

**As Built Elevations:**  
 Handwritten elevations are "As Built" elevations as surveyed for the sanitary sewer construction. Builders should check "As Built" elevations listed and always provide for a minimum of 2% slope away from the rear of a home to the lowest rear lot corner. Additionally, 1% slope should be provided along the rear easement from lot line to lot line. Any fills or cuts in the rear easements by Builders shall be done in a way that will not interfere with the overall drainage scheme.

SCALE 1"=100'

**LEGEND**

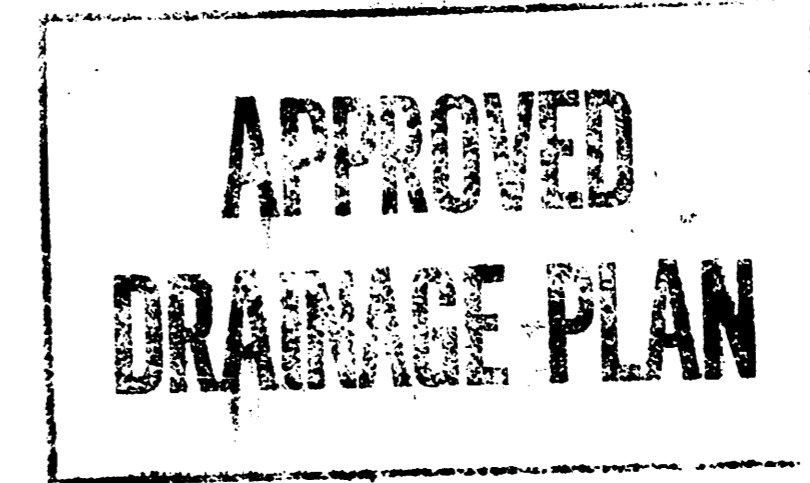
- INDICATES THE AS-BUILT ELEVATION (Handwritten) Top of Foundation (As-Built) (Indicates corner from the ground)
- INDICATES THE PROPOSED ELEVATION (Printed) Top of Foundation (As-Built) (Indicates corner from the ground)
- INDICATES THE PROPOSED ELEVATION (Printed) Top of Foundation (As-Built) (Indicates corner from the ground)

**BENCHMARKS**

1. T&E on South side of R-1490 26' South & 44' West of N.A. 100' 10' 10' Elev. 1311.00
2. Red Rock Spike in River Full (Approx. 100' 26' South & 10' East of W 124' 10' 10' Elev. 1344.00)

**NOTES**

1. All 7'33" to 7'36" elevations to set 3" dia. water
2. Front Lot Corner Elevations are shown in street. Front Lot Corner Elevations are 35 feet above top of curb elevation. Top of curb Elevations are not shown.
3. Garage Floor Elevations are set 3' above highest Front Lot Corner Elevation (Typical)
4. This plan was prepared for drainage purposes only. The existing ground line may have been changed in some areas and this addition. Major changes in these areas may not have been made with engineered fill. Builders may need to obtain foundation advice from a geotechnical engineer prior to construction.



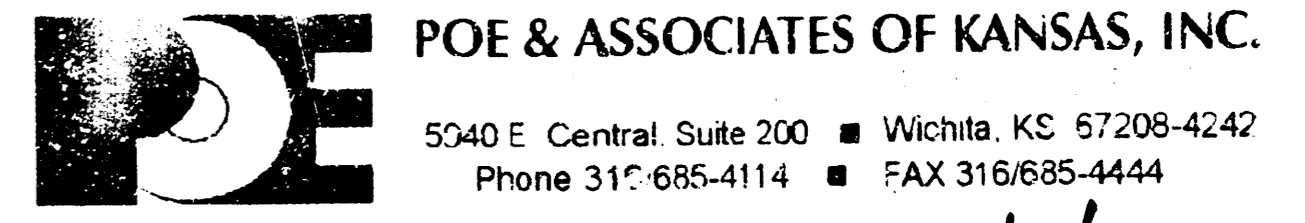
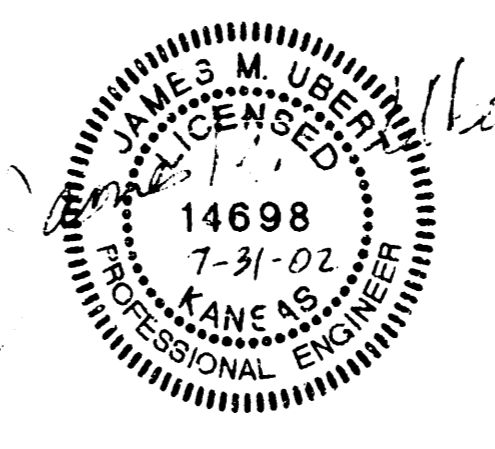
**LOT GRADING PLAN**  
**EQUESTRIAN ESTATES**

Developer: John Greenstreet  
 J.D.G., LLC  
 12221 E. Central  
 Wichita, KS 67206

Engineer: Poe and Associates of Kansas, Inc.  
 5940 E. Central  
 Wichita, KS 67208

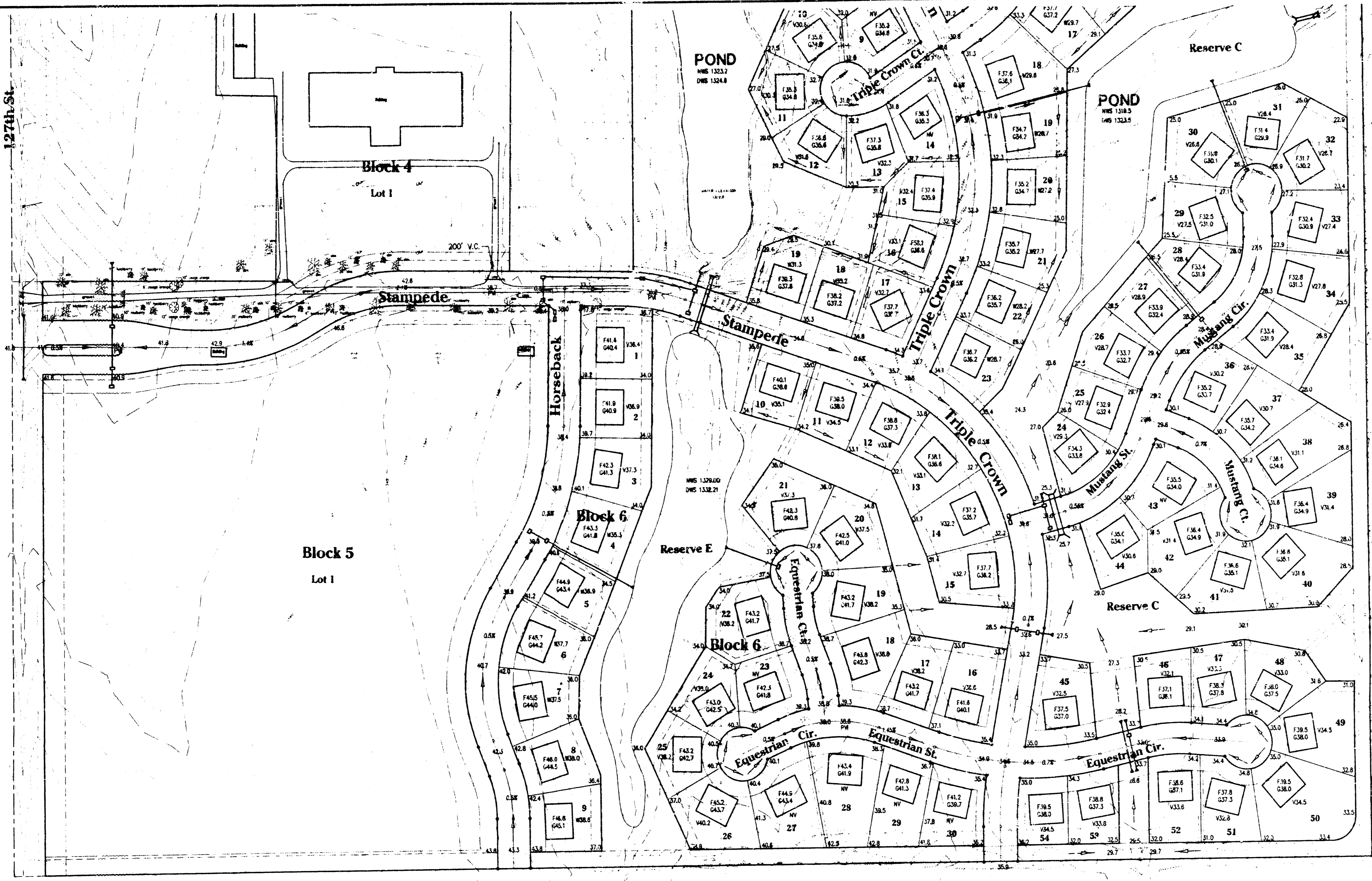
An Addition to Wichita - Sedgwick County, Kansas  
 (Associated Zone Case PUD 2000-0091)

DATE: JULY 13, 2001  
 Revised: JULY 31, 2002  
 Revised: April 14, 2003  
 Revised: January 5, 2004



**EQUESTRIAN ESTATES**  
 Revised 5 Jan 2004

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N

SCALE 1"=100'

**LEGEND**

- NW  
 F32.4  
 G28.9
- NE  
 F31.7  
 G42.2
- SE  
 F32.2  
 G47.1

**BENCHMARKS**

1. 1177' 0.00" South of West of Road 261' South of 341' West of W. 1/4 Sec. 20, T. 15N., R. 17E.
2. 1017' 0.00" North of West of Road 261' South of 341' West of W. 1/4 Sec. 20, T. 15N., R. 17E.

**NOTES**

1. All elevations are in feet above sea level.
2. Elevation of some elevations are shown in feet above sea level. All elevations are 0.5 feet above top of curb. Elevations are not shown.
3. Elevation of some elevations are shown in feet above sea level. All elevations are 0.5 feet above top of curb. Elevations are not shown.
4. This plan was prepared for the purpose of showing the grading of the site. It is not intended to be used for any other purpose. The engineer is not responsible for any errors or omissions in this plan. The engineer is not responsible for any errors or omissions in this plan.

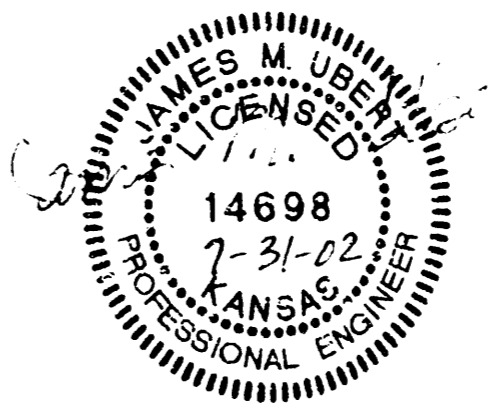
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**An Addition to Wichita - Sedgwick County, Kansas**  
 (Associated Zone Case PUD 2000-0001)

DATE: JULY 13, 2001  
 Revised: JULY 31, 2002



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