

# STORM WATER SEWER IMPROVEMENTS

TO SERVE

COPART AUTO SALVAGE YARD  
 LOCATED AT 4400 S. MADISON AVENUE,  
 LOT 2, BLOCK A, COPART ADDITION  
 WICHITA, SEDGWICK COUNTY, KANSAS  
 COW PRIV. PROJ. NO. 2000 PPS (607861)  
 JAMES L. ARMOUR, P.E., CITY ENGINEER  
 SEPTEMBER 2009

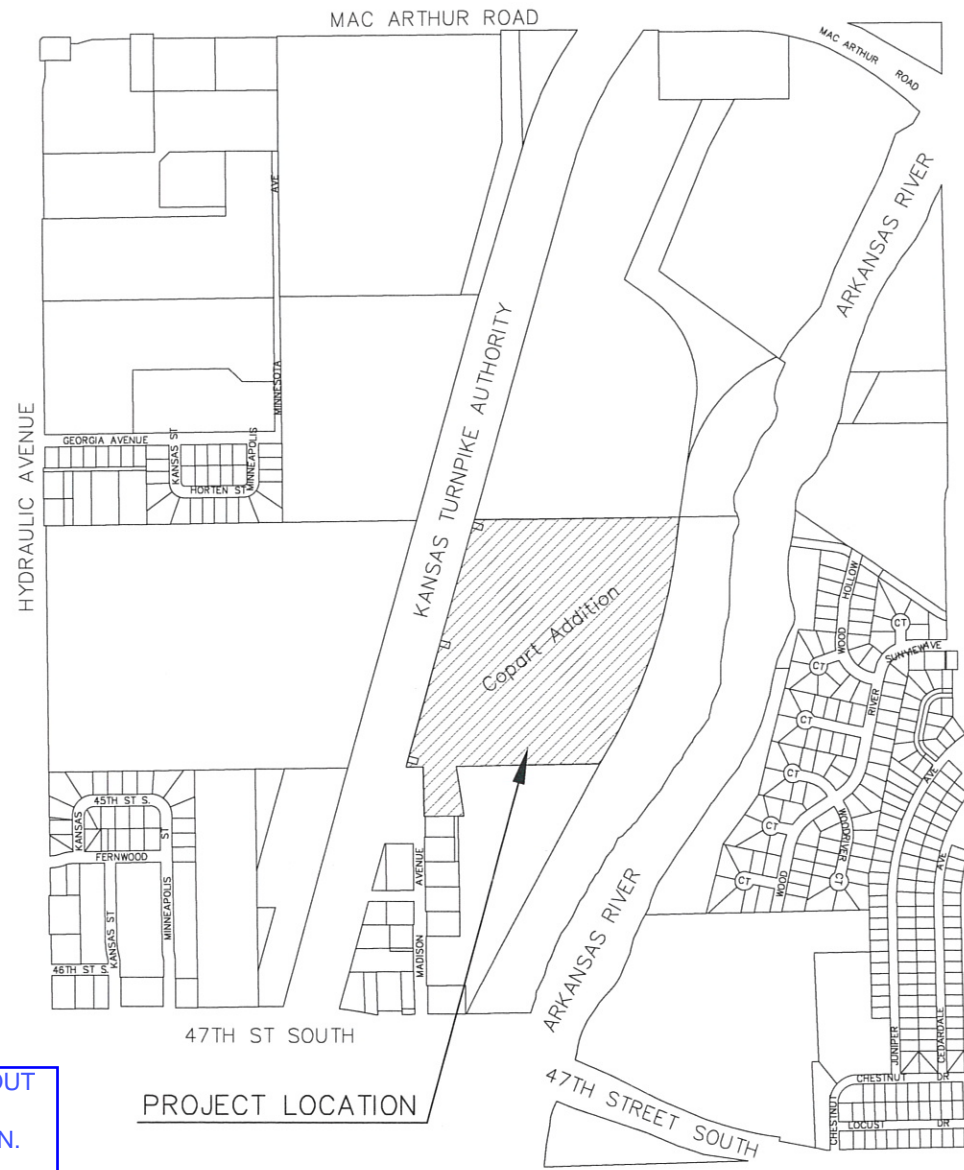
## INDEX OF SHEETS

1. Title Sheet
2. Plat
3. Storm Sewer Site Plan
- 4.-5. Plan and Profile

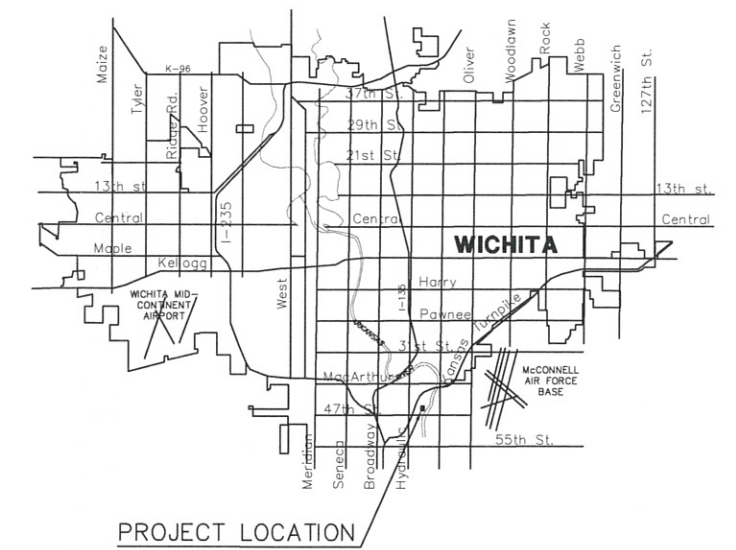
## GENERAL NOTES

1. ALL ELEVATIONS SHOWN ARE BASED ON MEAN SEA LEVEL ELEV.
2. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO(72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:  
  
 KANSAS ONE CALL                      687-2470  
  
 THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:  
  
 Cox Communications                      262-4270 or 263-2061  
 SBC    1-800-870-8390  
 Kansas Gas Service                      1-888-482-4950  
 Westar                                        1-800-383-1183  
 Aquila                                        1-800-303-0752  
 City of Wichita(Water & Sewer)      268-4555
3. THE CONTRACTOR SHALL NOTIFY PIPELINE COMPANIES AT LEAST 24 HOURS IN ADVANCE OF ANY WORK BEING PERFORMED ACROSS AND/OR ADJACENT TO PIPELINES.
4. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR FOR THIS PROJECT 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THE PROJECT INSPECTOR ASSIGNED TO THE PROJECT IS PRESENT ON SITE. ANY WORK DONE WITHOUT INSPECTION WILL BE REQUIRED TO BE UNCOVERED FOR INSPECTION.
5. THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY DIRECTLY ADJUTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO REESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS SUCH IRONS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
7. THE CONTRACTOR SHALL RESTORE ALL DITCHES, SWALES, ROAD SHOULDERS, ENTRANCES AND BANK LINES TO THEIR ORIGINAL SLOPES AND GRADES EXCEPT AS SHOWN OTHERWISE.
8. INTERURBAN TRAFFIC GENERATED OUTSIDE THE PROJECT AREA SHALL BE CARRIED THROUGH CONSTRUCTION.
9. UNDERGROUND UTILITY SERVICE LINES AND OVERHEAD UTILITY POLE LINES ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.
10. RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, THAT IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOODPLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
11. PROPERTIES WITHIN THE PROJECT LIMITS MAY HAVE UNDERGROUND SPRINKLER SYSTEMS IN THE PUBLIC RIGHT-OF-WAY WHICH CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE SUCH IMPROVEMENTS SHOULD THEY NOT BE REMOVED BY THEIR OWNER AT THE TIME OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE REQUIRED TO SALVAGE ALL SPRINKLER HEADS AND/OR VALVES AND GIVE SUCH MATERIAL TO THEIR OWNER. PORTIONS OF UNDERGROUND SPRINKLER SYSTEMS NOT IN CONFLICT WITH NEW CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL REMAIN IN PLACE. ALL WORK IN CONNECTION WITH UNDERGROUND SPRINKLER SYSTEMS SHALL BE CONSIDERED AS SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.
12. ALL PROPOSED STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE.
14. THE CONTRACTOR MUST EXAMINE THE CONSTRUCTION SITE PRIOR TO BIDDING AND BE SATISFIED AS TO THE WORK SHOWN FOR COMPLETION. AFTER BIDS HAVE BEEN RECEIVED, THE CONTRACTOR SHALL NOT ASSERT THAT THERE WAS A MISUNDERSTANDING OF THE QUANTITIES OF WORK OR OF THE NATURE FOR THE WORK TO BE COMPLETED.
15. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WHICH ARE ENCOUNTERED ON THIS PROJECT. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING TRENCHING OPERATIONS TO AVOID DAMAGING THESE LINES. ANY LINES DAMAGED SHALL BE REPLACED OR REPAIRED IMMEDIATELY AS DIRECTED BY THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

PROJECT INSTALLED WITHOUT INSPECTION. THIS IS NOT A AS BUILT PLAN.

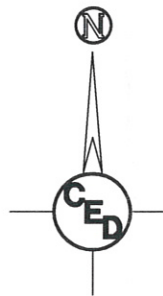


PROJECT LOCATED IN  
 SEC. 13, T.27S., R.1E.  
 WICHITA, SEDGWICK COUNTY, KANSAS



## LOCATION MAP

HORIZONTAL CONTROL POINTS			
C.P. NO. 1	N 1658498.36	E 1656613.90	SW Property Corner, 1" Iron Bar
C.P. NO. 2	N 1658518.07	E 1657657.97	SE Property Corner, #4 Rebar w/Baughman Cap

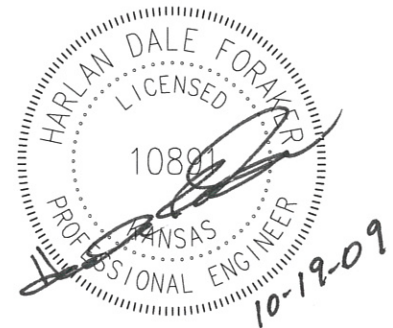


Benchmark:  
 Southeast Corner Intersection of 47th Street South and Hydraulic Avenue. Located on Traffic Signal Light Base. 57.50' West of CL. 40.40' South of CL. Elev.=1272.39 M.S.L.  
  
 Top of 1/2" Iron at the NE Corner of 47th Street South and Madison Ave. Elev.=1271.64 M.S.L.

APPROVED AS NOTED  
 By CITY ENGINEER OF WICHITA  
  
 Sanitary Sewers \_\_\_\_\_  
 Storm Sewers \_\_\_\_\_  
 Driveway Approaches \_\_\_\_\_  
 Water Mains \_\_\_\_\_  
 Paving \_\_\_\_\_

## NOTE TO CONTRACTOR

INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR THE PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED IN DEDICATED EASEMENTS OR PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.



C.O.W. PROJ. NO.: 2000 PPS (607861)	
<b>CERTIFIED ENGINEERING DESIGN, P.A.</b>	
<b>CED</b>	810 WEST DOUGLAS, SUITE C WICHITA, KANSAS 67203 PH: (316) 262-8808 FAX: (316) 262-1669
SHEET 1	TOTAL 5

# COPART ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

This plat of "COPART ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.  
Dated this 22nd day of October, 2001  
Wichita-Sedgwick County Metropolitan Area Planning Commission

J. D. Michaelis, Acting Chair  
Marv S. Kroul, Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 20th day of October, 2001.  
At the direction of the City Council

Clark Cherches, City Manager  
Pat Burnett, City Clerk

Renewed in accordance with K.S.A. 58-2005 on this 10th day of September, 2001.

Tricia L. Robella, Deputy County Surveyor  
Sedgwick County, Kansas

Entered on transfer record this 10th day of October, 2001.  
Don Brace, County Clerk

This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 12th day of October, 2001 at 4:42 o'clock A.M. and is duly recorded.

Bill Meek, Register of Deeds  
by: Stella Coleman  
Linda Kizire, Deputy

The foregoing instrument acknowledged before me, this 25th day of July, 2001, by Howard Cleaus, President of Country Cars Inc., on behalf of the corporation.

TAMRE BOHN, Notary Public  
My App'l. Exp. 8/7/09

The foregoing instrument acknowledged before me, this 9th day of July, 2001, by Francis E. Monroe and Bonnie J. Monroe, husband and wife.

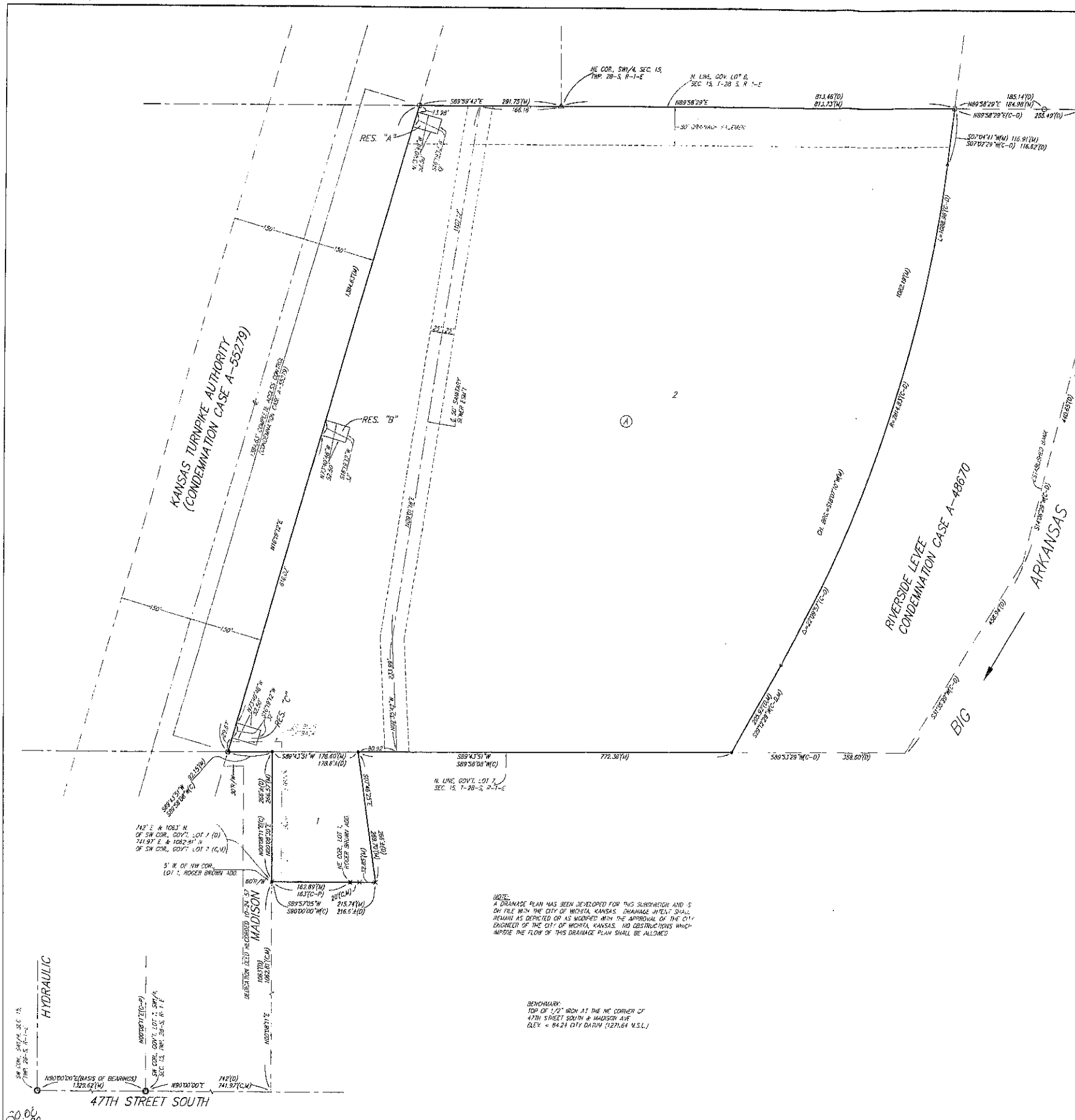
JUDITH M. TERHUNE, Notary Public  
My App'l. Exp. 11-7-2001

State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) aforesaid county and state do hereby certify that we have surveyed and  
platted "COPART ADDITION", Wichita, Sedgwick County, Kansas and that the  
accompanying plat is a true and correct exhibit of the property surveyed,  
described as follows: That part of Government Lot 5, lying east of the  
Kansas Turnpike and west of the Big Arkansas River, except land condemned  
for levee in Sedgwick County District Court Case #A-48670, all lying within  
Section 15, Township 28 South, Range 1 East of the 6th P.M., Sedgwick  
County, Kansas, together with the following described tract: Beginning  
742 feet east and 1083 feet north of the SW corner of Government Lot 7  
in the SW 1/4 of Section 15, Township 28 South, Range 1 East; thence east  
216.6 feet to a hedge fence; thence northwesterly along the hedge fence  
a little over 266 feet to an iron stake; thence west 178.5 feet; thence south  
266 feet to the point of beginning, located in Sedgwick County, Kansas.  
Existing public easements, (including District Court Condemnation Case  
#770-425 & District Court Case #A-70253), and dedications being  
vacated by virtue of K.S.A. 12-512(b).  
All being situated in the SW 1/4 and the SE 1/4 of Sec. 15,  
Twp. 28-S, R-1-E of the 6th P.M., Sedgwick County, Kansas.  
Baughman Company, P.A.

Michael G. Conroy, Surveyor  
# 2017325

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots and a Block, to be known as "COPART ADDITION", Wichita, Sedgwick County, Kansas. The drainage easement is hereby granted as indicated for drainage purposes. The sanitary sewer easement is hereby granted as indicated for the construction and maintenance of sanitary sewer systems. Reserves "A", "B", and "C" are hereby reserved for landscaping, open space, and signage. Reserves "A", "B", and "C" shall be owned and maintained by the owner of Lot 2, Block A. All abutler rights of access to or from Kansas Turnpike Authority over and across the west line of Lot 2, Block A, are hereby granted to the appropriate governing body. The Minimum Building Pad Elevations for the lowest opening to the structures on Lot 2, Block A, shall be 83.5 City Datum, (1270.90 M.S.L.).  
Country Cars Inc.

Howard Cleaus, President  
Francis E. Monroe  
Bonnie J. Monroe



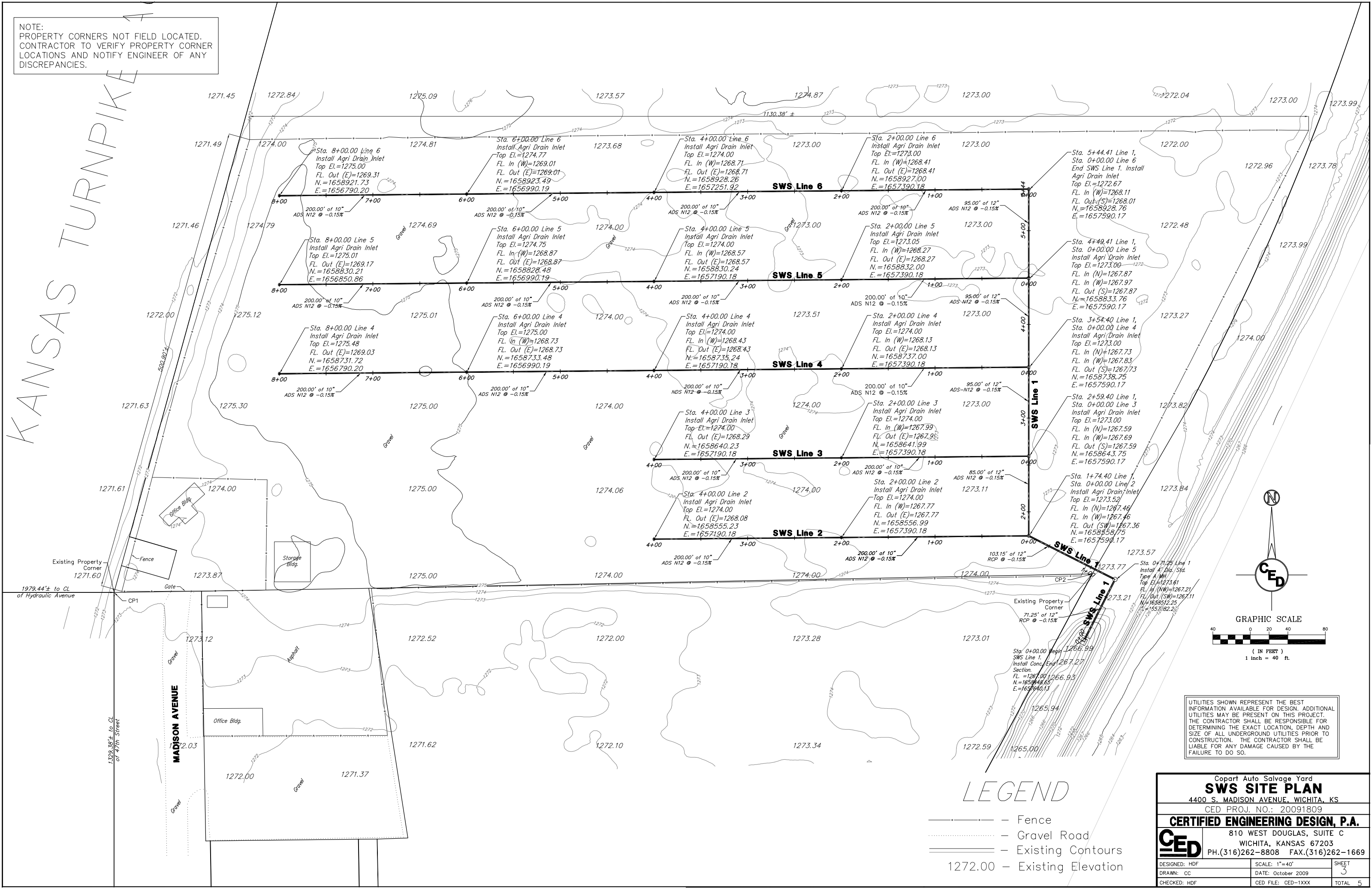
NOTE: A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THIS SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS. DRAINAGE INFENT SHALL REMAIN AS DEPICTED OR AS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH WOULD IMPERE THE FLOW OF THIS DRAINAGE PLAN SHALL BE ALLOWED.

BENCHMARK: TOP OF 1/2" IRON AT THE NE CORNER OF 47TH STREET SOUTH & MADISON AVE. ELEV. = 84.21 CITY DATUM (1271.64 M.S.L.)

BAUGHMAN COMPANY P. A.  
ENGINEERING, SURVEYING & PLANNING

NOTE:  
PROPERTY CORNERS NOT FIELD LOCATED.  
CONTRACTOR TO VERIFY PROPERTY CORNER  
LOCATIONS AND NOTIFY ENGINEER OF ANY  
DISCREPANCIES.

KANSAS TURNPIKE

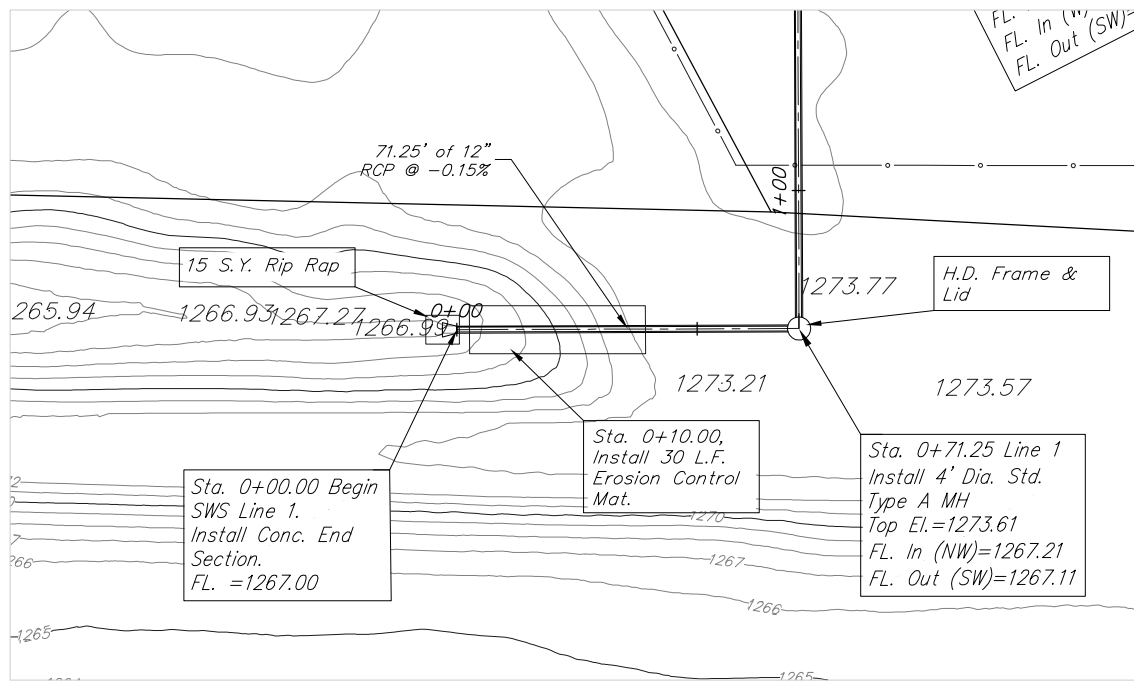


UTILITIES SHOWN REPRESENT THE BEST  
INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL  
UTILITIES MAY BE PRESENT ON THIS PROJECT.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR  
DETERMINING THE EXACT LOCATION, DEPTH AND  
SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO  
CONSTRUCTION. THE CONTRACTOR SHALL BE  
LIABLE FOR ANY DAMAGE CAUSED BY THE  
FAILURE TO DO SO.

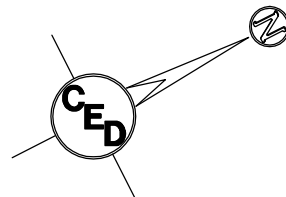
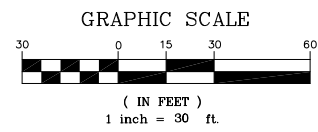
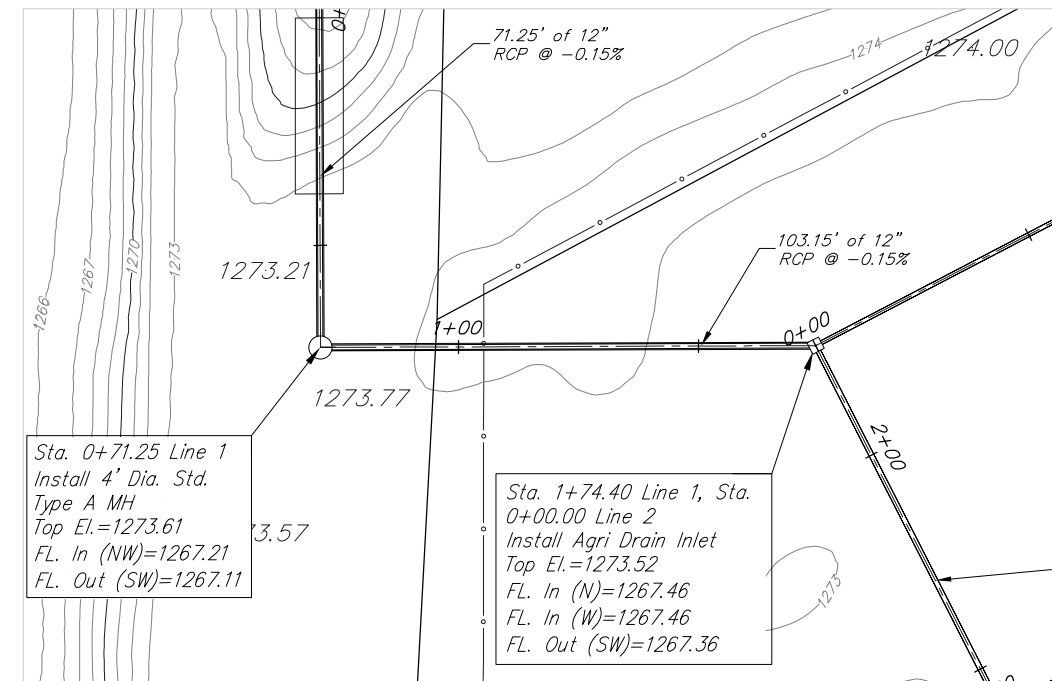
### LEGEND

- — — — — Fence
- ..... Gravel Road
- — — — — Existing Contours
- 1272.00 - Existing Elevation

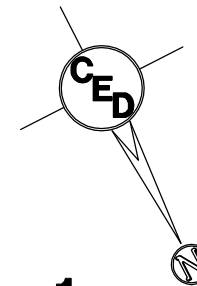
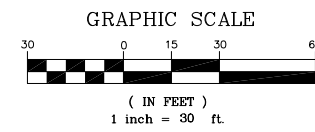
Copart Auto Salvage Yard <b>SWS SITE PLAN</b> 4400 S. MADISON AVENUE, WICHITA, KS		
CED PROJ. NO.: 20091809		
<b>CERTIFIED ENGINEERING DESIGN, P.A.</b>		
810 WEST DOUGLAS, SUITE C WICHITA, KANSAS 67203 PH.(316)262-8808 FAX.(316)262-1669		
DESIGNED: HDF	SCALE: 1"=40'	SHEET
DRAWN: CC	DATE: October 2009	3
CHECKED: HDF	CED FILE: CED-1XXX	TOTAL 5



Note:  
Contractor shall contact  
Doug Arvidson @  
316-268-4095 48 Hours  
Prior to Construction on  
the Wichita/Valley Center  
Flood Control Project.

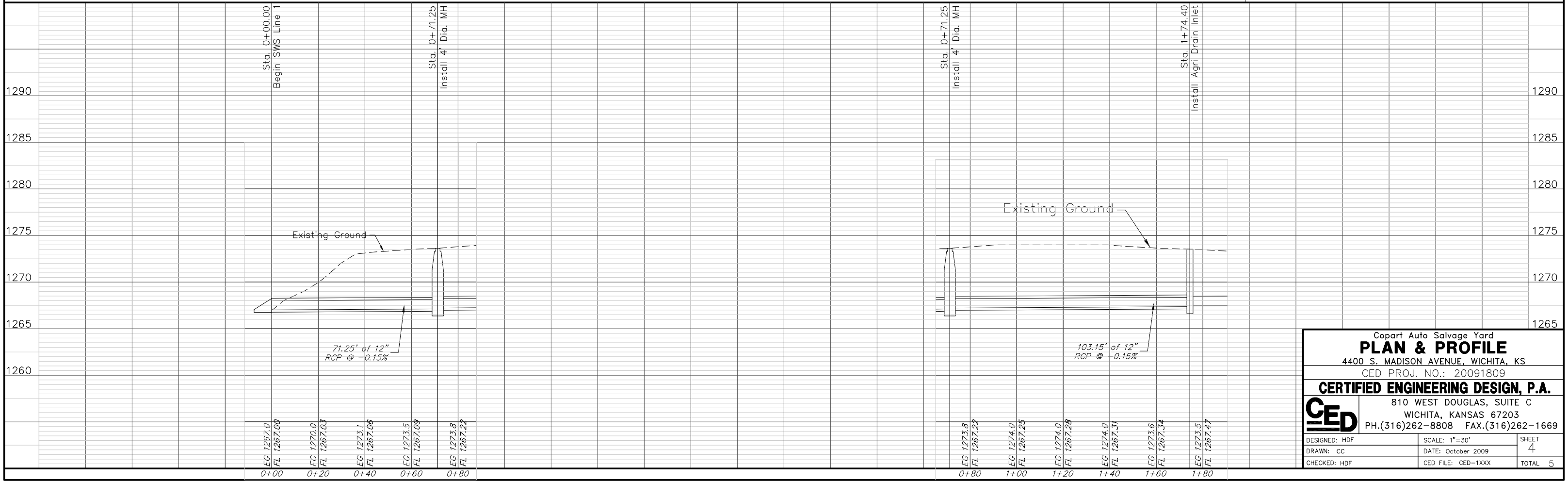


### SWS Line 1



### SWS Line 1

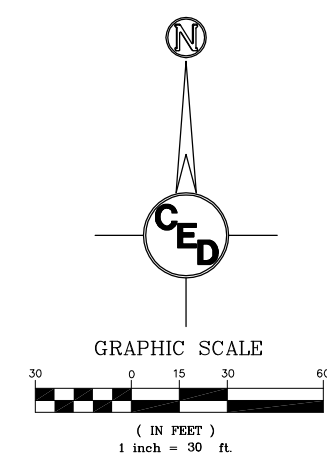
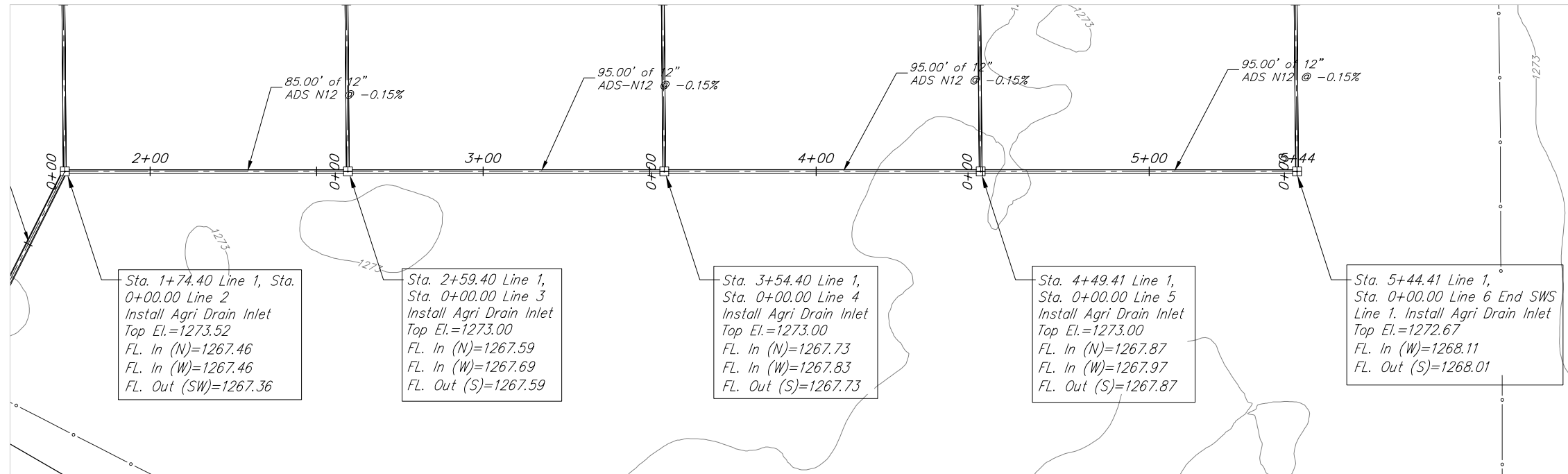
**DISCLAIMER:**  
CONTOURS USED IN PREPARING PLANS WAS PROVIDED BY CITY OF WICHITA LIDAR DATA. WICHITA, KS. ENGINEER DOES NOT GUARANTEE CONTOUR ELEVATIONS FOR ACCURACY. CONTRACTOR SHALL VERIFY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.



Copart Auto Salvage Yard  
**PLAN & PROFILE**  
4400 S. MADISON AVENUE, WICHITA, KS  
CED PROJ. NO.: 20091809

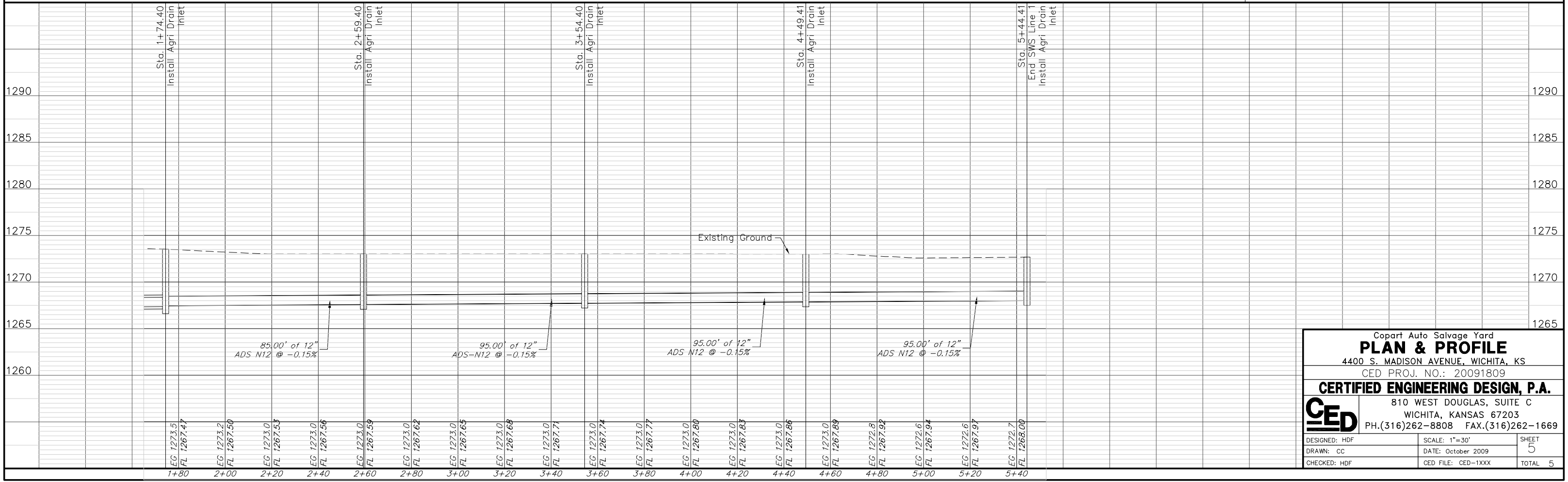
**CERTIFIED ENGINEERING DESIGN, P.A.**  
810 WEST DOUGLAS, SUITE C  
WICHITA, KANSAS 67203  
PH.(316)262-8808 FAX.(316)262-1669

DESIGNED: HDF	SCALE: 1"=30'	SHEET 4
DRAWN: CC	DATE: October 2009	TOTAL 5
CHECKED: HDF	CED FILE: CED-1XXX	



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**SWS Line 1**



Copart Auto Salvage Yard  
**PLAN & PROFILE**  
 4400 S. MADISON AVENUE, WICHITA, KS  
 CED PROJ. NO.: 20091809

**CERTIFIED ENGINEERING DESIGN, P.A.**  
 810 WEST DOUGLAS, SUITE C  
 WICHITA, KANSAS 67203  
 PH.(316)262-8808 FAX.(316)262-1669

DESIGNED: HDF	SCALE: 1"=30'	SHEET 5
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