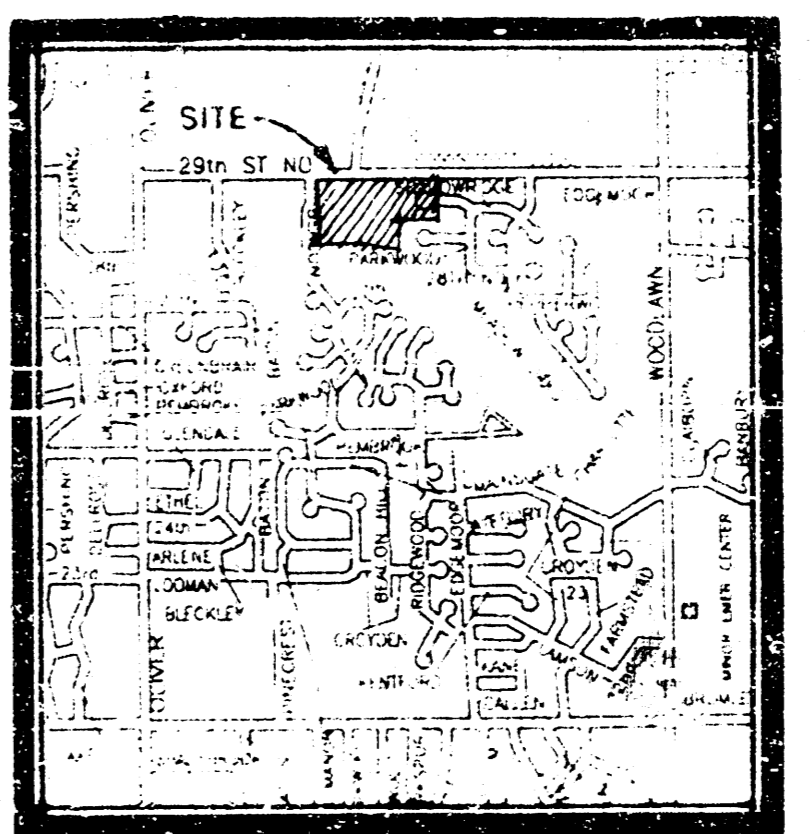
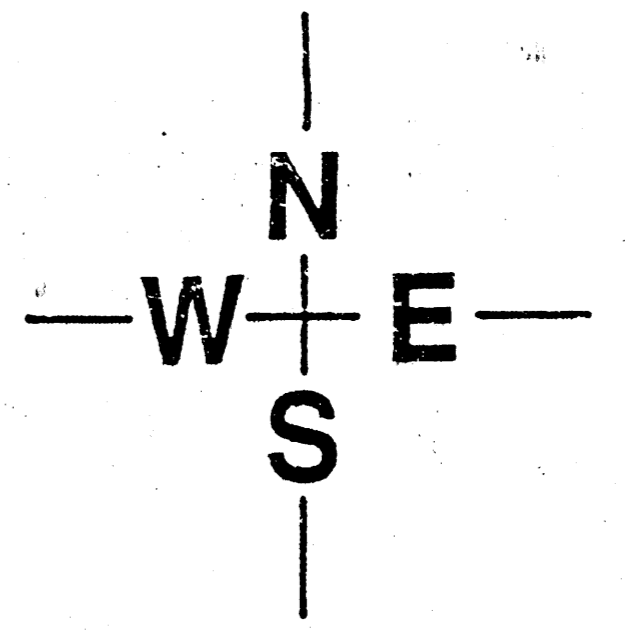
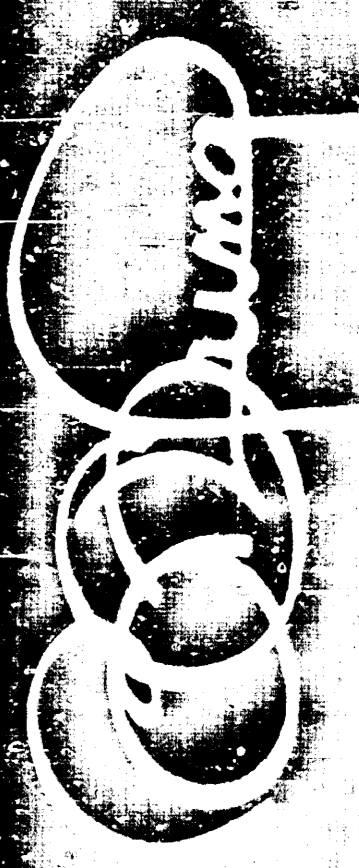


- NOTES:**
- BENCHMARK "A" CUT ON S.E. CORNER OF R.C.B. ON BEACON HILL ROAD AND RESERVE "A" - ELEV. - 162.93.
  - A DRAINAGE CONCEPT PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY ENGINEER BY POE AND ASSOCIATES.
  - RESERVE "A" SHALL PERMIT LANDSCAPING, ENTRY MONUMENTS, IRRIGATION, WALKS AND UTILITIES CONFINED TO EASEMENTS.
  - CONTOURS ARE PLOTTED AT TWO FOOT INTERVALS AND ARE BASED ON CITY DATUM.
  - CITY OF WICHITA STD. BM DISC. AT 29TH & EDGEWOOD. 37' N & 5.5' E. OF 1/4 SECTION CORNER. ELEV. 172.384
  - CITY OF WICHITA STD. BM DISC. AT 29TH STREET N. & OLIVER. 39' N & 33' E. OF CENTERLINE BOTH. ELEV. 159.684
  - ALL PROPERTY WITHIN LIMITS OF PLAT IS WITHIN THE BEACON HILL C.U.P.



**PRELIMINARY PLAT** (REPLAT OF A PORTION OF MEADOW OAKS ADDITION LOTS 100 - 115 BLK. 2)  
**MEADOW OAKS 2ND ADDITION DRAINAGE CONCEPT**  
 OWNER: 3 - AH INC., 455 N. MAIZE, W., KS 67212 Ph.# 722-2417

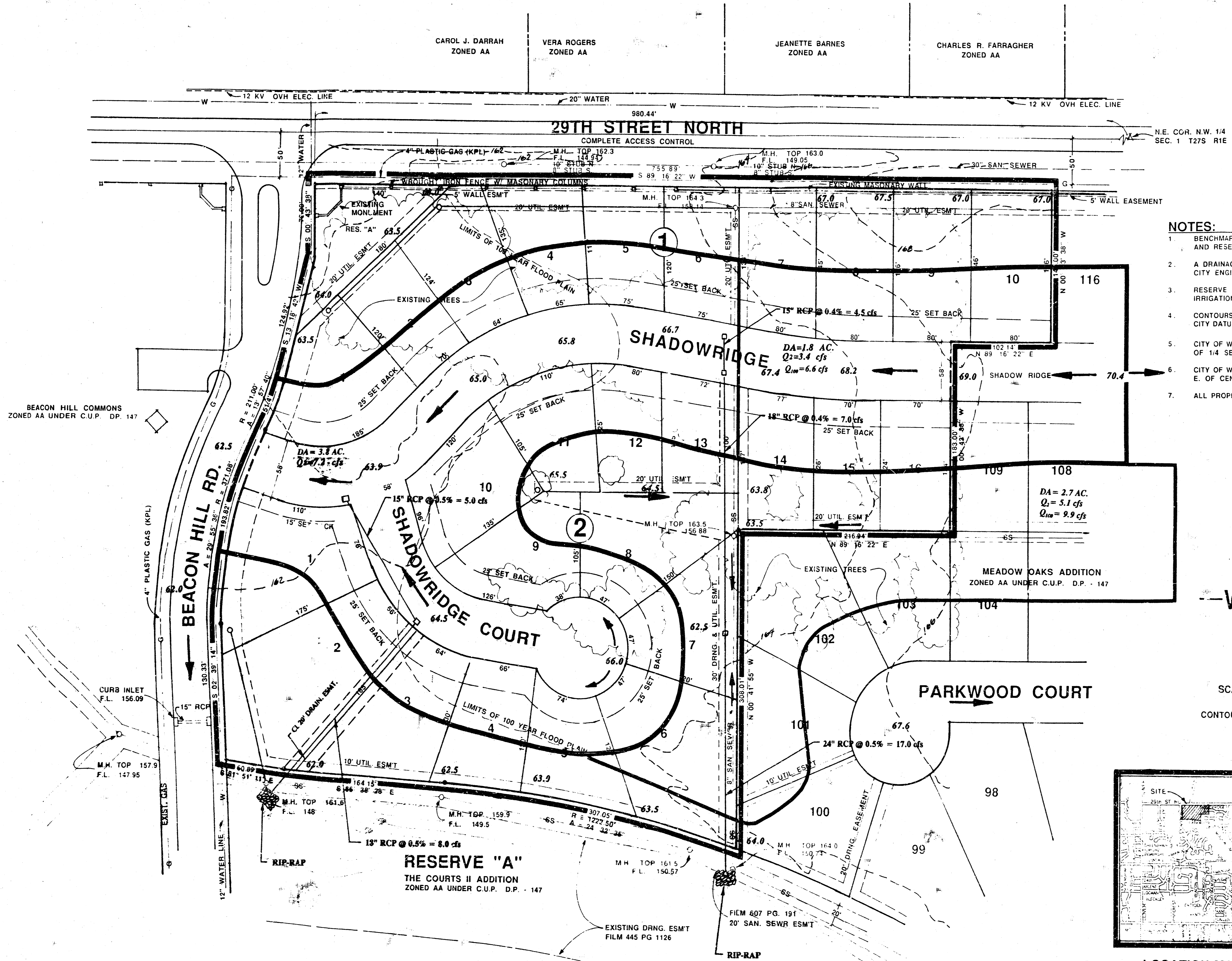
POE & ASSOCIATES OF KANSAS, INC.  
 Consulting Engineers  
 434 N. Oliver Suite 110 Wichita KS 67208 316-853-4114



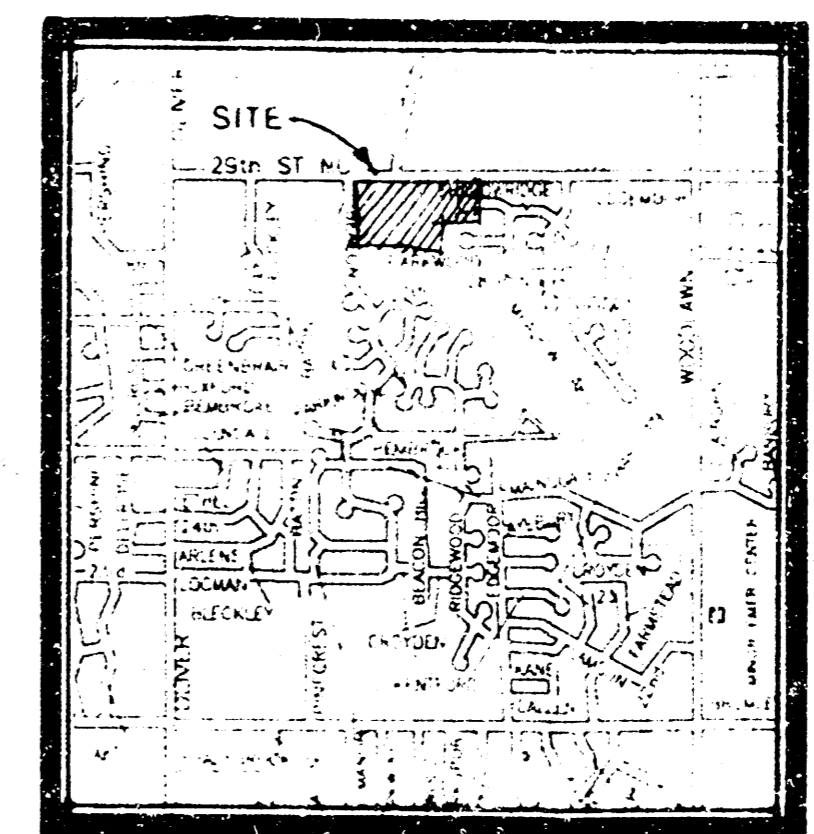
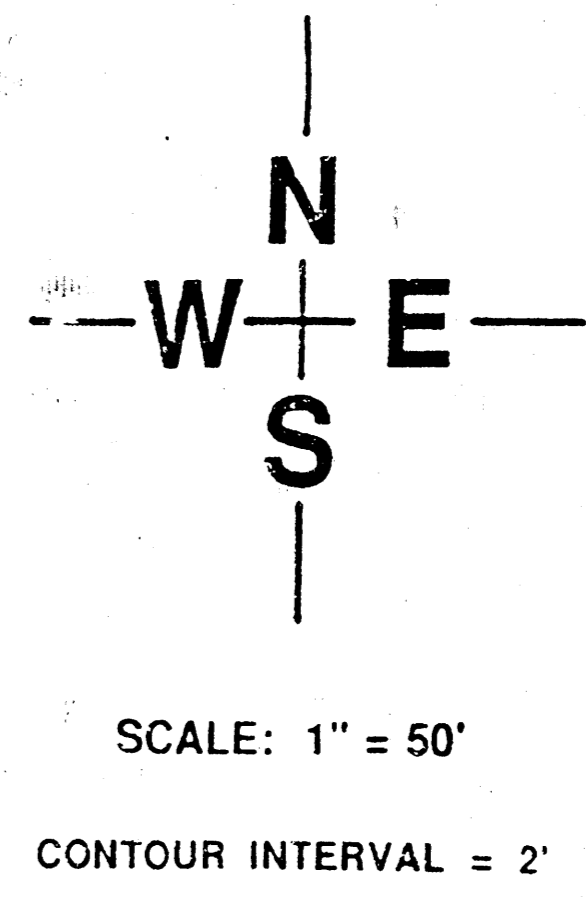
**YUNG DESIGN GROUP**  
 BRANSON OFFICE: 1821 W. HIGHWAY 76, SUITE 7-BRANSON, MO 65616  
 PH. 417-255-8822 FAX 417-255-8823  
 WICHITA OFFICE: 434 N. OLIVER, SUITE 110 WICHITA, KS 67208  
 PH. 316-853-4114 FAX 316-853-4236

DATE **SEPT. 21, 1994**  
 REV.

SHEET TITLE  
 PROJECT  
 PROJECT NO.  
 SHEET  
 DF



- NOTES:**
- BENCHMARK "A" CUT ON S.E. CORNER OF R.C.B. ON BEACON HILL ROAD AND RESERVE "A" - ELEV. - 162.93.
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  - CITY OF WICHITA STD. BM. PISC. AT 29TH & EDGEMOOR. 37' N & 5.5' E. OF 1/4 SECTION CORNER. ELEV. 172.384
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  - ALL PROPERTY WITHIN LIMITS OF PLAT IS WITHIN THE BEACON HILL C.U.P.



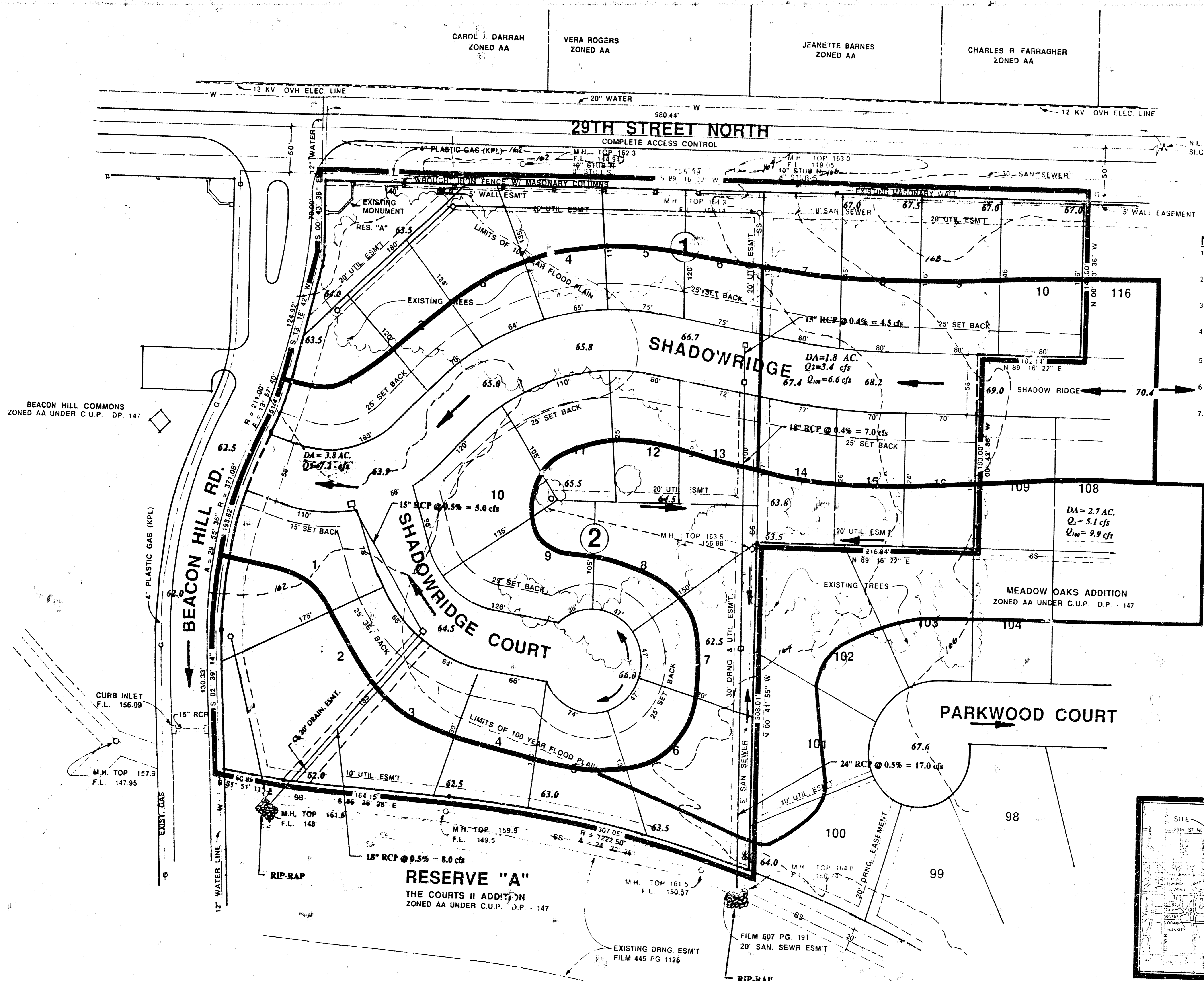
**PRELIMINARY PLAT** (REPLAT OF A PORTION OF MEADOW OAKS ADDITION LOTS 110 - 115 BLK. 2)  
**MEADOW OAKS 2ND ADDITION DRAINAGE PLAN**  
 OWNER: 3 - AH INC., 455 N. MAIZE, W., KS 67212 Ph.# 722-2417  
 JULY 11, 1995

POE & ASSOCIATES OF KANSAS, INC.  
 Consulting Engineers  
 424 N. Olive, Suite 110 Wichita KS 67208 316-866-4114

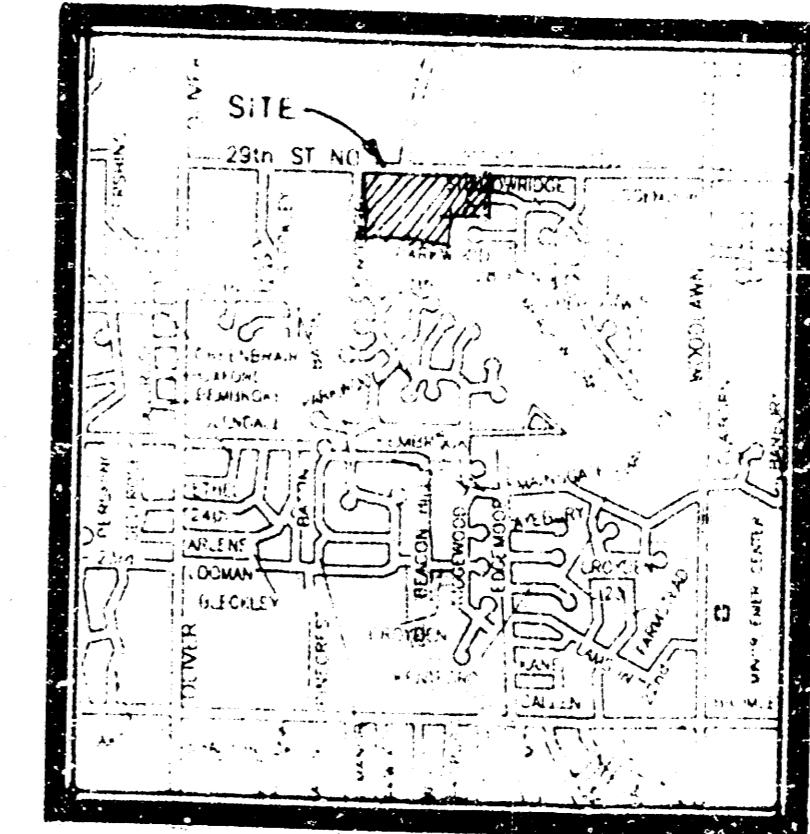
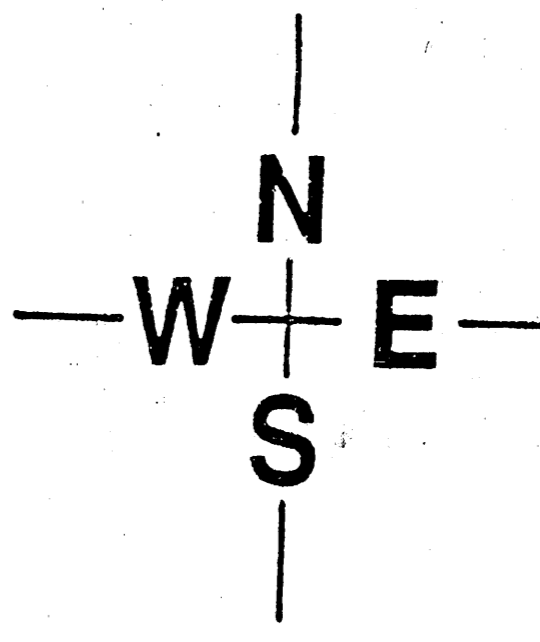
**YUNG DESIGN GROUP**  
 BIRDAKIAN OFFICE: 1861 W. HIGHWAY 76, SUITE 77, BIRDAKIAN, MO 65616  
 PH. 417-333-8233 • FAX 417-333-8288  
 WICHITA OFFICE: 4912 E. 20TH STREET NORTH • WICHITA, KS 67220  
 PH. 316-853-5607 • FAX 316-881-7638

DATE: SEPT. 21, 1994  
 REV.

SHEET TITLE  
 PROJECT  
 PROJECT NO.



- NOTES:**
- BENCHMARK - "A" CUT ON S.E. CORNER OF RCB ON BEACON HILL ROAD AND RESERVE "A" - ELEV. - 162.93
  - A DRAINAGE CONCEPT PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY ENGINEER BY POE AND ASSOCIATES.
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  - CITY OF WICHITA STD. BM DISC. AT 29TH & EDGEWOOD. 37' N & 5.5' E. OF 1/4 SECTION CORNER. ELEV. 172.384
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**PRELIMINARY PLAT** (REPLAT OF A PORTION OF MEADOW OAKS ADDITION LOTS 110 - 115 BLK. 2)  
**MEADOW OAKS 2ND ADDITION DRAINAGE PLAN**  
 OWNER: 3 - AH INC., 455 N. MAIZE, W., KS 67212 Ph.# 722-2417  
 JULY 11, 1995

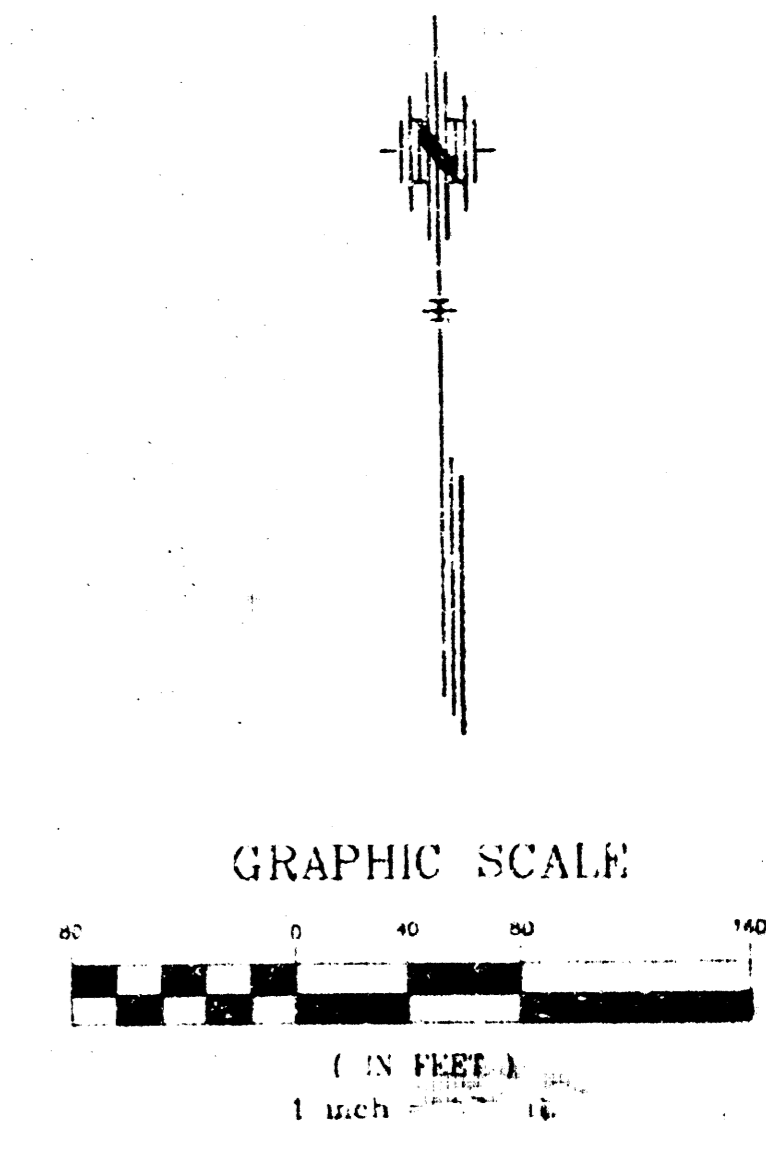
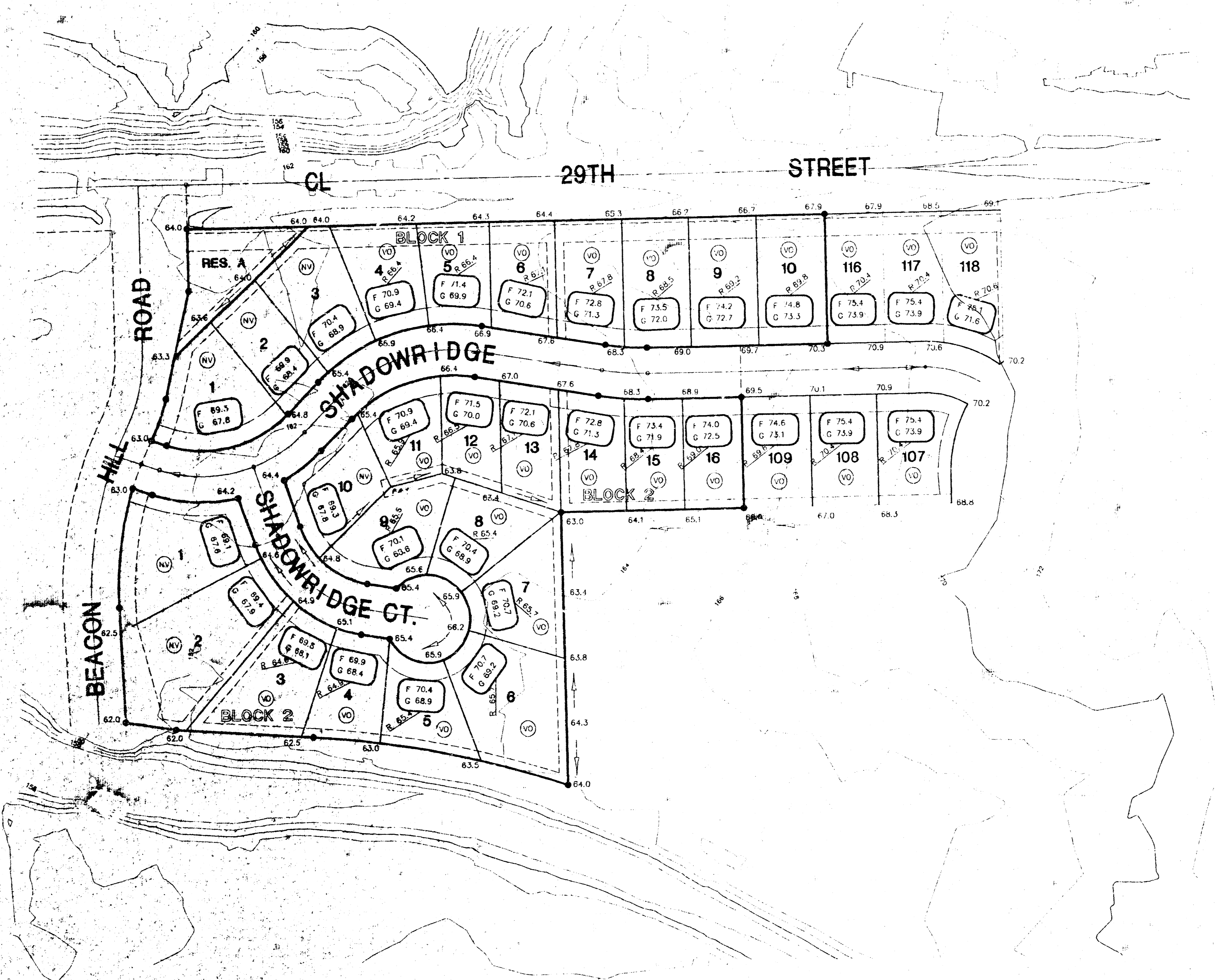
POE & ASSOCIATES OF KANSAS, INC.  
 Consulting Engineers  
 434 N. Oliver Suite 110 Wichita KS 67208 316-895-1114

**YUNG DESIGN GROUP**

DATE: SEPT. 21, 1994  
 REV.:

SHEET TITLE: PROJECT NO. 316-895-1114

PROJECT NO. 316-895-1114



**LEGEND**

G = GARAGE FLOOR ELEVATION  
 F = TOP OF FOUNDATION WALL ELEVATION  
 R = TOP OF REAR WALL ELEVATION (VIEW 0/1)  
 (NO) = NO VIEW OUT  
 (V) = VIEW OUT

**BENCHMARKS**  
 (City of Wichita Datum)

1. City of Wichita Benchmark Disc. 5.5' E. and 37' N. of N 1/4 Corner Sec. 1-27-1E Elev. 172.38
2. NW Corner Concrete Gutter on Beacon Hill Road Median at 29th Street North Elev. 162.99

**APPROVED  
 DRAINAGE PLAN**

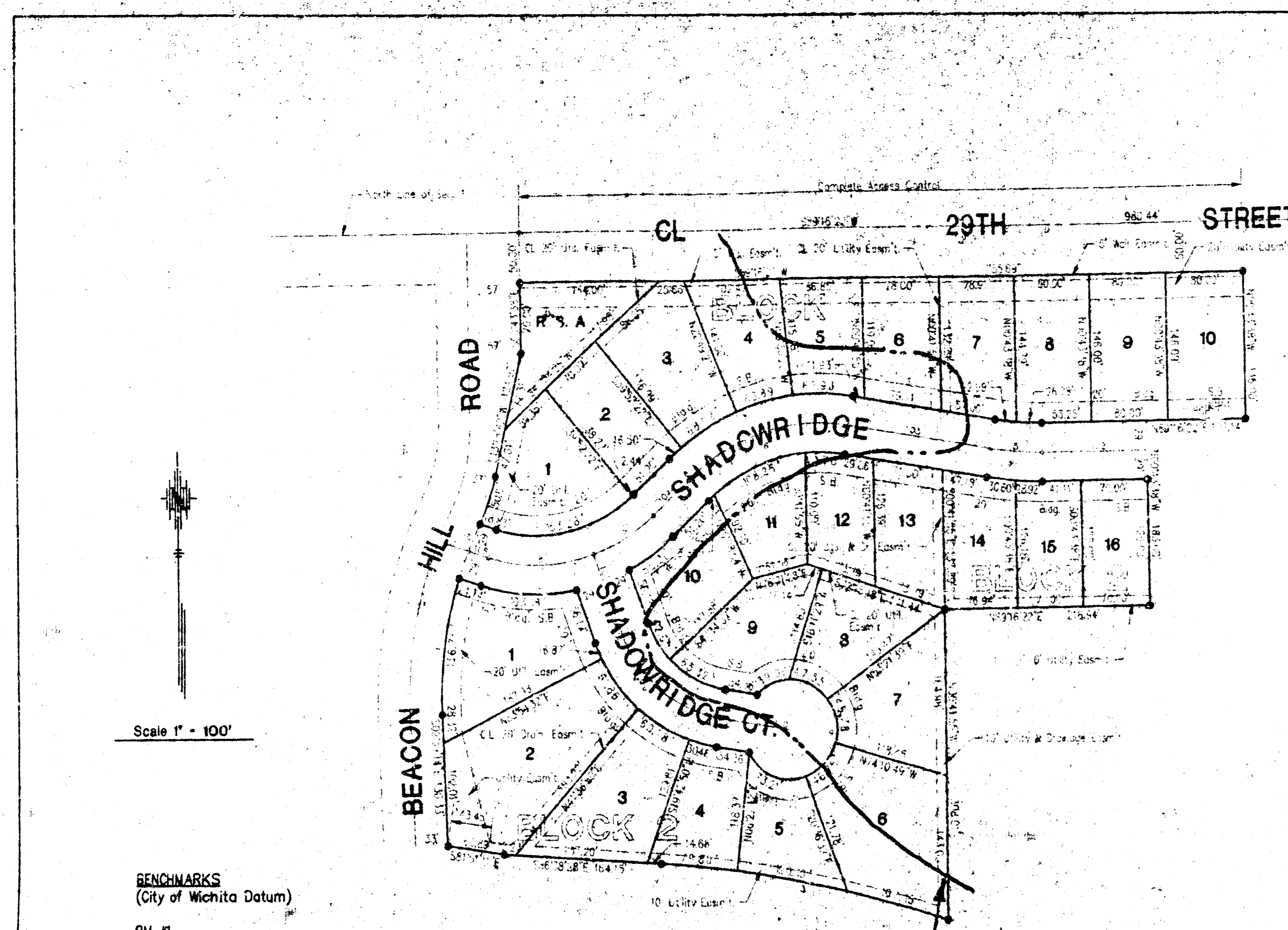
# THE MEADOW OAKS 2ND ADDITION

TO WICHITA, SEDGWICK COUNTY, KANSAS

NE 1/4, SECTION 1, T27S, R1E

JANUARY 19, 1996

P:\MAPS\2001\1000\1-000\_P11 Jan 19 13:55 1996 Steve Schmitz: dra & ASSOC.



Scale 1" = 100'

**BENCHMARKS**  
(City of Wichita Datum)

BN #1  
City of Wichita Benchmark Disc, 5.5' E  
and 37' N. of N 1/4 Corner Sec. 1-27-1E  
Elev. 172.38

BN #2  
NW Corner Concrete Cutter on Beacon Hill  
Road Median at 29th Street North  
Elev. 152.99

LOT	AREA	PERCENT	REMARKS
1	1,000.00	100%	
2	1,000.00	100%	
3	1,000.00	100%	
4	1,000.00	100%	
5	1,000.00	100%	
6	1,000.00	100%	
7	1,000.00	100%	
8	1,000.00	100%	
9	1,000.00	100%	
10	1,000.00	100%	
11	1,000.00	100%	
12	1,000.00	100%	
13	1,000.00	100%	
14	1,000.00	100%	
15	1,000.00	100%	
16	1,000.00	100%	

LOT	AREA	PERCENT	REMARKS
1	1,000.00	100%	
2	1,000.00	100%	
3	1,000.00	100%	
4	1,000.00	100%	
5	1,000.00	100%	
6	1,000.00	100%	
7	1,000.00	100%	
8	1,000.00	100%	
9	1,000.00	100%	
10	1,000.00	100%	
11	1,000.00	100%	
12	1,000.00	100%	
13	1,000.00	100%	
14	1,000.00	100%	
15	1,000.00	100%	
16	1,000.00	100%	

LOT	AREA	PERCENT	REMARKS
1	1,000.00	100%	
2	1,000.00	100%	
3	1,000.00	100%	
4	1,000.00	100%	
5	1,000.00	100%	
6	1,000.00	100%	
7	1,000.00	100%	
8	1,000.00	100%	
9	1,000.00	100%	
10	1,000.00	100%	
11	1,000.00	100%	
12	1,000.00	100%	
13	1,000.00	100%	
14	1,000.00	100%	
15	1,000.00	100%	
16	1,000.00	100%	

No building permit shall be issued for any building on any lot shown on this plat until the owner of the lot has obtained a building permit from the City of Wichita, Kansas, and the building shall conform to the requirements of the City of Wichita, Kansas, and the building shall be constructed in accordance with the requirements of the City of Wichita, Kansas.

STATE OF KANSAS, COUNTY OF SEDGWICK: ss.

I, Kenny E. Hill, being a duly licensed Land Surveyor in said County and State, do hereby certify that I have been in responsible charge of surveying and plotting "MEADOW OAKS 2ND ADDITION" to Wichita, Kansas, being a replat of Lot 1, Block 4 and Lots 110, 111, 112, 113, 114 and 115, Block 2 in Meadow Oaks Addition in Wichita, Kansas being more particularly described as follows:

Commencing at the Northeast Corner of the Northwest Quarter of Section 1, Township 27 South, Range 1 East of the 6th P.M. Sedgwick County, Kansas, thence S89°16'22"W on the North line of said Southwest Quarter for a distance of 980.44 feet; thence S00°43'38"E for a distance of 50.00 feet to the Northwest corner of said Lot 1, Block 4 to the point of beginning; thence S00°43'38"E for a distance of 70.00 feet; thence S13°18'42"W for a distance of 124.92 feet; thence on a circular curve to the right having a radius of 211.00 feet and a central angle of 13°57'40" for an arc distance of 51.41 feet to a point of curve; thence on a circular curve to the left having a radius of 371.08 feet and a central angle of 29°55'36" for an arc distance of 193.82 feet; thence S02°39'14"E for a distance of 130.33 feet; thence S81°51'11"E for a distance of 60.89 feet; thence S85°38'28"E for a distance of 164.15 feet; thence on a circular curve to the right having a radius of 1222.50 feet and a central angle of 14°23'27" for an arc distance of 307.05 feet; thence N00°41'55"W for a distance of 308.01 feet to the Southwest Corner of said Lot 111, Block 2; thence N89°16'22"E for a distance of 216.94 feet; thence N00°43'38"W for a distance of 183.00 feet; thence N89°16'22"E for a distance of 102.14 feet; thence N00°43'38"W for a distance of 146.00 feet; thence S89°16'22"W for a distance of 755.89 feet to the point of beginning. Vacation of the previously dedicated easements are by virtue of K.S.A. 12-512 (a).

The accompanying plat is a true and correct exhibit of property surveyed.

Dated this \_\_\_\_ day of \_\_\_\_\_, 1996.

Kenny E. Hill, L.S. 984

KNOW ALL MEN BY THESE PRESENTS:

That we, the undersigned, have caused the land described in the Surveyor's Certificate to be platted into lots, blocks, streets and a reserve. The streets are hereby dedicated to and for the use of the public. Easements are hereby granted as indicated for the construction and maintenance of drainage and utilities and a wall. Reserve A shall permit entry, monuments, lighting, landscaping, fences, walls, utilities confined to easements and irrigation systems. Utilities may cross the wall easement. The reserve is to be owned and maintained by a property owners association its successors and assigns. The minimum low opening elevation for the homes built in this addition shall be 164.0 (City of Wichita Datum). Additional minimum building elevations are listed in the Required Minimum Building Elevation Table on the face of the plat. All others' rights of access to or from 29th Street North over and across the North line of Lots 3 through 10, Block 1 and Reserve A are hereby granted to the City of Wichita.

3AH-inc.

Mathias Eck, President

STATE OF KANSAS, COUNTY OF SEDGWICK: ss.

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 1996, by Mathias Eck, President of 3AH-inc.

Notary Public

My Appointment Expires: \_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS:

That the State Bank of Colwich, holders of a mortgage on the property described in the Surveyor's Certificate, do hereby consent to the plat of Meadow Oaks 2nd Addition.

Frank A. Suelientrop, President

STATE OF KANSAS, COUNTY OF SEDGWICK: ss.

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 1996, by Frank A. Suelientrop, President of State Bank of Colwich.

Notary Public

My Appointment Expires: \_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS:

That Critchfield Real Estate Limited Partnership 1985, a Kansas Limited Partnership, holders of a mortgage on the property described in the Surveyor's Certificate, do hereby consent to the plat of Meadow Oaks 2nd Addition.

Stephen N. Critchfield, President

STATE OF KANSAS, COUNTY OF SEDGWICK: ss.

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 1996, by Stephen N. Critchfield, President of Critchfield Real Estate Limited Partnership 1985, a Kansas Limited Partnership.

Notary Public

My Appointment Expires: \_\_\_\_\_

This plat of MEADOW OAKS 2ND ADDITION to Wichita, Kansas has been submitted to and approved by this WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, Wichita, Kansas.

Dated this \_\_\_\_ day of \_\_\_\_\_, 1996.

WICHITA SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Susan Osborne - Howes, Chairman

Marvin S. Krout, Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_ day of \_\_\_\_\_, 1996.

Bob Knight, Mayor

Pat Burnett, Deputy City Clerk

Entered on transfer record this \_\_\_\_ day of \_\_\_\_\_, 1996.

Don Wright, County Clerk

This is to certify that this instrument was filed for record in the Register of Deeds Office at \_\_\_\_\_ A.M.-P.M. on the \_\_\_\_ day of \_\_\_\_\_, 1996.

Pat Kettler, Register of Deeds

Ed Reso, Chief Deputy

# MEADOW OAKS 2ND ADDITION

## TO WICHITA, SEDGWICK COUNTY, KANSAS