

DRAINAGE PLAN FOR "EL CAMPESTRE"

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS
IN THE NE CORNER OF THE NE 1/4 OF SECTION 32, T26S, R1E OF THE 6TH P.M.

MONUMENT DESTROYED
CALCULATED FROM
RECORD POSITION
NE COR. NE1/4
SEC. 32, T26S, R1E

FOUND 1/2"
REBAR
NW COR. NE1/4 OF THE NE1/4
SEC. 32, T26S, R1E

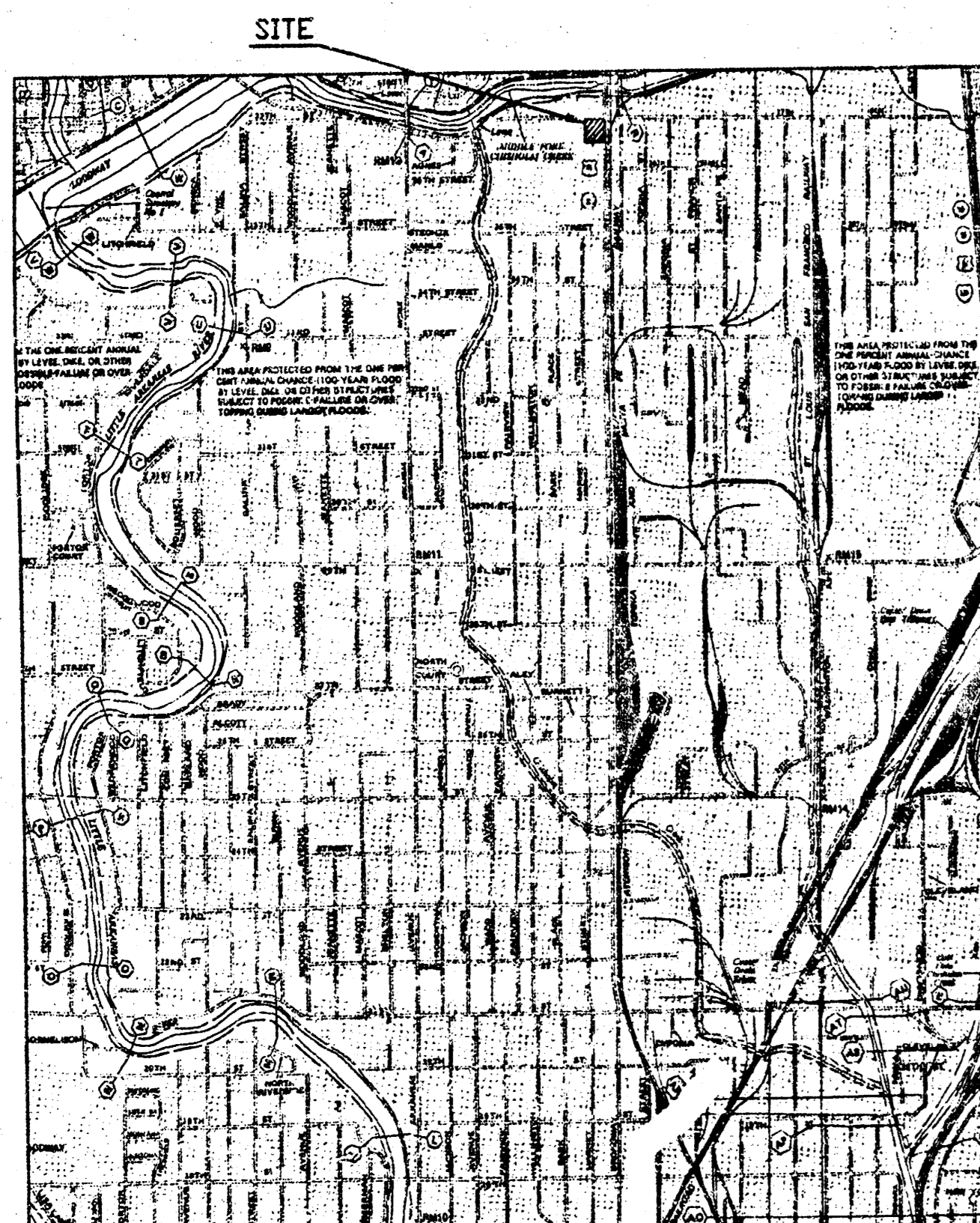
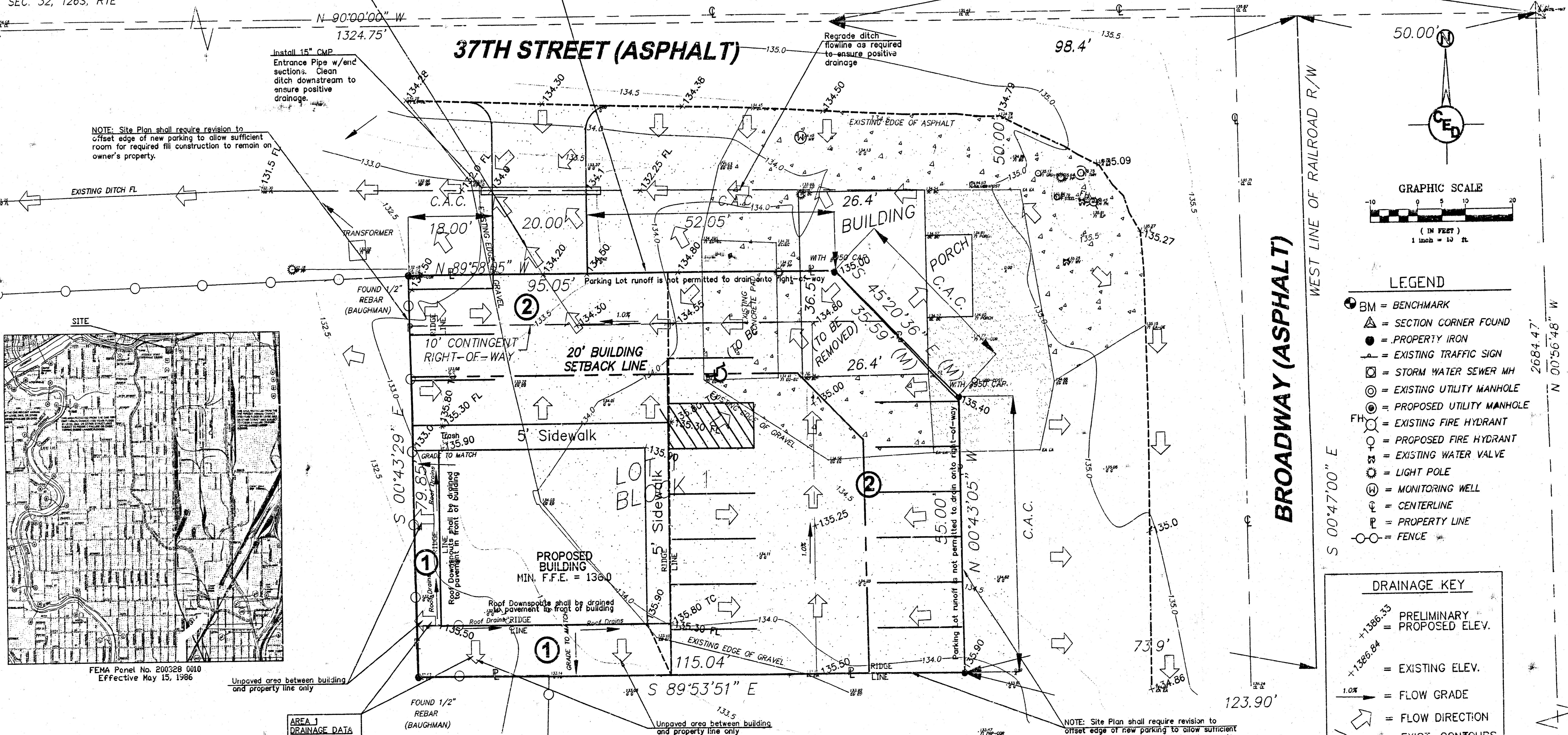
**AREA 2
DRAINAGE DATA**
Area = .190 acres
C(5) = 0.87
Tc(min) = 15 min.
i(5) = 5.21"/hr.
Q(5) = 0.881 cfs

NOTE: Site Plan shall require revision to offset edge of new parking to allow sufficient room for required fill construction to remain on owner's property.

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Install 15" CMP
Entrance Pipes w/end sections. Clean ditch downstream to ensure positive drainage.

Regrade ditch
flowline as required
to ensure positive
drainage



FEMA Panel No. 200328 0010
Effective May 15, 1986

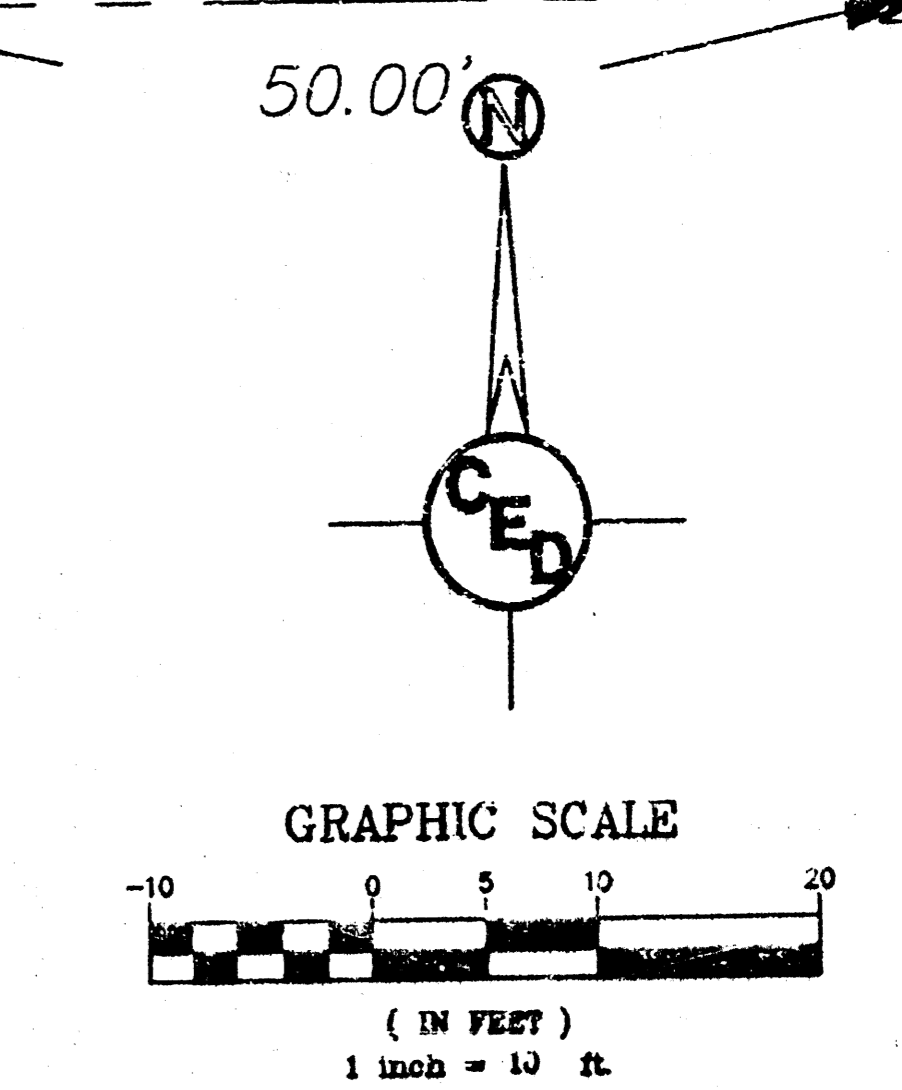
Unpaved area between building
and property line only

**AREA J
DRAINAGE DATA**
Area = .016 acres
C(5) = 0.52
Tc(min) = 15 min.
i(5) = 5.21"/hr.
Q(5) = 0.044 cfs

FOUND 1/2"
REBAR
(BAUGHMAN)

Unpaved area between building
and property line only

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- LEGEND**
- BM = BENCHMARK
 - △ = SECTION CORNER FOUND
 - = PROPERTY IRON
 - = EXISTING TRAFFIC SIGN
 - ⊠ = STORM WATER SEWER MH
 - ⊙ = EXISTING UTILITY MANHOLE
 - ⊙ = PROPOSED UTILITY MANHOLE
 - FH = EXISTING FIRE HYDRANT
 - ⊙ = PROPOSED FIRE HYDRANT
 - ⊕ = EXISTING WATER VALVE
 - ⊕ = LIGHT POLE
 - ⊕ = MONITORING WELL
 - ⊕ = CENTERLINE
 - P = PROPERTY LINE
 - = FENCE

- DRAINAGE KEY**
- +1386.33 = PRELIMINARY PROPOSED ELEV.
 - +1386.84 = EXISTING ELEV.
 - 1.0% = FLOW GRADE
 - = FLOW DIRECTION
 - 80.5 = EXIST. CONTOURS
 - 90.1 = PROP. CONTOURS

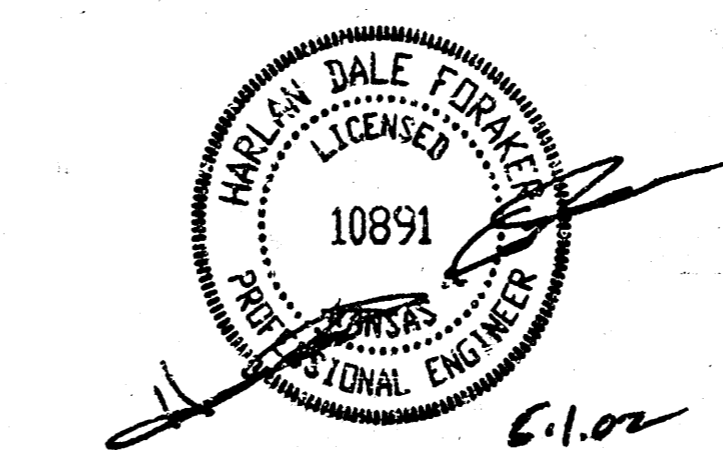
BENCHMARK
C.O.W. BENCHMARK, 36 FEET WEST & 29 FEET NORTH OF CENTERLINE INTERSECTION OF 37TH STREET NORTH AND BROADWAY.
ELEVATION = 135.172 (CITY DATUM)

HORIZONTAL CONTROL POINTS

C.P. NO. 1	N 5022.21 E 5111.96	1/2" IRON, SEC CORNER, NE SEC 32, T26S, R1E
C.P. NO. 2	N 4971.39 E 4874.19	PROPERTY PIN, NW COR. 1/2" REBAR FOUND
C.P. NO. 3	N 4891.55 E 4875.20	PROPERTY PIN, SW COR. 1/2" REBAR FOUND

FOUND 1/2"
PIPE
SE COR. NE1/4
SEC. 32, T26S, R1E

UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.



SITE GRADES SHOWN ARE FOR PURPOSES OF THE DRAINAGE PLAN ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. THIS PLAN IS NOT A GRADING PLAN AND SHOULD NOT BE USED FOR CONSTRUCTION.

5.102 Rev. for revised final plat and site plan
4.25.02 Rev. to reflect drainage out entrance onto 37th St. entrance

DRAINAGE PLAN PREPARED BY:

CERTIFIED ENGINEERING DESIGN, P.A.

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SHEET 1
TOTAL 1