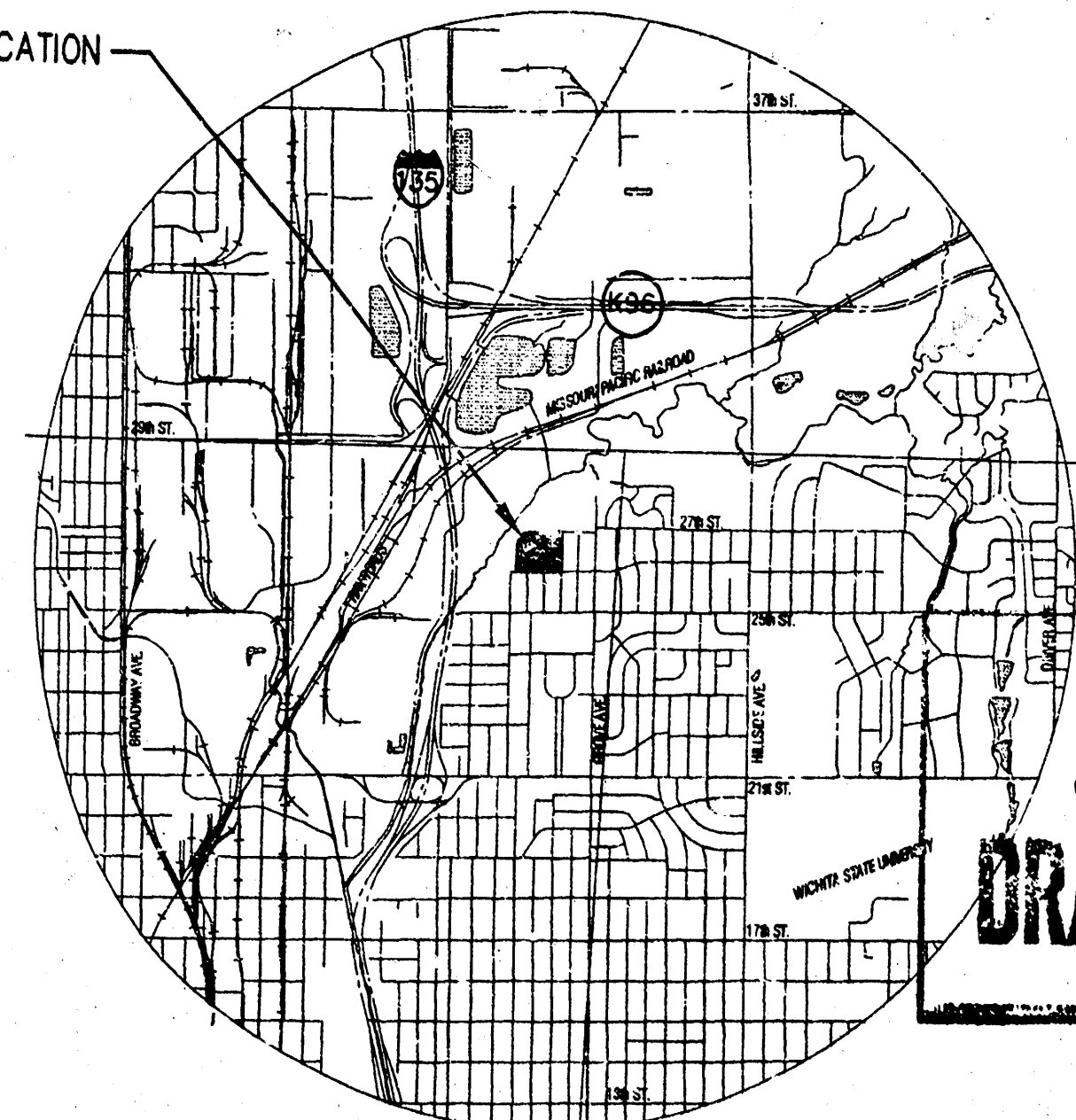


PLAT LOCATION

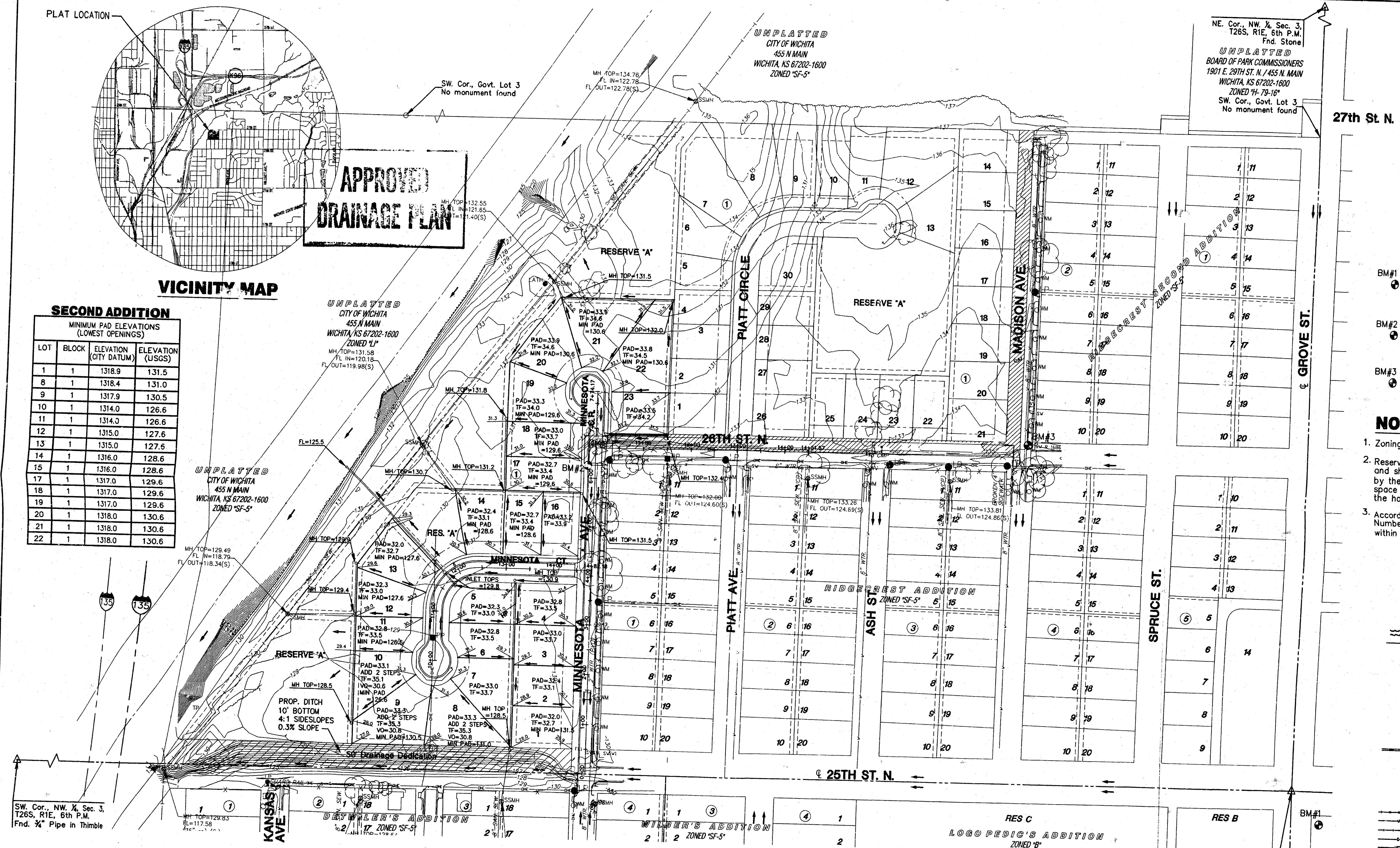


VICINITY MAP

SECOND ADDITION

LOT	BLOCK	ELEVATION (CITY DATUM)	ELEVATION (USGS)
1	1	1318.9	131.5
8	1	1318.4	131.0
9	1	1317.9	130.5
10	1	1314.0	126.6
11	1	1314.0	126.6
12	1	1315.0	127.6
13	1	1315.0	127.6
14	1	1316.0	128.6
15	1	1316.0	128.6
17	1	1317.0	129.6
18	1	1317.0	129.6
19	1	1317.0	129.6
20	1	1318.0	130.6
21	1	1318.0	130.6
22	1	1318.0	130.6

APPROVED
DRAINAGE PLAN



BENCHMARK

- BM#1 City disc at SE cor. of 25th and Grove.
ELEV. = 141.65 City Datum
1329.05 NGVD
- BM#2 "d" Top of curb W. side of Minnesota, S. of & 26th St. 30'±.
ELEV. = 130.60 City Datum
1318.00 NGVD
- BM#3 "d" Top of curb at NE. cor. of Madison and 26th St.
ELEV. = 134.505 City Datum
1321.905 NGVD

NOTES

- Zoning: Single Family SF-5
- Reserves: "A" is dedicated to the public and shall be owned and maintained by the public. "B" is platted for open space and is owned and maintained by the home owner association
- According to FIRM Community-Panel Number 200328 0010 B this plat lies within flood zone "B".

LEGEND

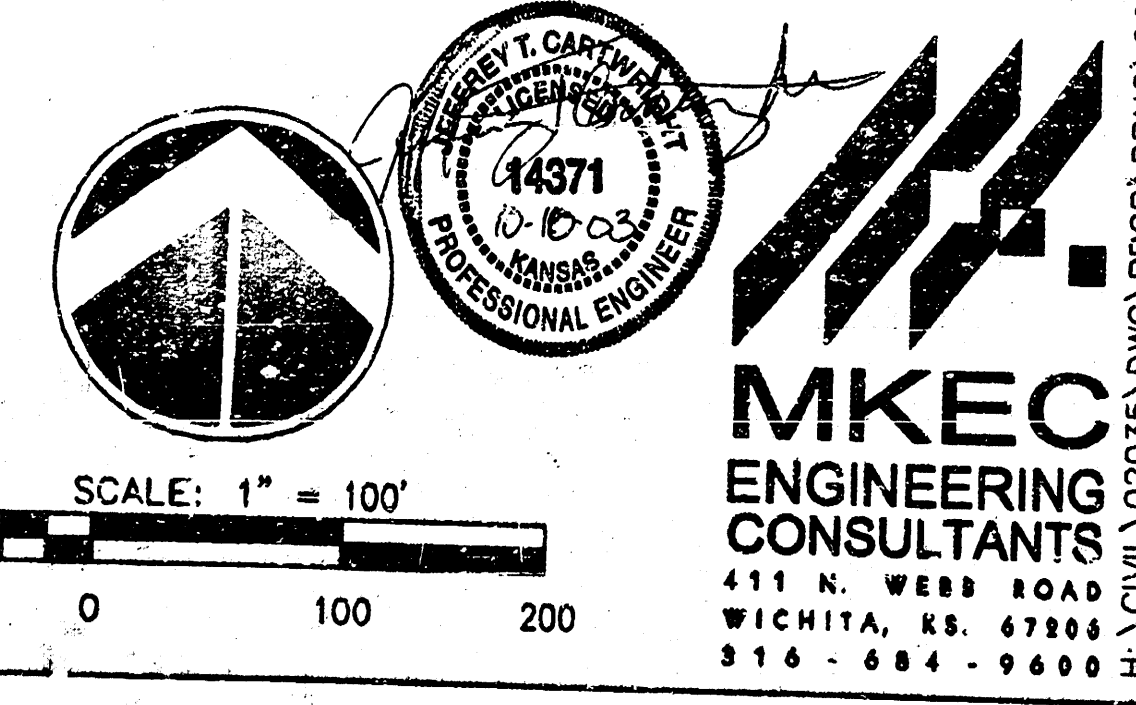
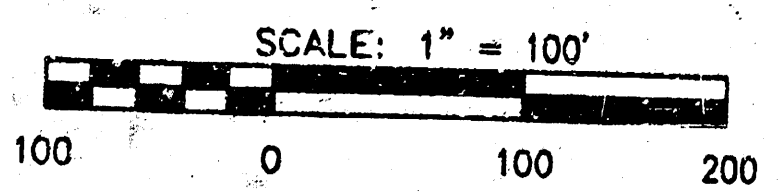
- CONIFEROUS TREE & DIAMETER
- DECIDUOUS TREE & DIAMETER
- SIGN
- BUSH
- POWER POLE AND GUY ANCHOR
- ELECTRIC BOX
- EDGE OF TREES
- FENCE
- BENCHMARK
- STORM WATER MANHOLE
- SANITARY SEWER MANHOLE
- TELEPHONE MANHOLE
- SECTION CORNER
- 5/8" REBAR/ALKEC
- CL 30 SET
- PROPERTY CORNER FOUND
- POLE
- GATE
- GAS METER
- WALL
- LIGHT POLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- TELEPHONE RISER
- INLET
- STORM SEWER PIPE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC

FINAL GRADING PLAN POWER C.D.C. SECOND ADDITION

OWNERS: City of Wichita, Wichita City Hall 455 N. Main St., Wichita, KS 67202
DEVELOPER: Power Community Development Corporation, Inc. 1802 N. Hydraulic St., Wichita, KS 67204

Power CDC 2nd

DATE: JUNE 2003
REVISED: 10-10-2003



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