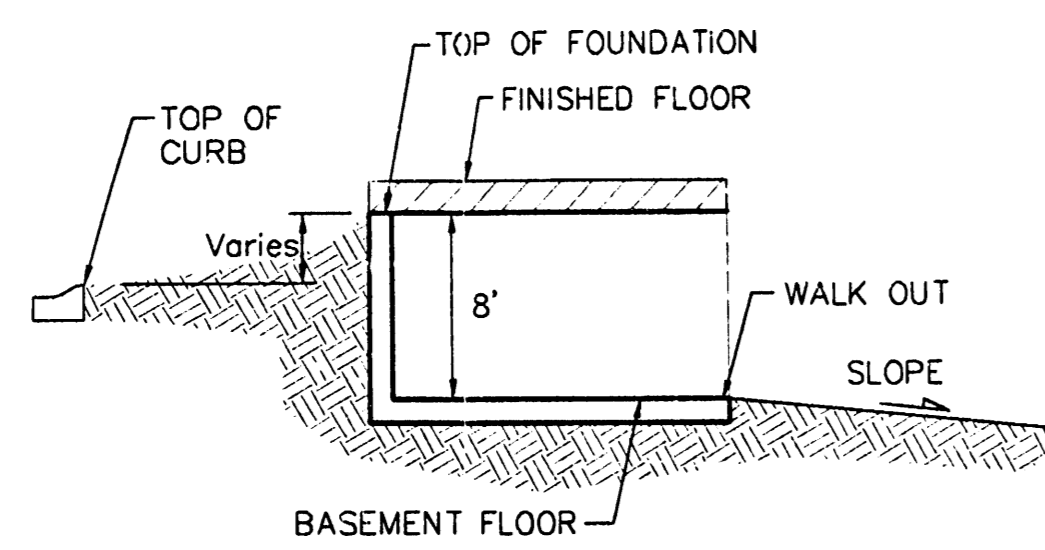
This Grading Plan is designed with View-Out and Walk-Out Basements. Elevations shown at Rear of House (XX.X V.O. and XX.X W.O.) are for minimum opening.

All elevations shown on plans are City of Wichita Datum.

* Extra-deep foundation shall be required for Lots 8-9, Block D.

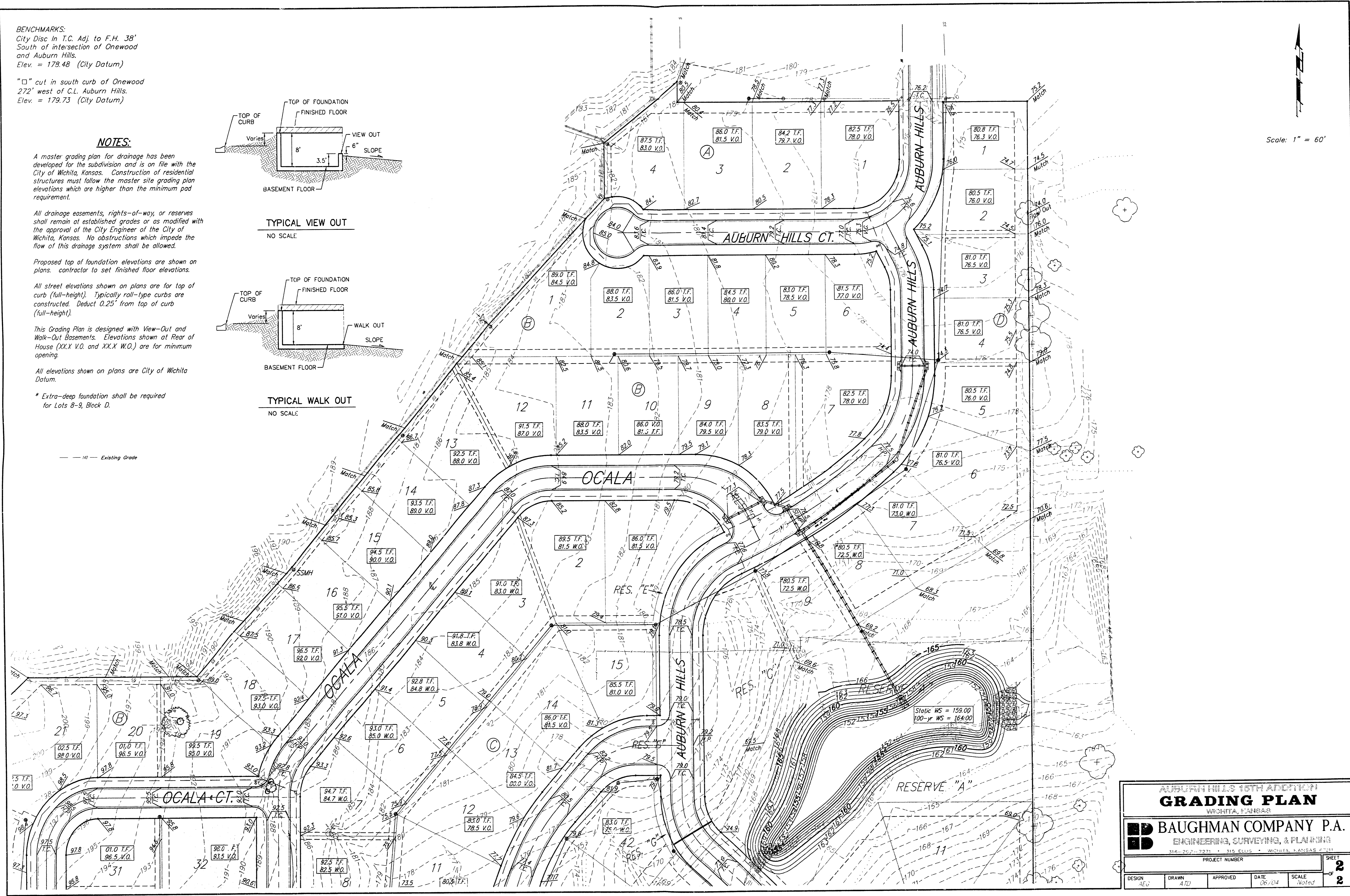
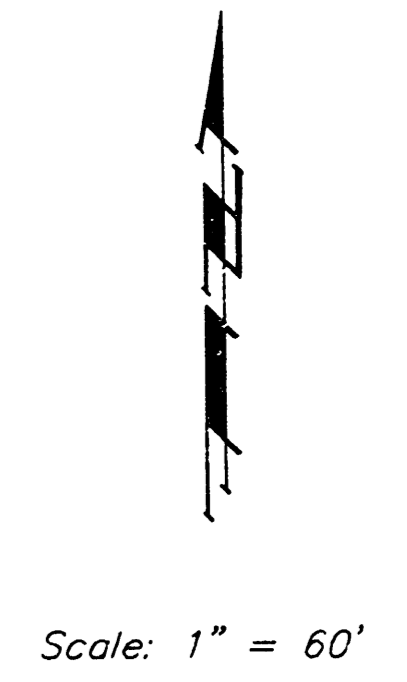


TYPICAL VIEW OUT
NO SCALE



TYPICAL WALK OUT
NO SCALE

--- Existing Grade



AUBURN HILLS 15TH ADDITION
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 WICHITA, KANSAS

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 214-267-2224 • 115 ELLIS • WICHITA, KANSAS 67201

DESIGN	DRAWN	APPROVED	DATE
LEG	ATD	[Signature]	06/04
PROJECT NUMBER			SCALE
			Noted
SHEET			2
OF			2