

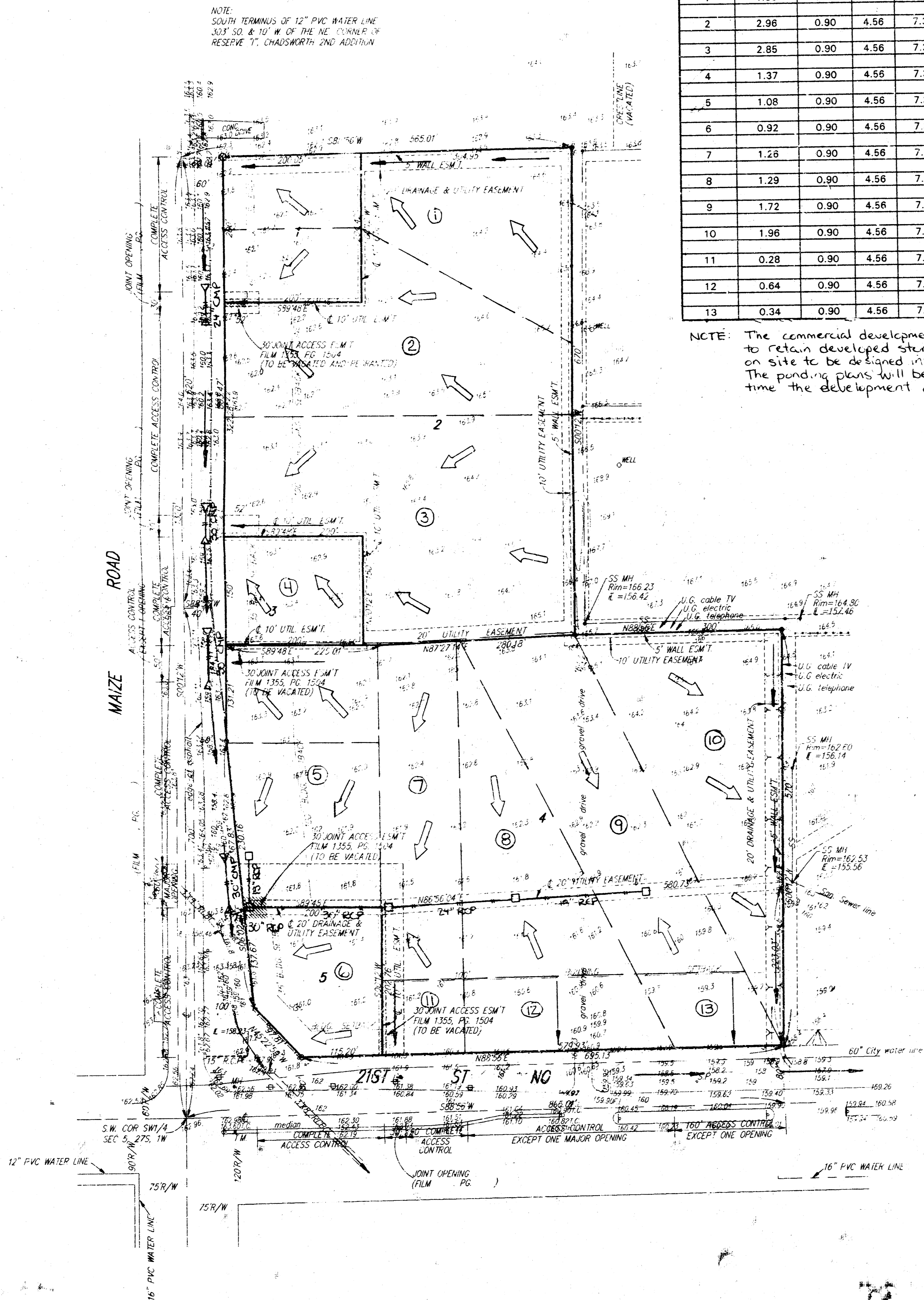
# DRAINAGE PLAN

## CHADSWORTH 2ND COMMERCIAL ADDITION

### WICHITA, SEDGWICK COUNTY, KANSAS

SUB AREA	AREA (ACRES)	"C"	INTENSITY (IN/HR)		FLOW RATE (CFS)	
			2 YR.	100 YR.	2 YR.	100 YR.
1	1.66	0.90	4.56	7.37	6.8	11.0
2	2.96	0.90	4.56	7.37	12.1	19.6
3	2.85	0.90	4.56	7.37	11.7	18.9
4	1.37	0.90	4.56	7.37	5.8	9.1
5	1.08	0.90	4.56	7.37	4.4	7.2
6	0.92	0.90	4.56	7.37	3.8	6.1
7	1.26	0.90	4.56	7.37	5.2	8.4
8	1.29	0.90	4.56	7.37	5.3	8.6
9	1.72	0.90	4.56	7.37	7.1	11.4
10	1.96	0.90	4.56	7.37	8.0	13.0
11	0.28	0.90	4.56	7.37	1.1	1.8
12	0.64	0.90	4.56	7.37	2.6	4.2
13	0.34	0.90	4.56	7.37	1.4	2.3

NOTE: The commercial development site will need to retain developed storm water runoff on site to be designed into the parking lots. The ponding plans will be generated at the time the development occurs.



1" = 100'

- = 1/2" REBAR W/ "BAUGHMAN" CAP (SET)
- = 3/4" IRON (FOUND)
- = 1/2" IRON (FOUND)
- ✦ = CROSS (FOUND)

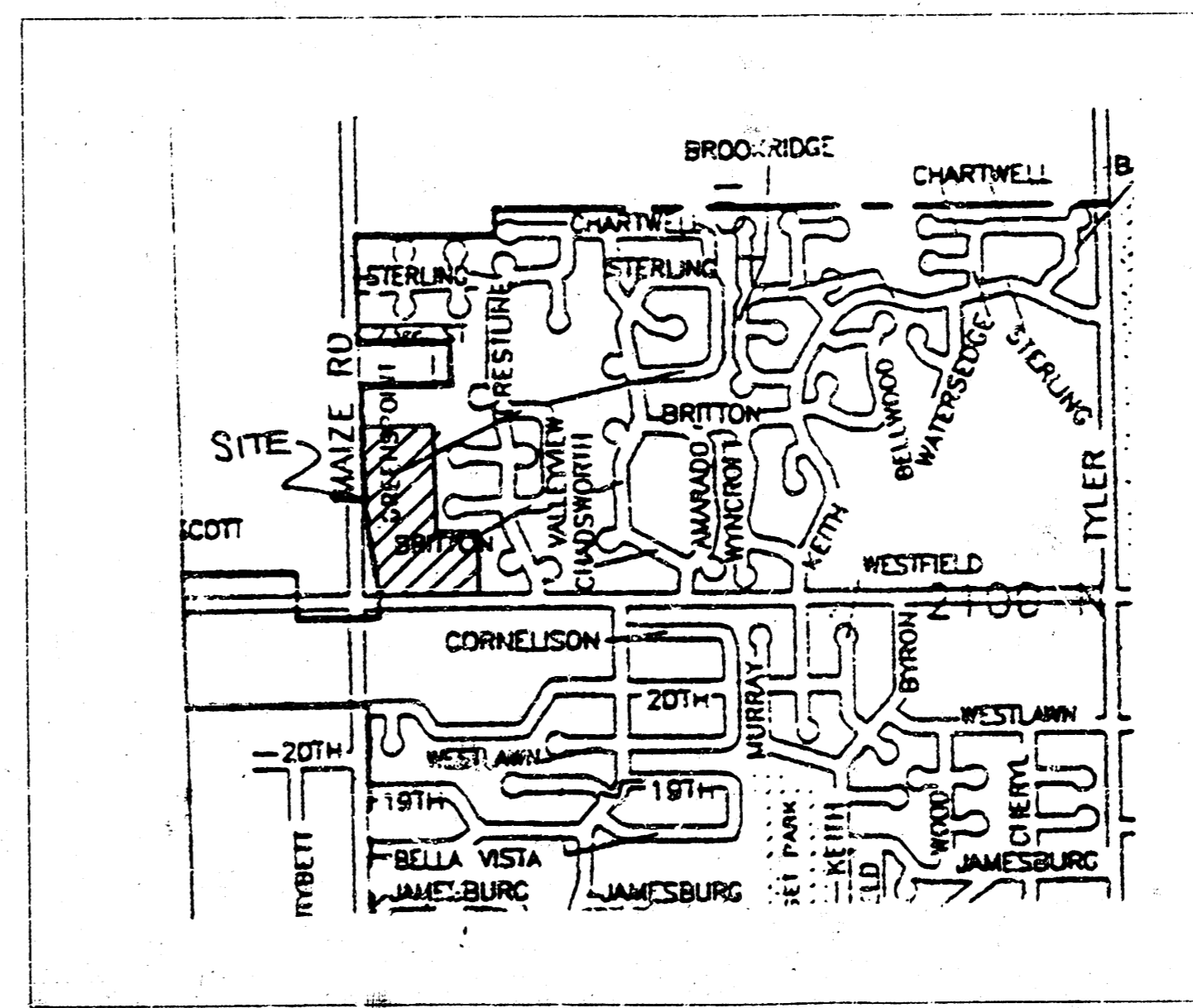
Owner  
Bruce A. & Esther L. Pearson  
10128 W 21st St. No.  
Wichita, Kansas 67212

NOTE: Additional building setbacks required per Chadsworth Commercial Community Unit Plan (20-204) on file in the Wichita Metropolitan Area Planning Department Office.

Legal Description  
A part of Lots 1, 2, 3, 4, 5, 6, and 7, Chadsworth Commercial Addition, Wichita, Sedgwick County, Kansas.

- LEGEND —
- P.P. = Power Pole
- S.P. = Sign Pole
- T.S. = Traffic Signal Box
- SS MH = Sanitary Sewer Manhole
- CTV = Cable Television
- SW = Southwestern Bell Telephone
- TM = Traffic Manhole

BENCH MARK  
City of Wichita bench mark (B.M. 57) corner of intersection of 6th and 99' south of the centerlines of Maize and 21st St. So. Elevation = 164.30 City Datum



VICINITY MAP