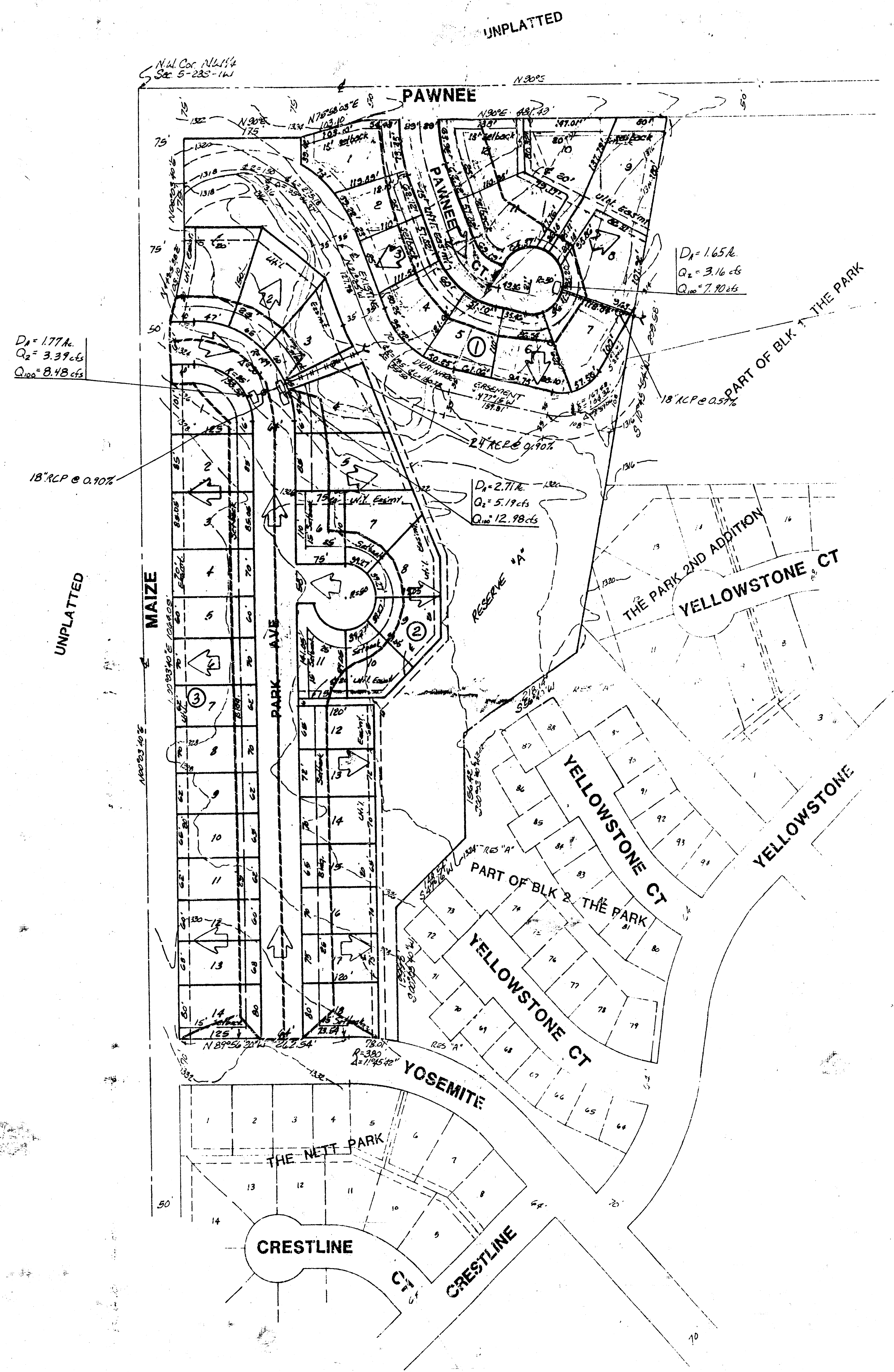




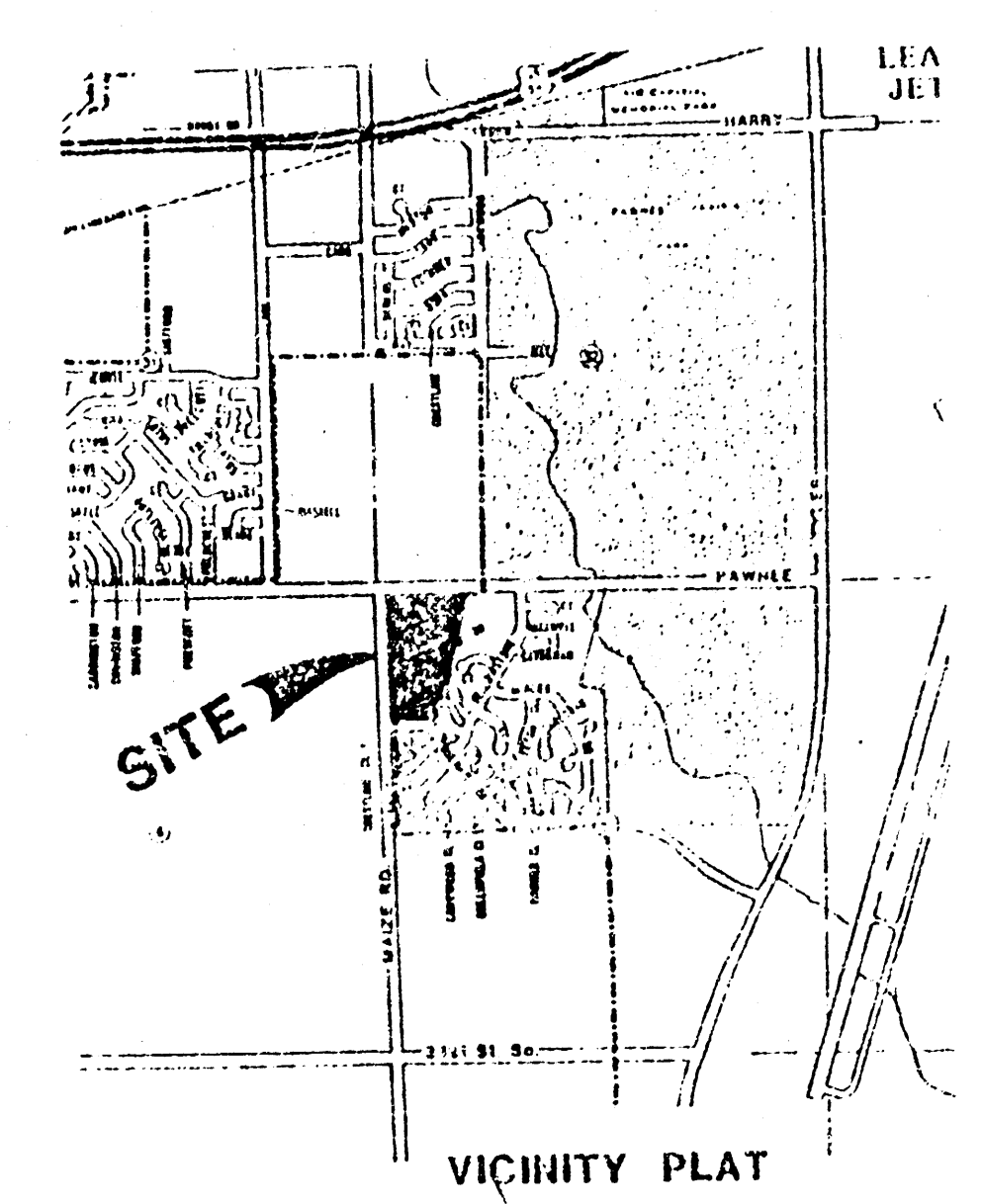
PRELIMINARY PLAT
WILDERNESS AT THE PARK

PART OF THE PART OF BLOCK 2, THE PARK
 WICHITA, SEDGWICK COUNTY, KANSAS

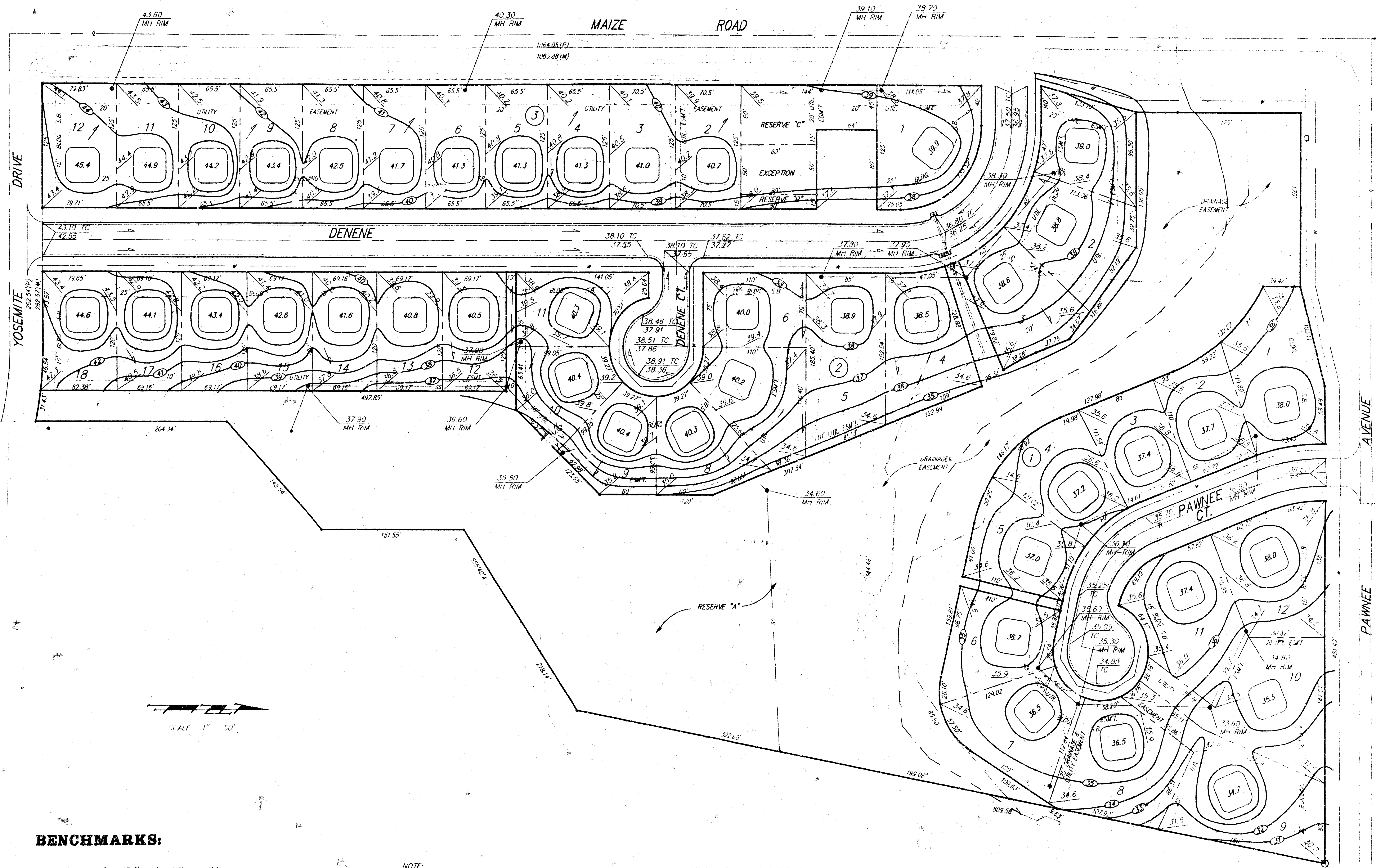
A J SOERRIES REAL ESTATE, INC.
 THE PARK HOMEOWNERS ASSOCIATION NO. 1

Drainage Data
 $C_e = 0.5$ $C_{100} = 0.65$
 $I_e = 3.83\%$ $I_{100} = 7.37\%$

1" = 100'
 ELEV = M.S.L.



2-1-93
 Drainage Plan



BENCHMARKS:

- #1 City Standard Bk 42.5' South of Pawnee Rd. Centerline and 49.5' West of Maize Rd. Centerline. Elev. = 135.10 City Datum
- #2 "11" at NE Cor. of Cons. Box Culvert 198' South of Pawnee Rd. Centerline and 19' East of Maize Rd. Centerline. Elev. = 134.54 City Datum
- #3 "11" at Top Curb 65' East of Maize Rd. Centerline and 12.5' North of the Yosemite Drive Centerline. Elev. = 143.67 City Datum

NOTE:

Proposed minimum garage floor elevations are shown on plans. Contractor to set finish floor elevation.

All street elevations shown on plans are for top of curb (full height).

Contour elevations shown are for graphic representation of drainage concept. Spot elevations shall take precedence over contour lines.

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING OF STRUCTURE

LOT	BLOCK	ELEVATION	
		CITY DATUM	M.S.L.
1, 2, 3	1	135.6	1323.0
1, 2, 3	2	135.6	1323.0
4, 5, 6, 7	1	134.6	1322.0
4, 5	2	134.6	1322.0

**APPROVED
DRAINAGE PLAN**

LOT GRADING PLAN			
WILDERNESS AT THE PARK			
 BAUGHMAN COMPANY P.A. ENGINEERING & SURVEYING 316/262-7271 • 315-1115 • WICHITA, KANSAS 67211			
PROJECT NUMBER			
DESIGN	DRAWN	DATE	SCALE
	BAM	10-04-93	1" = 50'
SHEET			1