

State of Kansas) SS  
Sedgwick County)

We, Ruggles & Bohm, P.A., Land Surveyors in aforesaid county and state, do hereby certify that, under the supervision of the undersigned, we have surveyed and platted "SYCAMORE POND", Wichita, Sedgwick County, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows:

A replat of Angel Acres 2nd Addition to Wichita, Sedgwick County, Kansas, EXCEPT Block 3, AND EXCEPT Gold lying south of the north right-of-way line of 50th Street South, together with the N1/2, N1/2, S1/2, NW1/4, Section 20, T28S, R1E of the 6th P.M., Sedgwick County, Kansas.

All public easements and dedications are hereby vacated by virtue of K.S.A. 12-512(b).

Ruggles & Bohm, P.A.



James D. Hestermann  
Land Surveyor

Know all men by these presents that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into Lots, Blocks, a Reserve and Streets to be known as "SYCAMORE POND", Wichita, Sedgwick County, Kansas. Access Controls as indicated are hereby granted to the appropriate governing body. The streets are hereby dedicated to and for the use of the public. Utility Easements are hereby granted for the construction and maintenance of all public utilities. Drainage Easements are hereby granted to the public as indicated for drainage purposes. Reserve "A" is hereby reserved for irrigation, walls, signage, gazebos, playground, structures, picnic areas/ tables with canopies, walks, lighting, landscaping, berms, lakes, drainage, drainage structures and utilities confined to easements. The Reserve shall be owned and maintained by the Home Owners Association for the addition. A drainage plan has been developed for this plat; the property shall remain at established grades, or as modified with the approval of the City Engineer, and unobstructed to allow for the conveyance of storm water.

Castlewood Homes, Inc.

V. Douglas Long  
President

# SYCAMORE POND

## Addition to Wichita, Sedgwick County, Kansas

State of Kansas) SS  
Sedgwick County)

The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, 2006, by Doug Long, President, on behalf of Castlewood Homes, Inc.

Mildred E. Franz  
Notary Public

My appointment expires \_\_\_\_\_

We the undersigned, holders of a mortgage on a portion of the above described property, do hereby consent to this plat of "SYCAMORE POND" Wichita, Sedgwick County, Kansas.

Richard Ciemmy  
First National Bank of Anthony  
President

State of Kansas) SS  
Sedgwick County)

The foregoing instrument acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2006, by Richard Ciemmy, President of First National Bank of Anthony, on behalf of the Bank.

Notary Public

My appointment expires \_\_\_\_\_

This plat of "SYCAMORE POND", Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

John L. Schlegel  
Wichita-Sedgwick County Metropolitan Area Planning Commission  
Secretary

This plat approved and all dedications shown hereon accepted by the

City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

At the Direction of the City Council

Carlos Mayans  
Mayor  
Karen Sublett  
City Clerk

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

Tricia L. Robello, LS #1246  
Deputy County Surveyor  
Sedgwick County Kansas

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

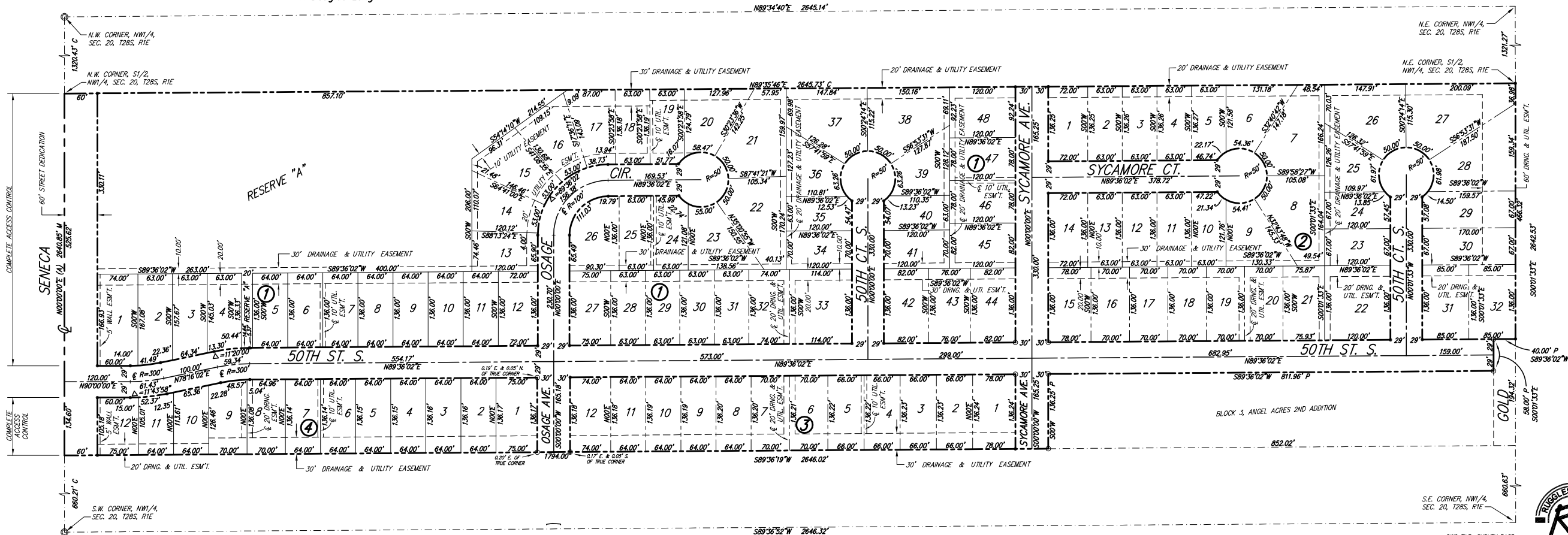
Don Brace  
County Clerk

State of Kansas) SS  
Sedgwick County)

This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_, 2006, at \_\_\_\_\_ o'clock \_\_\_\_\_ M, and is duly recorded.

Bill Meek  
Register of Deeds  
Tonya Buckingham  
Deputy

BLOCK	LOT NO.	ELEVATION (N.G. V.D.)
1	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 13, 14, 15, 16, 17	1269.9



1" = 100'

SETBACK LINES PER ZONING REGULATIONS

P = Platted (Angel Acres 2nd Addition)  
M = Measured  
C = Calculated  
(A) = Assumed

SURVEY MARKER LEGEND

- 3/4" IRON PIPE IN THIMBLE (FOUND)
- 3/4" IRON PIPE W/PEC CAP (FOUND)
- 5/8" REBAR W/RUGGLES & BOHM CAP (SET)

BENCH MARK: RAILROAD SPIKE IN WEST FACE OF POWER POLE, 30'± EAST OF E. OF SENECA AND 170'± NORTH OF SUNRISE. ELEV.=1272.19 (NGVD)

**Ruggles & Bohm, P.A.**  
Engineering, Surveying, Land Planning

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DWG FILE: SURVEY BASE PROJECT NO. 2796P APRIL 19, 2006