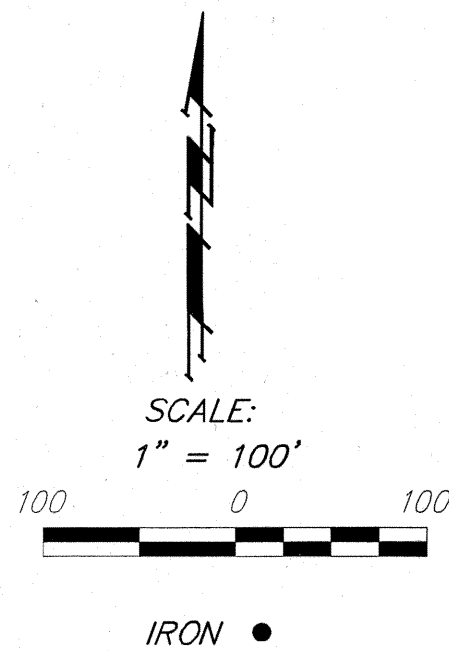


# AS BUILT PLANS

Contractor: Mies  
 Inspector: Don Eddingfield, Baughman Co  
 PDF'S BY: kek, 6/29/11



Stub  
 Release Date: 7/6/2011  
 APRosas 7/6/2011

SANITARY SEWER TO SERVE

# Lillie 2nd Addition

Lot 2, Block A

Private Project: 2102 PPS (607861)

CITY OF WICHITA, KANSAS

James Armour, P.E. City Engineer

March 2011

### Benchmark

Benchmark - "□" cut in top of curb.  
 Southwest corner of Maize Cul-de-Sac.  
 Elevation = 1328.65 (NAVD 88)

### Index

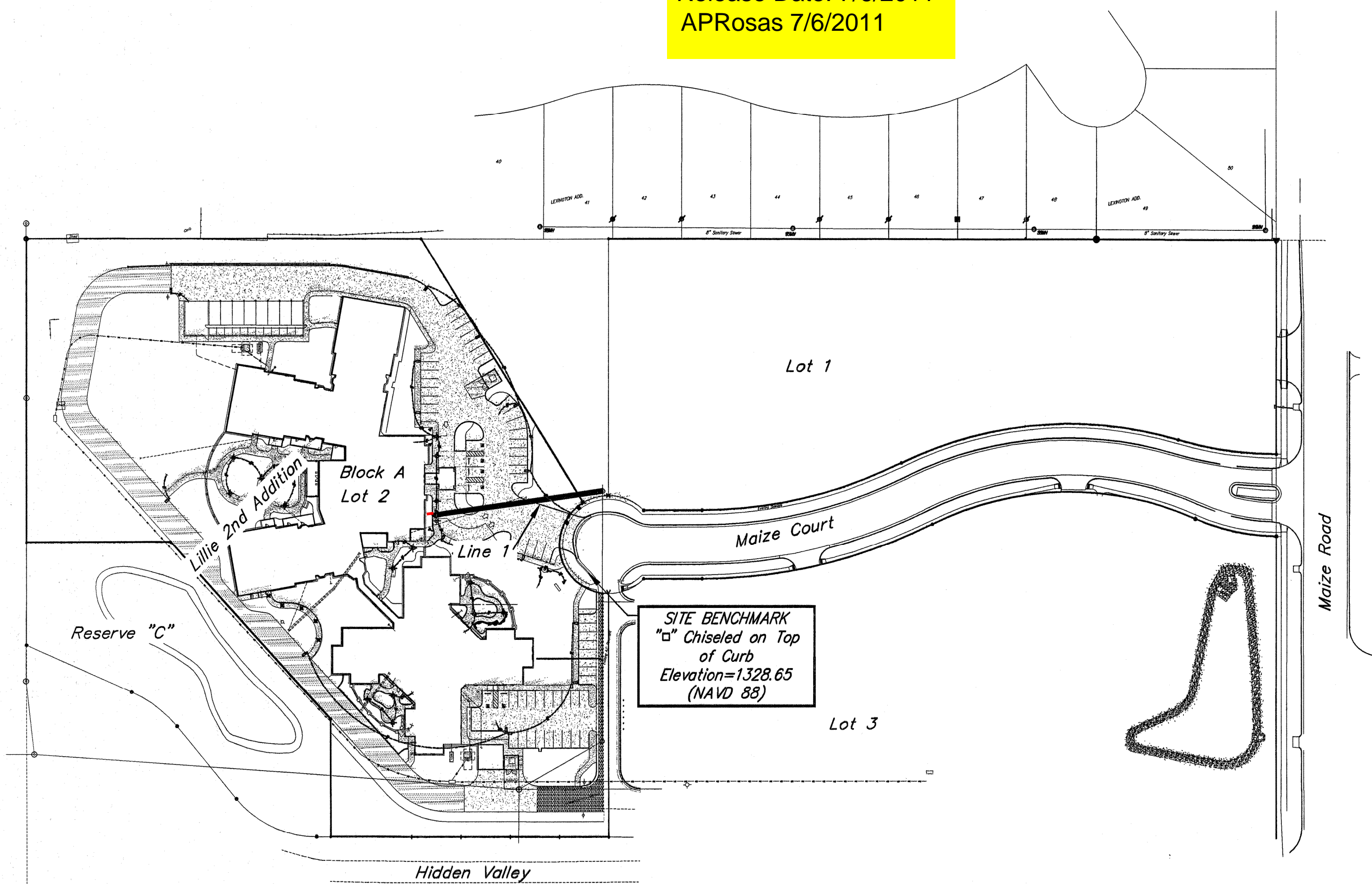
Title Sheet	1
Plan/Profile Sheets	2
Copy of Plat	3
Manhole & Ring & Cover Details	Available On Request
BMP Erosion Details	Available On Request

### Legal Description

Lot 2, Block A, Lillie 2nd Addition,  
 Wichita, Sedgwick County, Kansas

### General Notes

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 Cox Communications  
 Kansas Gas Service Company 262-4270  
 Westar Energy (Electric) 1-888-482-4950  
 Black Hills Energy (Gas) 383-8650  
 Southwestern Bell Telephone Co. 1-800-303-0357  
 City of Wichita Water Dept. (Water) 1-800-286-8313  
 City of Wichita Sewer Maint. (SS) 262-6000  
 City of Wichita Storm Sewer Maint. 262-6000  
 City of Wichita Traffic Maint. 268-4034
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Utility service lines, poles, valve boxes, meters, et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans represent the best information obtainable for design and shall be field verified. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.

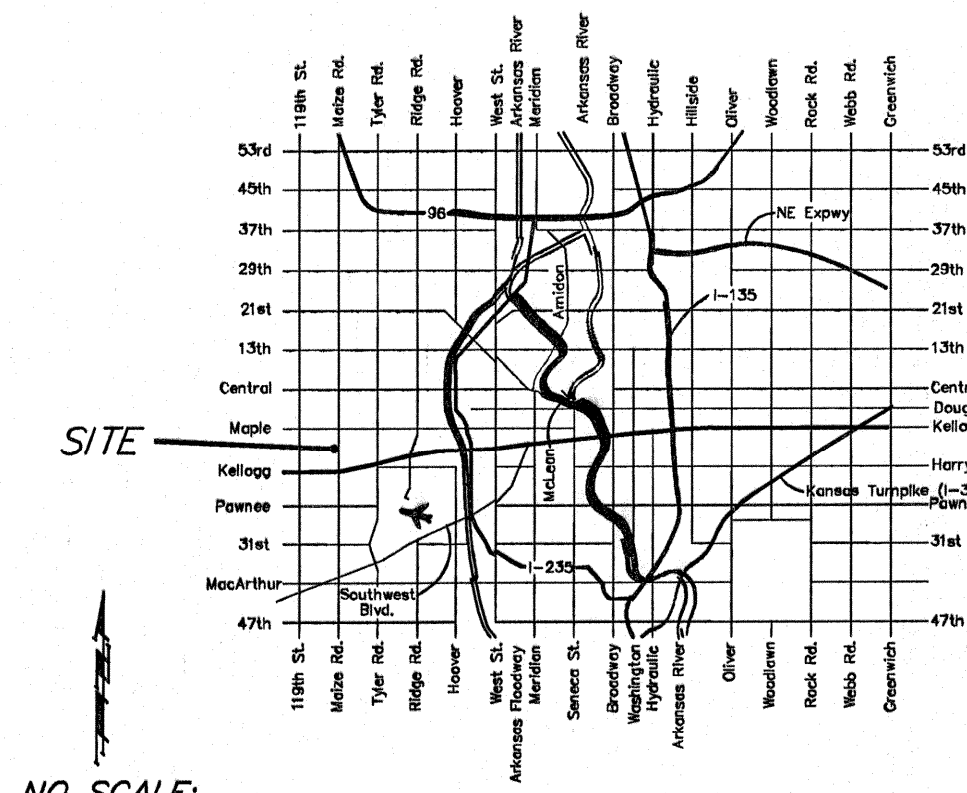
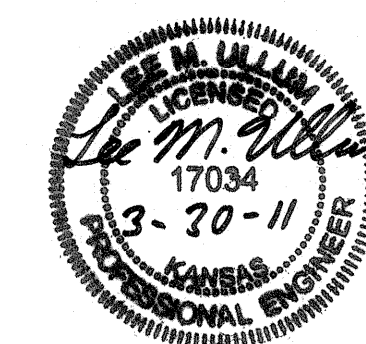


APPROVED AS NOTED  
 BY CITY ENGINEER OF WICHITA

Sanitary Sewers *Julianne Kallman 3-30-11*

NOTE TO CONTRACTORS

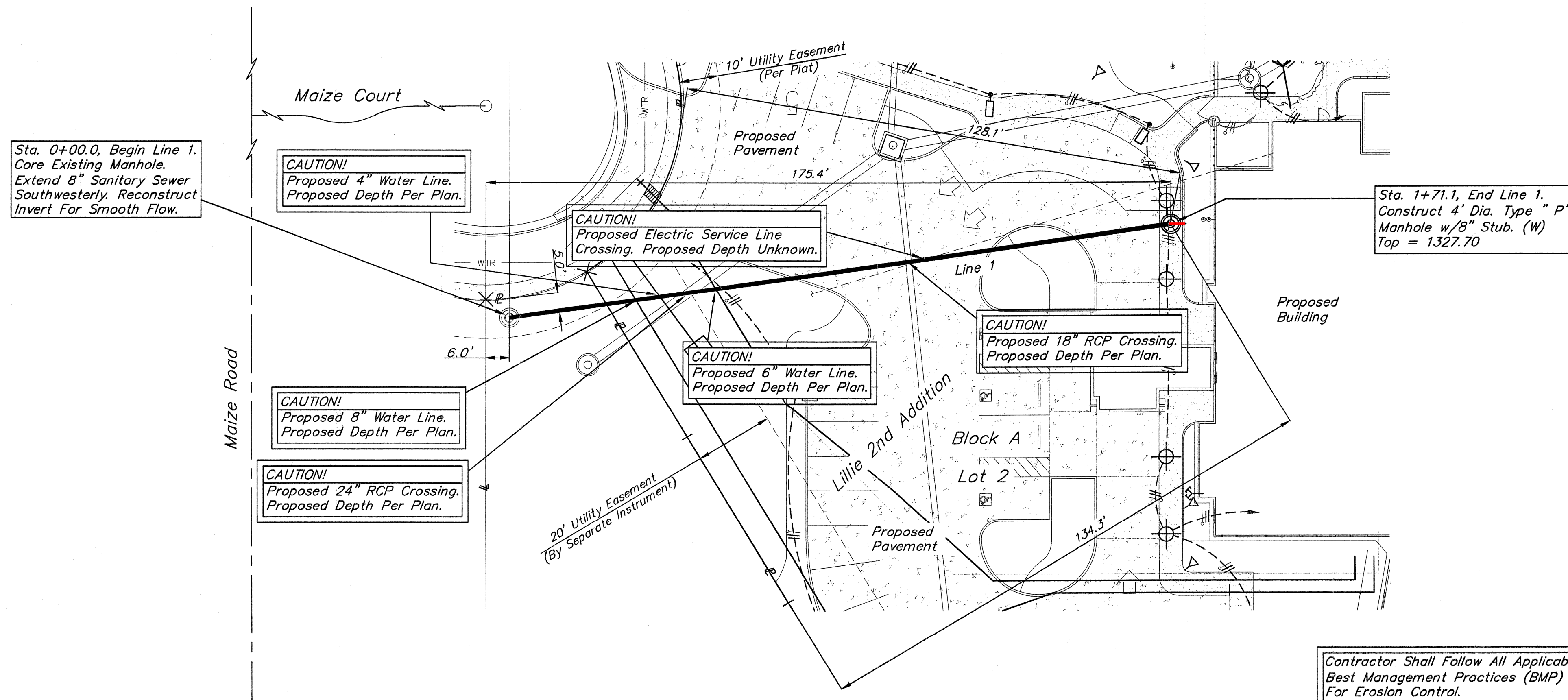
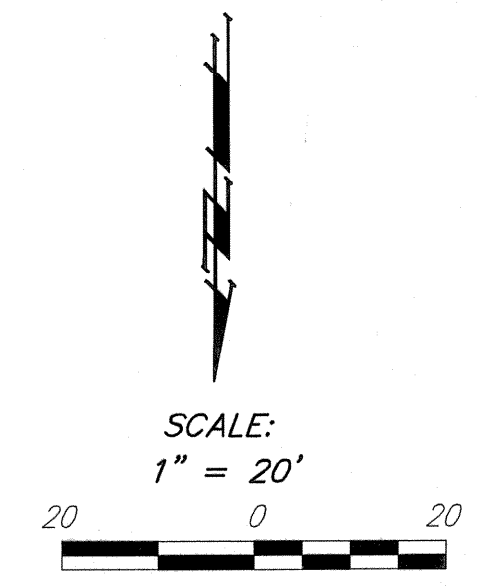
Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



VICINITY MAP

**Benchmark**

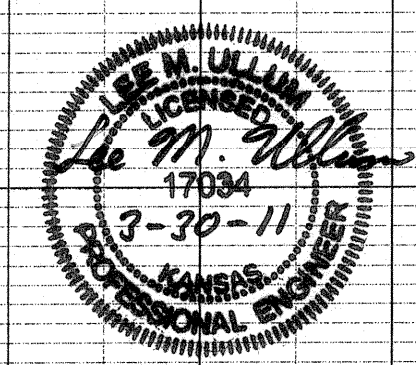
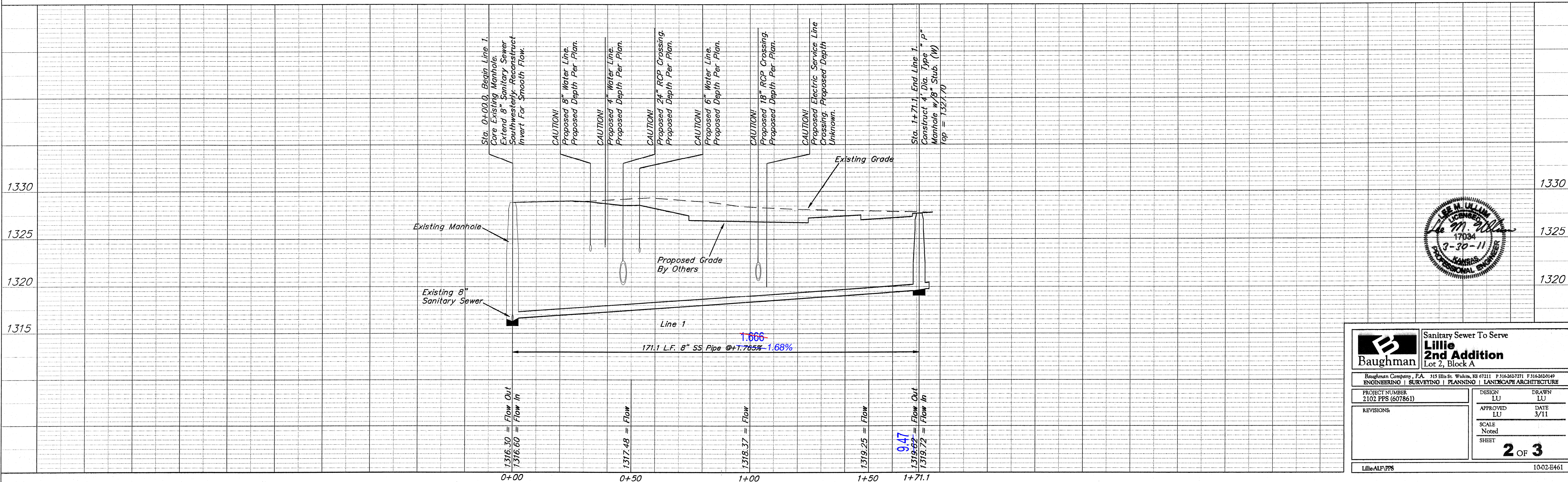
Benchmark - "□" cut in top of curb.  
 Southwest corner of Maize Cul-de-Sac.  
 Elevation = 1328.65 (NAVD 88)



Contractor Shall Follow All Applicable Best Management Practices (BMP) For Erosion Control.

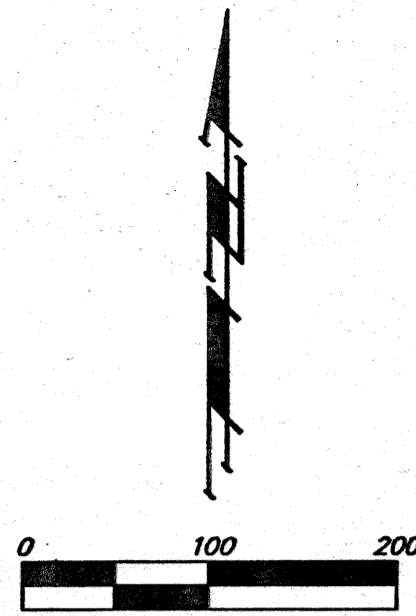
Contractor To Use Extreme Caution When Excavating Near Utility Lines. Contractor To Hand Dig To Expose All Utility Lines Prior To Construction. Verify Depth To Determine Conflict If Any.

**NOTE:**  
 Contractor Shall Sand Backfill, Flush, & Vibrate Water Line Trenches When Pipe Is Under Pavement.



		Sanitary Sewer To Serve <b>Lillie 2nd Addition</b> Lot 2, Block A	
Baughman Company, P.A. 115 Ellis St. Wichita, KS 67211 P 316-3637271 F 316-3620149 ENGINEERING   SURVEYING   PLANNING   LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 2102 PPS (607861)	DESIGN LU	DRAWN LU	DATE 3/11
REVISIONS:	APPROVED LU	SCALE Noted	SHEET <b>2 OF 3</b>
Lillie ALP/PS		10-02-E461	

# LILLIE 2ND ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



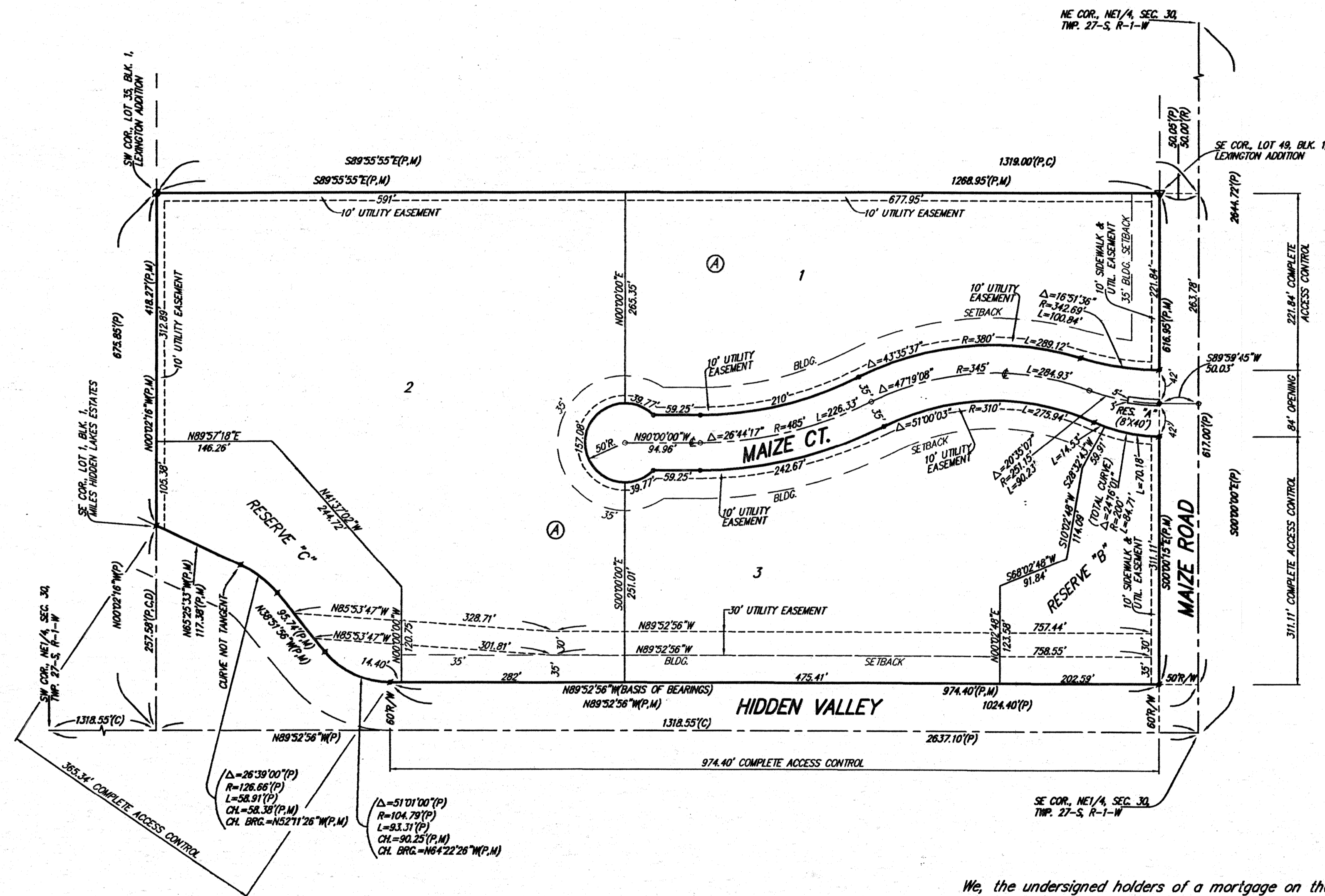
- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- = #4 REBAR W/ "SBS" CAP (FOUND)
- ▽ = #4 REBAR W/ "PC" CAP (FOUND)

LOT	BLOCK	ELEVATION
2, 3	A	1322.0

NOTE:  
ADDITIONAL BUILDING SETBACK  
REQUIREMENTS PER COMMUNITY  
UNIT PLAN OF-286 ON FILE WITH  
THE CITY OF WICHITA, KANSAS.

- (M) = MEASURED
- (D) = DESCRIBED
- (P) = PLATTED
- (C) = CALCULATED
- (R) = RECORD MEASUREMENT
- (C-P) = CALCULATED PER  
PLATTED INFO.
- (C-D) = CALCULATED PER  
DESCRIBED INFO.

BENCHMARK:  
CITY OF WICHITA BENCHMARK DISC -  
MAIZE ROAD & MCCORMICK (HIDDEN VALLEY)  
0.5 MI. S. OF MAPLE ON THE NE CORNER  
OF R.C.B.C. OVER CONSON CREEK,  
SOUTH OF HIDDEN VALLEY  
ELEV. = 1318.93 NGVD29



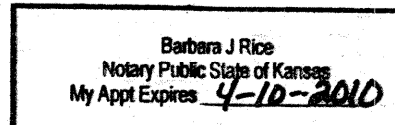
We, the undersigned holders of a mortgage on the  
above described property, do hereby consent to this plat of "LILLIE 2ND  
ADDITION", Wichita, Sedgwick County, Kansas.  
Central National Bank

*Travis Bles*  
TRAVIS BLES, Commercial Loan Officer

State of Kansas) SS The foregoing instrument acknowledged before  
Sedgwick County) me, this 17th day of May, 2007, by Travis Bles,  
Comm. Loan Officer of Central National Bank, on behalf of the bank.

*Barbara J. Rice*  
BARBARA J. RICE, Notary Public

My App't. Exp. 4-10-2010



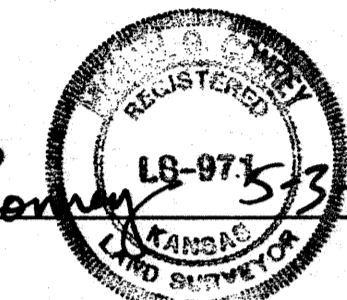
State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) aforesaid county and state do hereby certify that we have surveyed and  
platted "LILLIE 2ND ADDITION", Wichita, Sedgwick County, Kansas and that  
the accompanying plat is a true and correct exhibit of the property  
surveyed, described as and being a replat of all of Lots 1, 2, and 3,  
Block A, together with all of Reserves "A", "B", and "C", and together with  
all of Maize Ct., all as platted and dedicated in Lillie Addition, Wichita,  
Sedgwick County, Kansas.

All being situated in the NE 1/4 of Sec. 30, Twp. 27-S,  
R-1-W of the 6th P.M., Sedgwick County, Kansas.

Existing public easements and dedications being  
vacated by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

*Michael D. Conrey*  
Michael G. Conrey, Registered Professional Surveyor  
LS-97532007



Know all men by these presents that we,  
the undersigned, have caused the land in the surveyors certificate to be  
platted into Lots, a Block, a Street, and Reserves to be known as "LILLIE  
2ND ADDITION", Wichita, Sedgwick County, Kansas. The utility easements  
are hereby granted as indicated for the construction and maintenance of  
all public utilities. The sidewalk and utility easements are hereby granted  
as indicated for the construction and maintenance of public sidewalks and  
for the construction and maintenance of all public utilities. The street is  
hereby dedicated to and for the use of the public. Reserve "A" is hereby  
reserved for streets, entry monuments, open space, utilities, and  
landscaping. Reserve "B" is hereby reserved for lakes, landscaping,  
drainage purposes, entry monuments, signage, sidewalks, and utilities as  
confined to easements. Reserve "C" is hereby reserved for lakes,  
landscaping, drainage purposes, and utilities as confined to easements.  
Reserves "A", "B", and "C" shall be owned and maintained by the lot  
owners association for the addition. Access controls shall be as depicted  
on the face of the plat and are hereby granted to the City of Wichita,  
Kansas. The Minimum Building Pad Elevation for the lowest opening to  
the structures shall be as indicated on the face of the plat.

Physicians Development, L.L.C.,  
a Kansas limited liability company

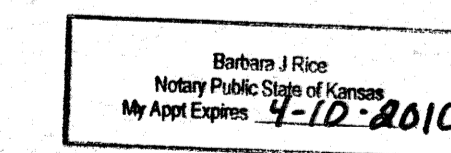
*Gregory F. Lakin*  
Gregory F. Lakin, D.O., J.D., Co-Manager/Member

*Matthew J. Lillie*  
Matthew J. Lillie, Co-Manager/Member

State of Kansas) SS The foregoing instrument acknowledged before  
Sedgwick County) me, this 17th day of May, 2007, by Gregory F. Lakin, D.O., J.D.,  
Co-Manager/Member of Physicians Development, LLC, a Kansas limited  
liability company, on behalf of the limited liability company.

*Barbara J. Rice*  
BARBARA J. RICE, Notary Public

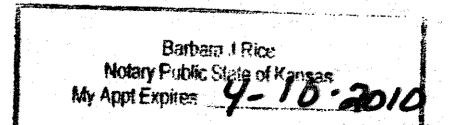
My App't. Exp. 4-10-2010



State of Kansas) SS The foregoing instrument acknowledged before  
Sedgwick County) me, this 17th day of May, 2007, by Matthew J. Lillie,  
Co-Manager/Member of Physicians Development, LLC, a Kansas limited  
liability company, on behalf of the limited liability company.

*Barbara J. Rice*  
BARBARA J. RICE, Notary Public

My App't. Exp. 4-10-2010

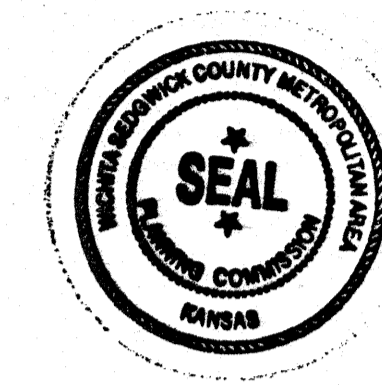


This plat of "LILLIE 2ND ADDITION", Wichita,  
Sedgwick County, Kansas has been submitted to and approved by the  
Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita,  
Kansas.

Dated this 17th day of April, 2007,  
Wichita-Sedgwick County Metropolitan Area Planning Commission

*Darrell A. Downing*  
Darrell A. Downing, Chair

*John L. Schlegel*  
John L. Schlegel, Secretary



This plat approved and all dedications  
shown hereon accepted by the City Council of the City of Wichita,  
Kansas, this 26 day of June, 2007.

*Carl Brewer*  
Carl Brewer, Mayor

*Karen Sublett*  
Karen Sublett, City Clerk



Reviewed in accordance with K.S.A. 58-2005  
on this 22nd day of June, 2007.

*Tricia L. Robello*  
Tricia L. Robello, L.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

*Gregory F. Lakin*  
Gregory F. Lakin, D.O., J.D., Co-Manager/Member

Entered on transfer record this 26th day  
of July, 2007.

*Don Erace*  
Don Erace, County Clerk



Register of Deeds - Bill Meek  
DOC #/FLM-PG: 28902791  
Receipt #: 1682498  
Page Recorded: 1  
Clerk Initials: RLM  
Authorized By: [Signature]  
Recording Fee: \$20.00  
Date Recorded: 7/26/2007 10:31:19 AM

State of Kansas) SS This is to certify that this plat has been  
Sedgwick County) filed for record in the office of the Register of Deeds, this 26th day  
of July, 2007 at 10:31 a'clock A.M. and is duly recorded.

*Bill Meek*  
Bill Meek, Register of Deeds

*Tanya Buckingham*  
Tanya Buckingham, Deputy

## LILLIE 2ND ADDITION

Baughman Company, P.A.  
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149  
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

NOTE:  
A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THIS SUBDIVISION AND IS  
ON FILE WITH THE CITY OF WICHITA, KANSAS. DRAINAGE INTENT SHALL  
REMAIN AS DEPICTED OR AS MODIFIED WITH THE APPROVAL OF THE CITY  
ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH  
IMPEDE THE FLOW OF THIS DRAINAGE PLAN SHALL BE ALLOWED.