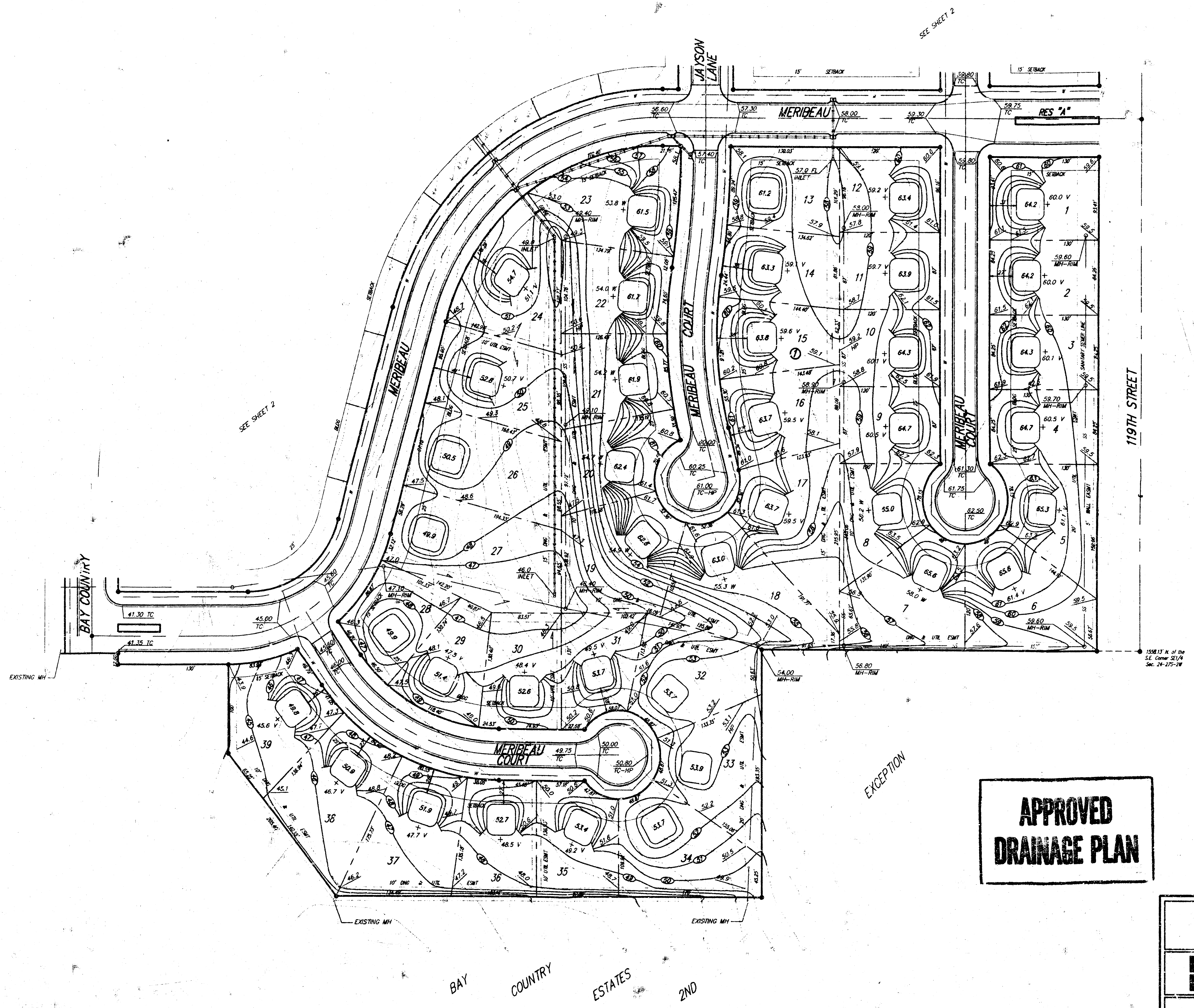




Scale: 1" = 60'

• = iron

BENCH MARK:
City Dist 40' E and 46' S of centerline
Intersection of Central Avenue and
119th Street West
Elev = 1344.33 MSL Datum
Elev = 156.93 City Datum

NOTE:
Proposed minimum garage floor
elevations are shown on plans.
Contractor to set finish floor elevation.
All street elevations shown on plans
are for top of curb (full height).
Contour elevations shown are for
graphic representation of drainage
concept. Spot elevations shall take
precedence over contour lines.
Setback distances shown beyond the
platted 25' building setback line
are shown for garage locations so that
the driveway slope does not exceed 10%.

MINIMUM BUILDING PAD ELEVATIONS
FOR LOWEST OPENING OF STRUCTURE

Lot & Block	City Datum	MSL
1, 2, 3, 4 - Blk 2	137.6	1325
5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16	137.6	1325
17, 18, 19, 20, 21, 22, 23, 24	137.6	1325
25, 26, 27, 28 - Blk 2	137.6	1325
29, 30, 31 - Blk 2	138.6	1336
32 - Blk 3	138.6	1337
33, 34, 35, 36, 37, 38, 39, 40	140.6	1358
41, 42, 43, 44, 45, 46, 47, 48, 49, 50	140.6	1358
51, 52, 53, 54, 55, 56, 57, 58, 59, 60	140.6	1358
61, 62, 63, 64, 65, 66, 67, 68, 69, 70	140.6	1358
71, 72, 73, 74, 75, 76, 77, 78, 79, 80	140.6	1358
81, 82, 83, 84, 85, 86, 87, 88, 89, 90	140.6	1358
91, 92, 93, 94, 95, 96, 97, 98, 99, 100	140.6	1358

NOTE:
No building permits are to be issued for any lots within "BREEZY
POINTE 2ND ADDITION", unless the lowest floor can be constructed
at or above the BFE or unless the City of Wichita has received a
Letter of Map Amendment from the Federal Emergency Management
Agency which will then allow buildings to be constructed at the
lowest opening as specified above.

**APPROVED
DRAINAGE PLAN**

**BREEZY POINTE 2ND ADDITION
LOT GRADING PLAN**

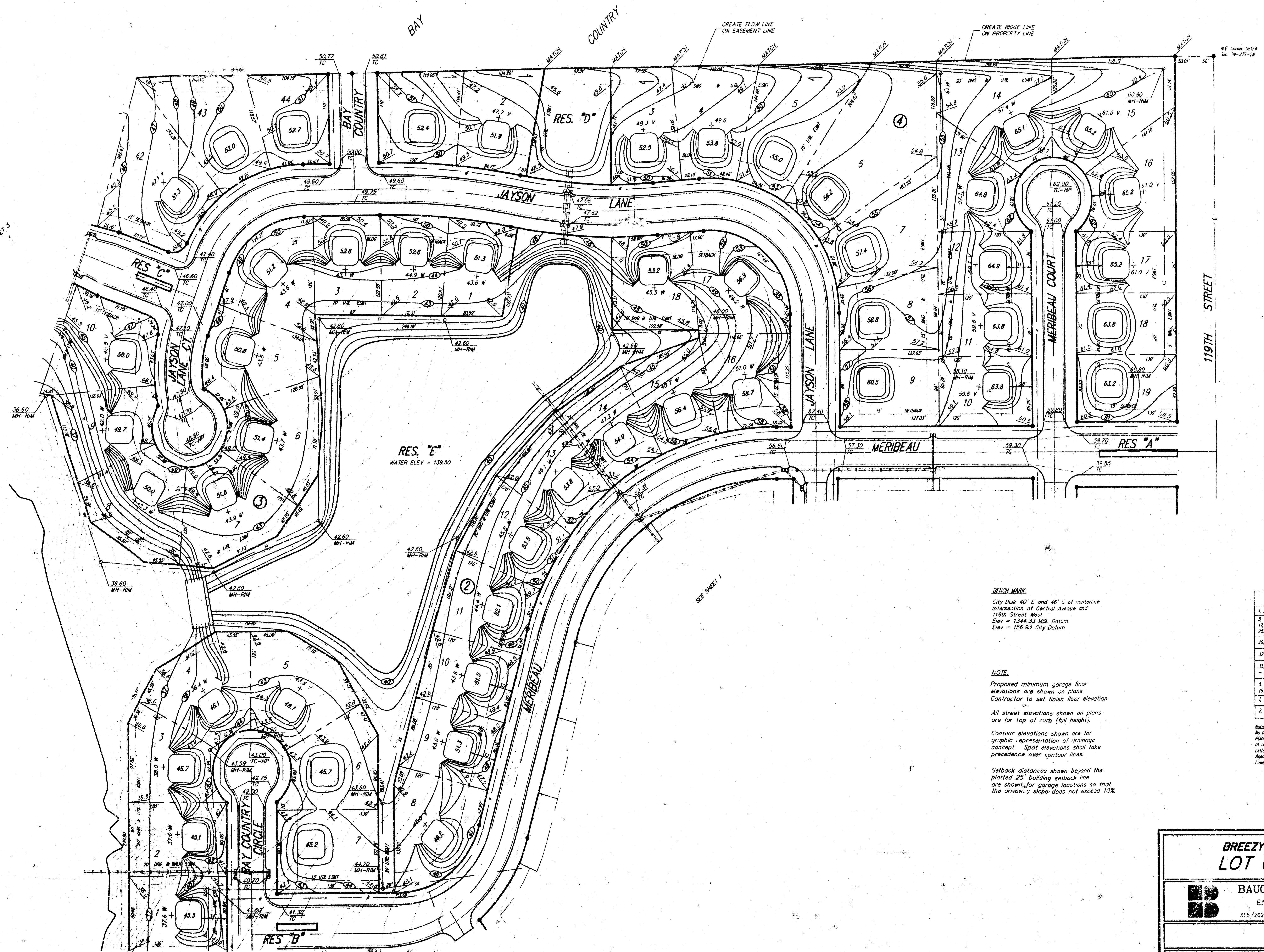
BAUGHMAN COMPANY P. A.
ENGINEERING & SURVEYING
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: _____

DESIGN: B.A.M. DRAWN: KATIE APPROVED: _____ DATE: 1-13-93 SCALE: 1" = 60'

SHEET 1 OF 3

SEE SHEET J



SCALE 1" = 60'

BENCH MARK
City Dike 40' E and 46' S of centerline
Intersection of Central Avenue and
119th Street West
Elev = 1344.33 MSL Datum
Elev = 156.93 City Datum

NOTE:
Proposed minimum garage floor
elevations are shown on plans.
Contractor to set finish floor elevation.
All street elevations shown on plans
are for top of curb (full height).

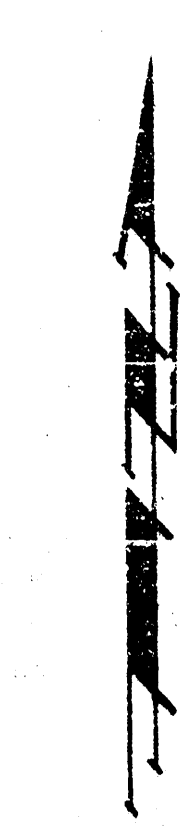
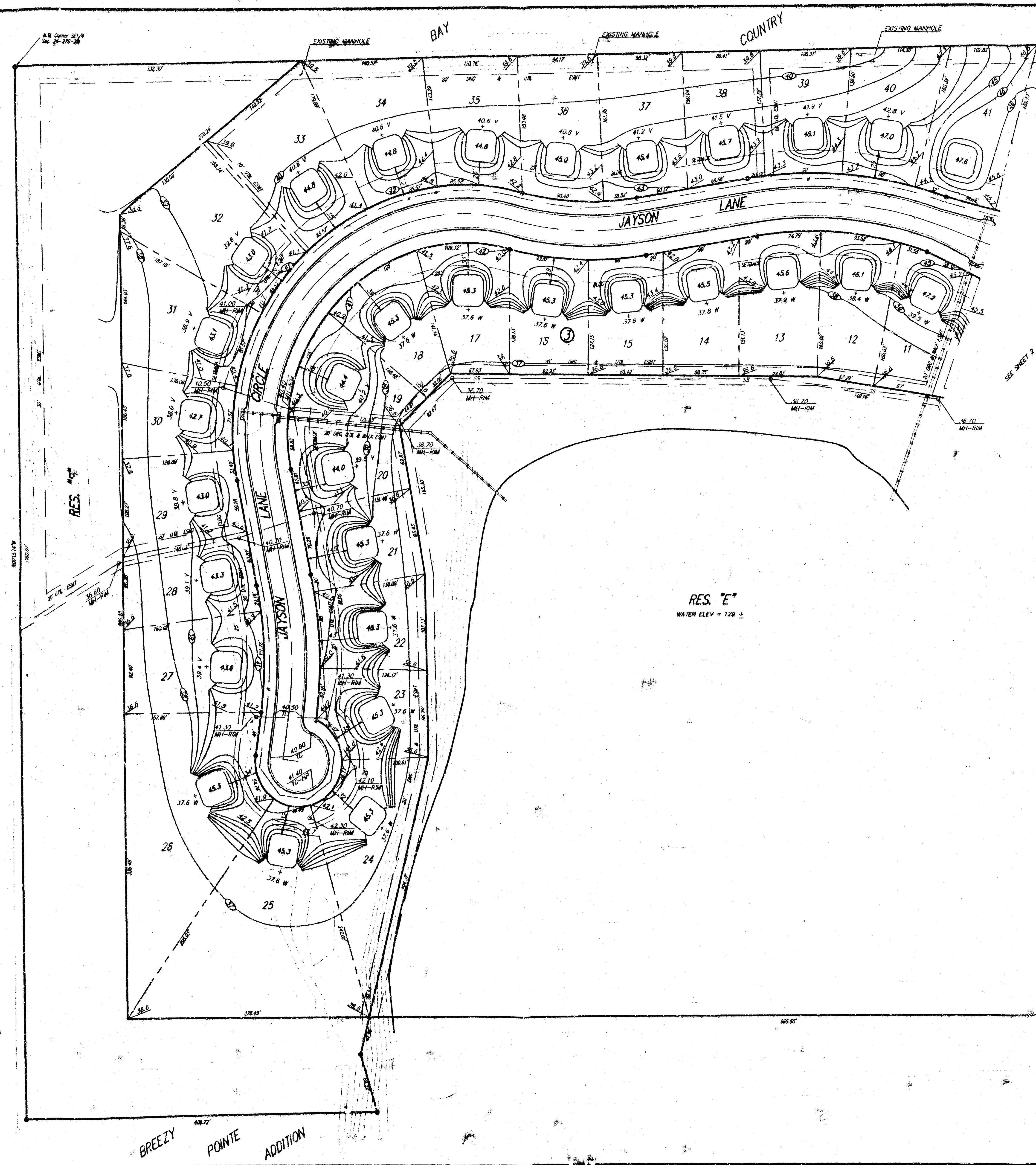
Contour elevations shown are for
graphic representation of drainage
concept. Spot elevations shall take
precedence over contour lines.

Setback distances shown beyond the
plotted 25' building setback line
are shown for garage locations so that
the driveway slope does not exceed 10%.

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING OF STRUCTURE		
Lot & Block	City Datum	MSL
1, 2, 3, 4 - Bk 2	137.8	132.5
5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16		
17, 18, 19, 20, 21, 22, 23, 24, 25		
26, 27, 28 - Bk 3		
29, 30, 31 - Bk 3	138.6	133.6
32 - Bk 3	139.0	133.7
33, 34, 35, 36, 37, 38, 39, 40	140.6	132.9
41 - Bk 3		
42, 43, 44, 45, 46, 47, 48, 49, 50	143.8	133.1
51, 52, 53, 54, 55, 56, 57, 58, 59, 60		
61, 62, 63, 64, 65, 66, 67, 68, 69, 70	146.6	133.4

NOTE:
No building permits are to be issued for any lots with "BREEZY
POINT 2ND ADDITION" unless the lowest floor can be constructed
at or above the FFE or unless the City of Wichita has received a
Letter of Map Revision from the Federal Emergency Management
Agency which will allow buildings to be constructed at the
lowest opening as specified above.

BREEZY POINTE 2ND ADDITION LOT GRADING PLAN				
BAUGHMAN COMPANY P. A. ENGINEERING & SURVEYING 315/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211				
PROJECT NUMBER				SHEET
DESIGN	DRAWN	APPROVED	DATE	SCALE
B.A.M.	KATIE		1-13-93	1" = 60'
				2 OF 3



SCALE: 1" = 60'
= IRON

BENCHMARK
City Box 40' E and 45' S of centerline
Intersection of Central Avenue and
150th Street West
Elev = 1564.33 MSL Datum
Elev = 1569.93 City Datum

NOTE:
Proposed minimum garage floor
elevations are shown on plans.
Contractor to set finish floor elevation.

All street elevations shown on plans
are for top of curb (full height).

Contour elevations shown are for
graphic representation of drainage
concept. Spot elevations shall take
precedence over contour lines.

Setback distances shown beyond the
platted 25' building setback line
are shown for garage locations so that
the driveway slope does not exceed 10%.

**MINIMUM BUILDING FLOOR ELEVATIONS
FOR LOWEST DRAINAGE OF STRUCTURE**

Lot & Block	City Datum	Elevation
1, 2, 3, 4 - Blk 2	137.6	1325
5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28 - Blk 3	138.6	1326
29, 30, 31 - Blk 4	138.5	1327
32 - Blk 5	140.6	1328
33, 34, 35, 36, 37, 38, 39, 40 - Blk 6	142.6	1331
41, 42, 43, 44, 45, 46, 47 - Blk 7	146.6	1334

NOTE:
No building permits are to be issued for any lots within "BREEZY
POINTE 2ND ADDITION" unless the lowest floor can be constructed
at or above the BFE or unless this City of Wichita has received a
Letter of Approval from The Federal Emergency Management
Agency which will then allow buildings to be constructed at the
lowest opening as specified above.

**BREEZY POINTE 2ND ADDITION
LOT GRADING PLAN**

BAUGHMAN COMPANY P. A.
ENGINEERING & SURVEYING
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER					SHEET 3 OF 3
DESIGN B.A.M.	DRAWN KATIE	APPROVED	DATE 1-13-93	SCALE 1" = 60'	

State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) do hereby certify that we have surveyed
and plotted "BREEZY POINTE 2ND ADDITION", Wichita, Sedgwick County,
Kansas and that the accompanying plot is a true and correct exhibit
of the property surveyed, described as follows: That part of the
SE 1/4 of Sec. 24, Twp 27-S, R-2-W of the 6th P.M., Sedgwick
County, Kansas, described as commencing at the S.E. Corner thereof;
thence N00°00'12"W, along the east line of said SE 1/4, 1553.13 feet
for a place of beginning; thence S89°59'48"W, 449.55 feet; thence
S00°00'12"E, 279.23 feet; thence S89°59'48"W, 505.54 feet;
thence N48°14'29"W, 205.40 feet; thence N00°00'12"W, 100 feet;
thence S89°59'48"W, 130 feet; thence N00°00'12"W, 12.60 feet;
thence S89°59'48"W, 965.55 feet; thence S14°01'32"W, 41.95 feet;
thence S16°29'35"E, 66.52 feet; thence S89°06'41"W, 406.72 feet
to the west line of said SE 1/4; thence N00°15'14"W, along the west
line of said SE 1/4, 885.88 feet to the N.W. Corner of said SE 1/4;
thence S9°06'41"E, along the north line of said SE 1/4, 2582.15 feet
to the N.E. Corner of said SE 1/4; thence S00°00'12"E, along the
east line of said SE 1/4, 1083.16 feet to the place of beginning.
Existing public easements and dedications being vacated by
virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Date _____
Mark A. Savoy Surveyor

Know all men by these presents that we, the
undersigned, have the land described in the surveyors certificate to be
plotted into Lots, Blocks, Streets and Reserves to be known as "BREEZY
POINTE 2ND ADDITION", Wichita, Sedgwick County, Kansas. Reserves "A"
and "B" are hereby reserved for entry monuments, landscaping and
for street and utility purposes. Reserves "C", "D", and "E" are hereby
reserved for floodway and drainage purposes, landscaping and sidewalks.
Reserves "A", "B", "C", "D", and "E" shall be owned and maintained by
the homeowners association for the addition. The utility easements
are hereby granted for the construction and maintenance of all public
utilities. The drainage easements are hereby granted for drainage
purposes. The drainage and utility easements are hereby granted as
indicated for drainage purposes and construction and maintenance of
all public utilities. The streets are hereby dedicated to and for the
use of the public. All abutters rights of access to or from 119th
Street over and across the east line Lots 1, 2, 3, 4, 5, and 6, Blk 1,
and Lots 15, 16, 17, 18, and 19, Blk 4, and hereby granted to the
City of Wichita, Kansas. Minimum Building Pda Elevations for the
lowest opening to the structures are as shown on the accompanying
plot.

Last Creek, Inc.

Jay W. Russell, President

State of Kansas) SS The foregoing instrument acknowledged be-
fore me, this _____ day of _____ 1992, by Jay W.
Russell, President of Last Creek, Inc., on behalf of the corporation.

My App't. Exp. _____
_____, Notary Public

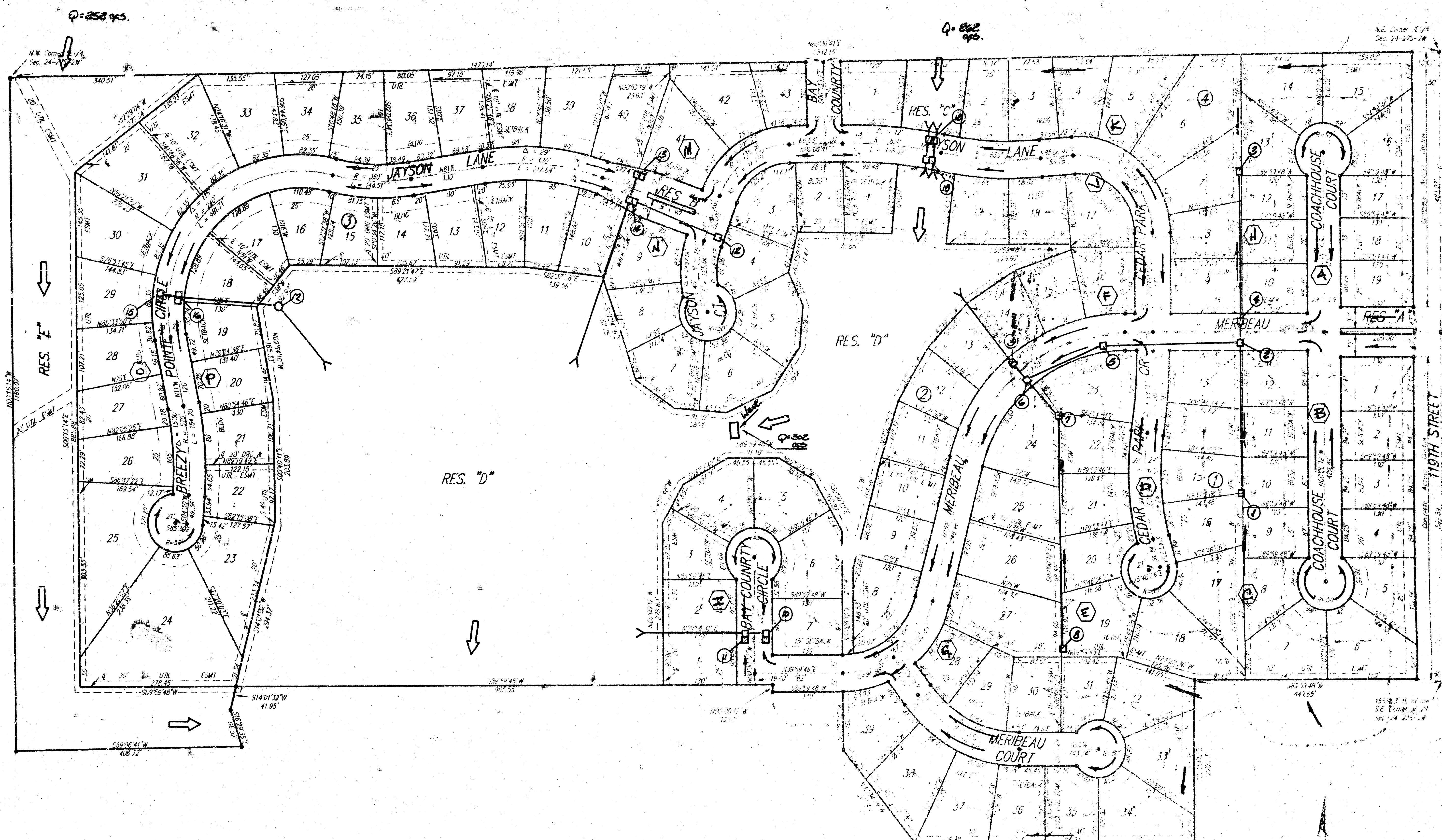
We, the undersigned, holders of a mortgage
on the above described property do hereby consent to this plat of
"BREEZY POINTE 2ND ADDITION", Wichita, Sedgwick County, Kansas.

1st. National Bank in Wichita

Roger E. Eastwood, Vice-President

State of Kansas) SS The foregoing instrument acknowledged be-
fore me, this _____ day of _____ 1992, by Roger E.
Eastwood, Vice-President of 1st National Bank in Wichita, on behalf
of the corporation.

My App't. Exp. _____
_____, Notary Public



This plat of "BREEZY POINTE 2ND ADDITION",
Wichita, Sedgwick County, Kansas has been submitted to and approved
by the Wichita-Sedgwick County Metropolitan Area Planning Com-
mission.
Dated this _____ day of _____ 1992.
Wichita-Sedgwick County Metropolitan Area Planning Commission

Christopher J. Goebel, Chairman
Marvin S. Krowl, Secretary

This plat approved and all dedications
shown hereon, accepted by the City Council of the City of Wichita,
Kansas, this _____ day of _____ 1992.

Bob Knight, Mayor
Pat Burnett, Deputy City Clerk

Entered on transfer record this _____ day
of _____ 1992.

Eon Wright, County Clerk

State of Kansas) SS This is to certify that this plat has been
filed for record in the office of the Register of Deeds, this _____ day
of _____ 1992, at _____ o'clock _____ M., and is duly re-
corded.

Pat Kettler, Register of Deeds
Ed Pesu, Deputy

BREEZY POINTE 2ND ADDITION WICHITA, SEDGWICK COUNTY, KANSAS **DRAINAGE PLAN**