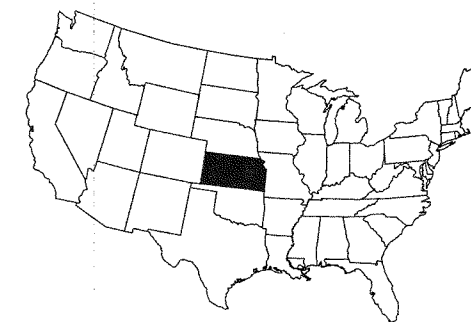


# A NEW RESTAURANT FOR: PANDA EXPRESS WICHITA, KS

2760 N. MAIZE ROAD  
PEARSON COMMERCIAL ADDITION  
0009PPD (607861)

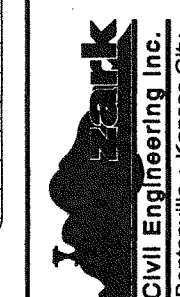
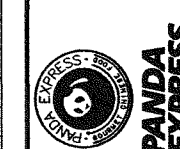
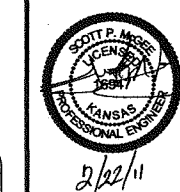
APPROVED AS NOTED BY CITY ENGINEER OF WICHITA  
*Johanne Kallman 3/11/11*  
STORMWATER MANAGEMENT

NOTE TO CONTRACTORS  
INSTALLATION, INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE CITY OF WICHITA SPECIFICATIONS AND STANDARDS (ON FILE AND AVAILABLE IN THE CITY ENGINEER'S OFFICE).



STATE LOCATION MAP

DATE	DESCRIPTION
12/20/10	RESPONSE TO BUILDING DEPT. COMMENTS
01/26/11	ADDED STORM SEWER PROFILES
01/26/11	ADDED BENCHMARK
02/21/11	ADDED NORTHING & EASTING TO DRAINAGE



WICHITA, KS

COVER SHEET  
A NEW RESTAURANT FOR:  
PANDA EXPRESS  
2760 N. MAIZE ROAD

DRAWN BY:	EDH
APPV. BY:	SPM
DWG. NAME:	10-0993PRE
DATE:	10/25/10
JOB NO.:	10-0993
SHEET NO.:	

C-1

## COVER GENERAL NOTES:

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND EXISTING FIELD CONDITIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY HAND DIGGING TEST PITS AT ALL UTILITY CROSSINGS IN ADVANCE OF TRENCHING WITH ANY MECHANICAL DEVICE. CLEARANCES LESS THAN SPECIFIED ON THESE PLANS OR 18" WHICHEVER IS LESS, CONTRACTOR SHALL CONTACT OZARK CIVIL ENGINEERING, INC. @ 913-310-0470 PRIOR TO ANY FURTHER CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL INCLUDE IN CONTRACT THE PRICE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT NEEDED TO ESTABLISH THE FINAL GRADES AND LANDSCAPING.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND USE OF ANY AND ALL REQUIRED OR NECESSARY SHORING, SHEETING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED ON THIS PROJECT THAT WILL MEET OR EXCEED OSHA, FEDERAL, STATE AND LOCAL REGULATIONS DURING CONSTRUCTION. OZARK CIVIL ENGINEERING, INC. AND THE DEVELOPER/OWNER ACCEPTS NO RESPONSIBILITY FOR THE CONTRACTORS FAILURE TO COMPLY WITH THESE REGULATIONS.

ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL STUDY, WHERE A CONFLICT EXISTS BETWEEN THE HIGHWAY DEPARTMENT / CITY STANDARDS, OR THE GEOTECH STUDY, THE MOST STRINGENT SHALL APPLY.

FURTHERMORE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE EROSION CONTROL MEASURES AS SHOWN ON THESE PLANS. CONTRACTOR SHALL KEEP THESE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.

ALL PHASES OF CONSTRUCTION SHALL MEET OR EXCEED THE HIGHWAY DEPARTMENT / CITY SPECIFICATIONS.

SEE ARCHITECTURAL PLANS FOR THE EXACT DIMENSIONS AND LOCATIONS OF ANY RAMPS, VESTIBULE, PORCHES, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS OR WELLS, AND PRECISE BUILDING DIMENSIONS.

CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION PROCEDURES. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

THE TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING BUT NOT LIMITED TO PROPERTY LINES, LEGAL DESCRIPTIONS, EXISTING UTILITIES, SITE TOPOGRAPHY INCLUDING SPOT ELEVATIONS, EXISTING STRUCTURAL LOCATIONS AND OUTSTANDING PHYSICAL FEATURES HAS BEEN PROVIDED BY THE FOLLOWING COMPANY:

Garber Surveying Service  
Daniel E. Garber, RLS  
2908 N. Plum Hutchinson, KS 67502  
(V) 620-665-7032 (F) 620-663-7401

OZARK CIVIL ENGINEERING, INC. AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING FEATURES AS SHOWN ON THE SURVEY AND NOTIFY THE SURVEYOR AND THE ENGINEER OF RECORD OF ANY INACCURACIES FOUND ON THE SURVEY PRIOR TO BEGINNING CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

ALL CONSTRUCTION IN THE STATE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT.

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING ALL PHASES OF CONSTRUCTION OF THIS SITE. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO CONSTRUCTION WORKING HOURS.

WARRANTY / DISCLAIMER  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR DESIGN FUNCTION AND USE INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR HIS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION AT THE SITE.

## SITE UTILITY CONTACTS CITY OF WICHITA, KS

<b>Owner Contact</b> Panda Express, Inc. Larry Jackson 3500 Quail Lane Arlington, TX 76016 817-457-8555 (V)	<b>TELEPHONE</b> SBC Christopher Dieker 154 N. Broadway, Room 210 Wichita, KS 67202 316-268-3180 (V)	<b>GAS</b> Kansas Gas Service John Stark 3845 W Harry Wichita KS 67213 316-941-1607
--	---	--

<b>WATER</b> GREG LOLLEY 455 N. Main Wichita, KS 67202 316-368-4555 (V)	<b>ELECTRIC</b> SHANE PRICE 1900 E. Central Wichita, KS 67214 316-261-6315 (V)	<b>DEVELOPER</b> Classic Real Estate Christian Abblat 8200 E. 32nd St. Ste. 150 Wichita, KS 67226 316-634-2600 (V) 316-393-3456 (F)
---	--	---

PRIMARY BENCHMARK  
SQUARE CUT ON TOP OF PARKING LOT CURB,  
NORTHWEST CORNER OF PARKING LOT, 90' EAST OF WEST  
QUARTER CORNER OF SECTION 5, T27S, R1W, (FROM PLANS  
BY OZARK CIVIL ENGINEERING, INC. SHEET B4, DATED  
07-22-08)

ELEVATION=1353.11

SBM "A"  
NORTH RIM OF STORM SEWER MANHOLE 214+/-  
NORTH AND 20+/- FEET WEST OF THE NORTHWEST CORNER  
OF LOT 3, BLOCK 1 PEARSON COMMERCIAL ADDITION

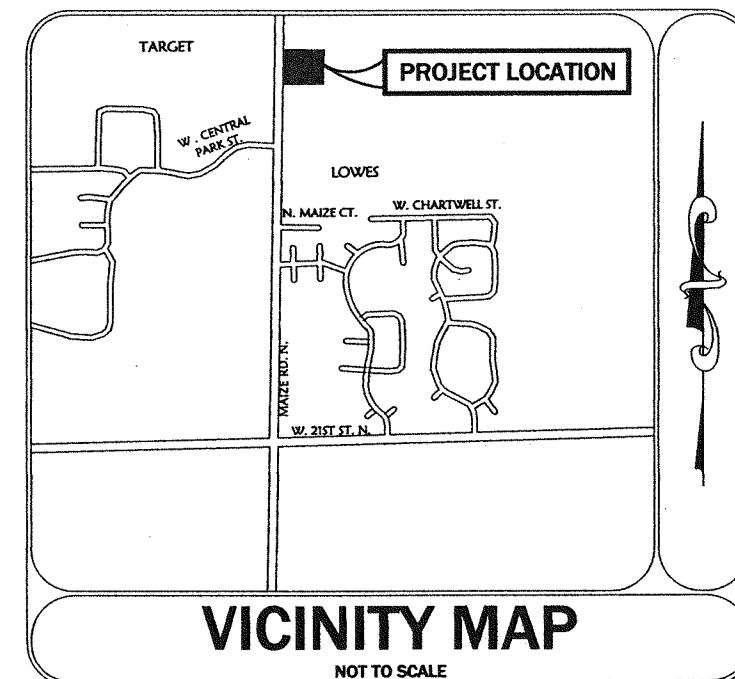
ELEVATION=1351.78

SBM "B"  
NORTH RIM OF STORM SEWER MANHOLE 154+/- FEET  
NORTH AND 20+/- FEET WEST OF THE NORTHWEST CORNER  
OF LOT 3, BLOCK 1 PEARSON COMMERCIAL ADDITION

ELEVATION=1351.93

## DRAWING INDEX:

	DATE	REV/BID/CO/ADD
C-1 COVER SHEET	02-21-11	REV. 3
C-2 SITE PLAN	12-17-10	BID
C-3.1 GRADING PLAN	02-21-11	REV. 3
C-3.2 STORM SEWER LINE 1 PLAN AND PROFILE	02-21-11	REV. 3
C-3.3 STORM SEWER LINE 2 PLAN AND PROFILE	02-21-11	REV. 3
C-4 EROSION CONTROL PLAN	12-20-10	BID
C-5 UTILITY PLAN	02-09-11	REV. 2
C-6 LANDSCAPE PLAN	12-20-10	BID
SD1 DETAIL SHEET	12-20-10	BID
SD2 DETAIL SHEET	12-20-10	BID
SD3 DETAIL SHEET	11-23-10	BID
SD4 DETAIL SHEET	11-23-10	BID
ERU ERU PLAN	02-09-11	REV. 2
SUBDIVISION PLAT	08-22-07	-
ALTA SURVEY	11-11-10	-
CUP ADJUSTMENT	12-17-10	-

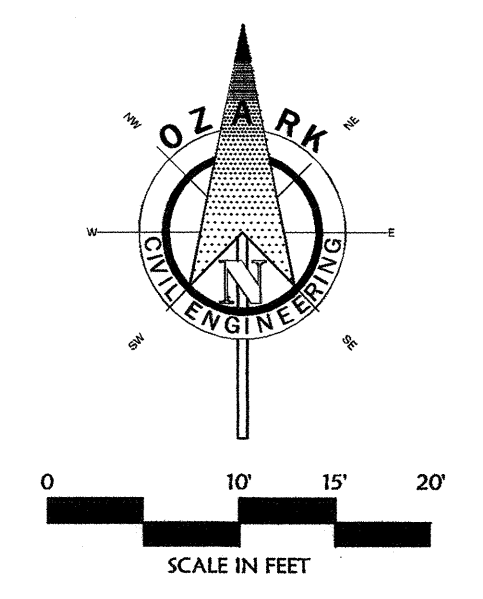


## VICINITY MAP

NOT TO SCALE

q:\10-0992 nvr wichita panda express\dwg\project\3-city-revisions\date 020311\10-0992r5.dwg - Plotted on 2/22/2011 3:20:33 PM @ a scale of 1:1 to htp designplot 1050c by hp by Scott Magee

MAIZE ROAD N.



SITE DATA	
Acreage:	Panda Express Proposed Acreage 0.6477 AC
	Panda Express Proposed SF 28,215 SF
Building SF:	2448 SF
<b>Parking Requirements:</b>	
Local Parking Required	
Standard	23
Handicapped	1
Total Parking Required (1 sp/3 Occupants)	24
(Occupancy - 72)	
<b>Parking Provided:</b>	
Standard	35
Handicapped	2
Total Parking Provided	37

SITE PROPOSED FEATURES	
	BOUNDARY LINE
	RIGHT OF WAY LINE
	EASEMENT LINE
	CONCRETE CURB AND GUTTER
	FENCE
	GUARD RAIL
	RETAINING WALL
	LOCATION OF BUILDING CONTROL POINT
	PROPOSED PARKING SPACE COUNTER
	DROP INLETS (SEE GRADING PLAN FOR TYPE)
	SANITARY SEWER MANHOLE
	PROPOSED LIGHT POLE AND FIXTURE
	UTILITY POLE
	LIGHT DUTY CONCRETE
	CAR PARKING AND DRIVE AREAS
	MEDIUM DUTY CONCRETE
	TRUCK DRIVE AREAS
	HEAVY DUTY CONCRETE
	DUMPSTER APRON
	CONCRETE SIDEWALK
	DRY CONCRETE CURB AND GUTTER

**SITE GENERAL NOTES:**

COORDINATE LIST (IF ANY) ON THIS PLAN ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN ON THESE PLANS BEFORE CONSTRUCTION STARTS.

EXCEPT WHERE INDICATED OTHERWISE, PAVING SHALL BE STANDARD DUTY CONCRETE PAVING.

UNLESS OTHERWISE NOTED, ALL CURB INDICATED SHALL BE MONOLITHIC CONCRETE CURB AND GUTTER.

ALL PARKING SPACES INDICATED AS HANDICAPPED SPACES SHALL BECEP HANDICAP PAVEMENT MARKINGS AND SIGNS AS INDICATED ON THE DETAIL SHEETS PER DETAIL SD15 - STALLS LABELED "VAN" TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE.

THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS, DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.

PAINTED TRAFFIC ARROWS AND ALL SIGNS, PAVEMENT MARKINGS ETC. SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MUTCD FOR STREET & HIGHWAYS.

GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.

FOR SITE UTILITIES, SEE UTILITY PLAN.

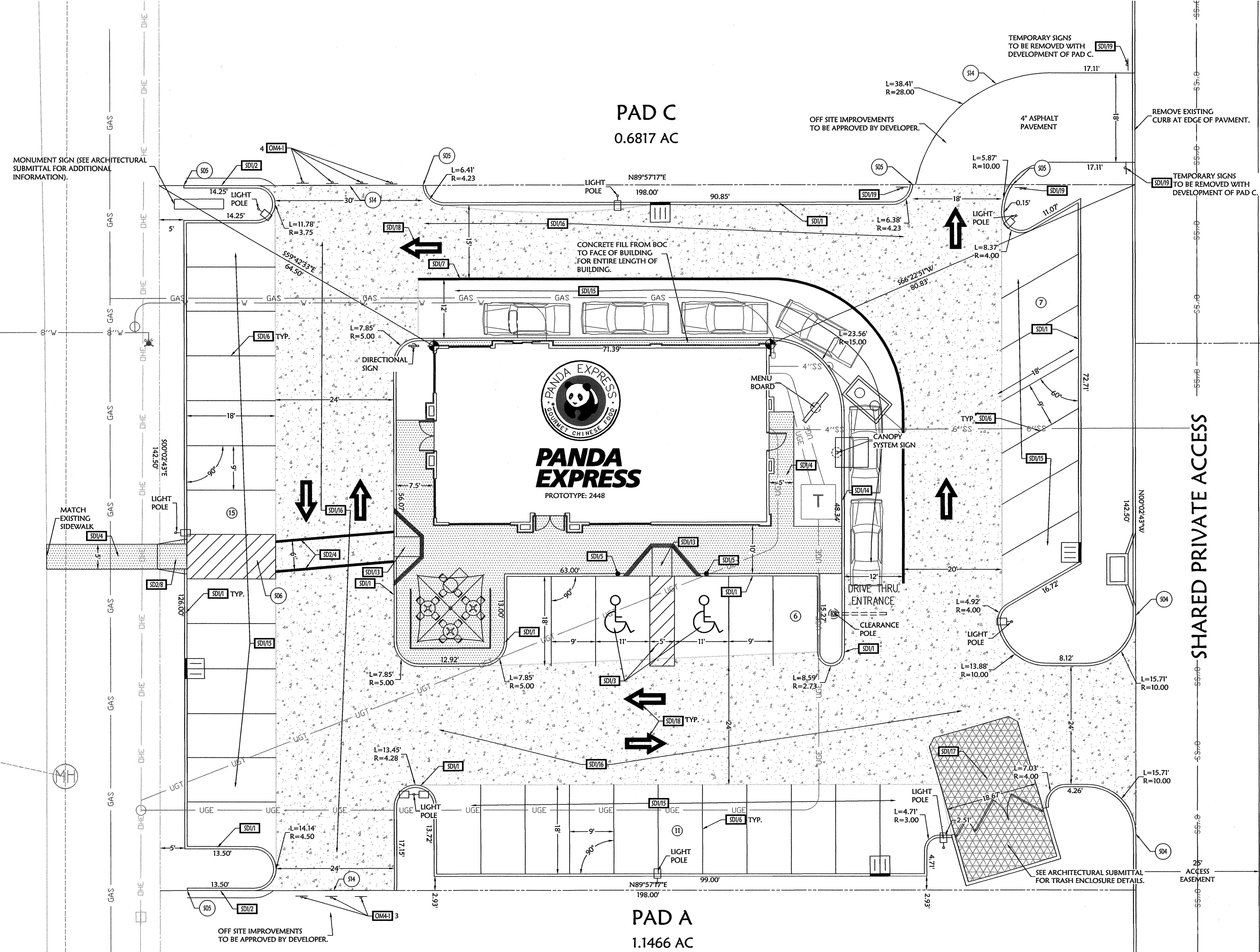
ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.

ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE THE FACE OF CURB DIMENSIONS, ARE TO THE FACE OF CURB, FACE OF BUILDING OR CENTERLINE OF STREET.

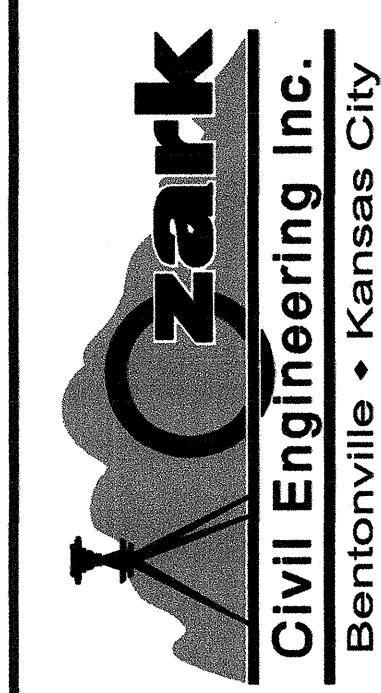
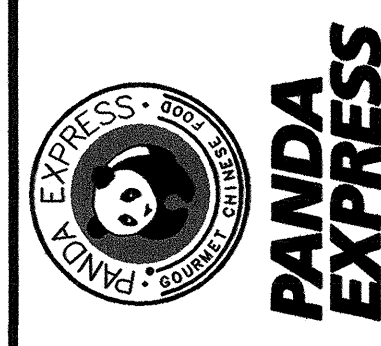
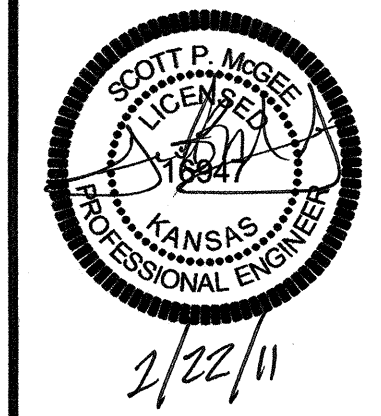
SITE NOTES	
XXX	Items labeled by the following symbols are shown on this sheet.
	TAPER CURB TO MATCH EXISTING
	END OF CURB
	4" WIDE PAINTED STRIPES, 2' O.C. @ 45°
	EDGE OF PAVEMENT

SITE DETAILS	
	CONCRETE CURB & GUTTER FOR MONOLITHIC CONCRETE
	CONCRETE CURB & GUTTER
	ADA STALL MARKING
	TYPICAL SIDEWALK DETAIL
	HANDICAP PARKING SIGN
	PARKING STALL STRIPING
	DRIVE-THRU LANE STRIPING
	PAVEMENT MARKING STOP W/ BAR
	"DO NOT ENTER" SIGN
	STOP SIGN DETAIL
	TANGENT CURB RAMP
	LIGHT DUTY CONCRETE CAR PARKING AND DRIVE AREAS
	MEDIUM DUTY CONCRETE TRUCK DRIVE AREAS
	HEAVY DUTY CONCRETE DUMPSTER APRON
	PAVEMENT MARKING
	"DO NOT ENTER" SIGN
	STANDARD CROSSWALKS
	SIDEWALK WITH RAMP CONDITIONS

OM4-1 MUTCD - END OF PAVEMENT MARKER



DATE	DESCRIPTION
12/17/10	ADDED PEDESTRIAN ACCES PER CITY COMMENTS



**SITE PLAN**

A NEW RESTAURANT FOR:  
**PANDA EXPRESS**

2760 N. MAIZE ROAD  
WICHITA, KS

DRAWN BY: EDH  
APPV. BY: SPM  
DWG. NAME: 10-0993PRE  
DATE: 10/25/10  
JOB NO.: 10-0993  
SHEET NO.:

**PRIMARY BENCHMARK**  
 SQUARE CUT ON TOP OF PARKING LOT CURB,  
 NORTHWEST CORNER OF PARKING LOT, 90° EAST OF WEST  
 QUARTER CORNER OF SECTION 5, T27S, R13W. (FROM PLANS  
 BY OZARK CIVIL ENGINEERING, INC. SHEET B4, DATED  
 07-22-08)

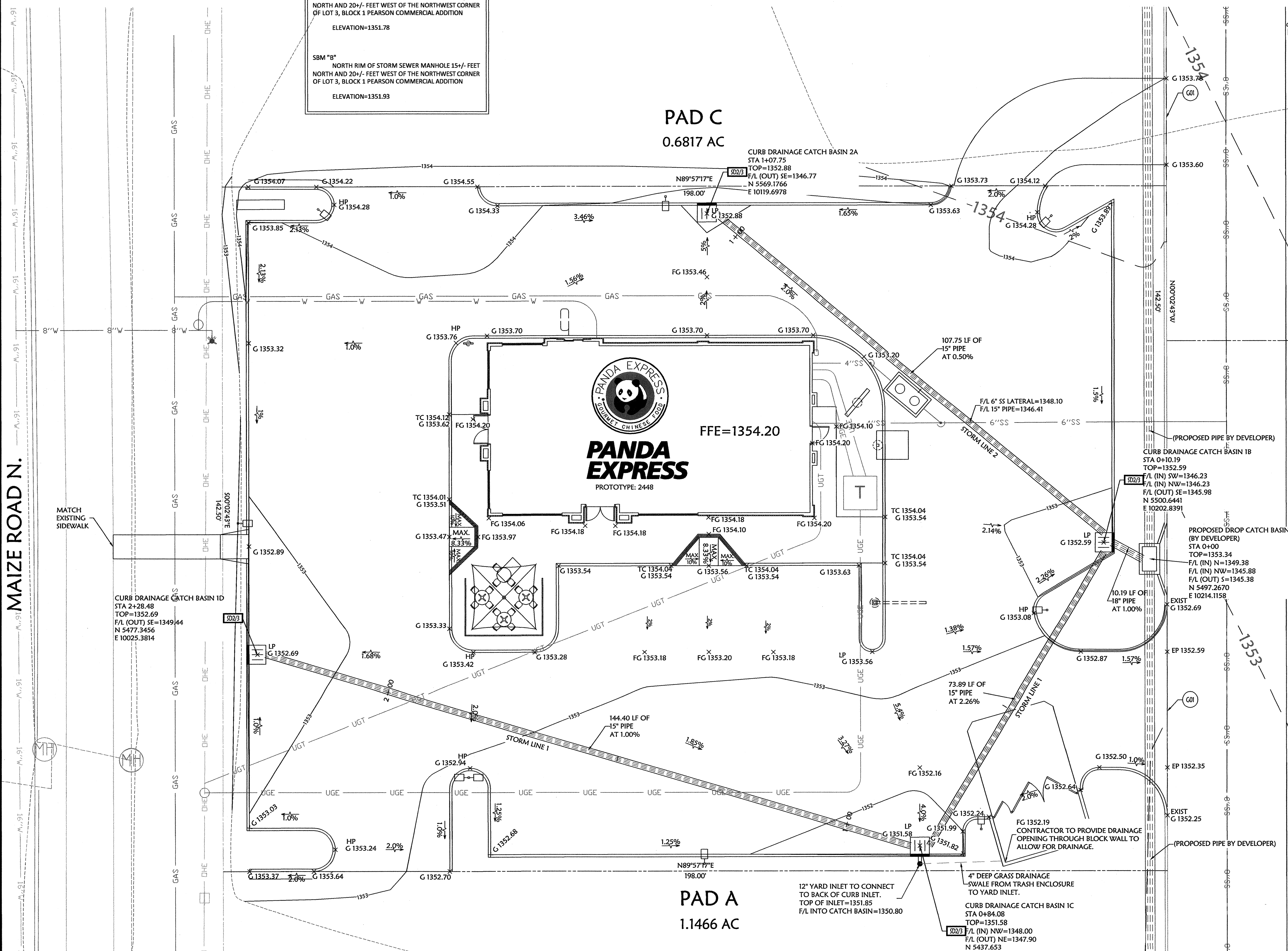
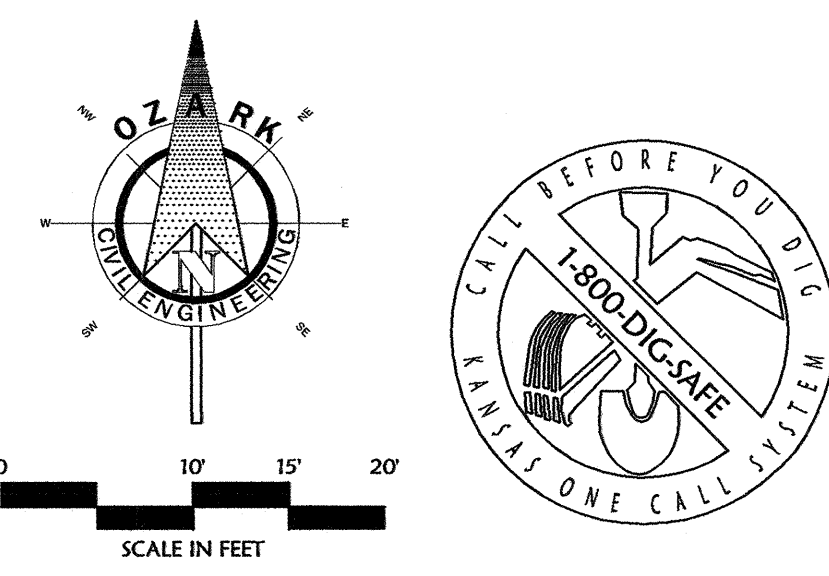
ELEVATION=1353.11

**SBM "A"**  
 NORTH RIM OF STORM SEWER MANHOLE 214+/-  
 NORTH AND 20+/- FEET WEST OF THE NORTHWEST CORNER  
 OF LOT 3, BLOCK 1 PEARSON COMMERCIAL ADDITION

ELEVATION=1351.78

**SBM "B"**  
 NORTH RIM OF STORM SEWER MANHOLE 15+/- FEET  
 NORTH AND 20+/- FEET WEST OF THE NORTHWEST CORNER  
 OF LOT 3, BLOCK 1 PEARSON COMMERCIAL ADDITION

ELEVATION=1351.93



**GRADING PROPOSED FEATURES**

---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	CONCRETE CURB AND GUTTER
---	FENCE
---	GUARD RAIL
---	RETAINING WALL
---	SANITARY SEWER SERVICE
---	WATER SERVICE
---	UNDERGROUND ELECTRIC SERVICE
---	UNDERGROUND TELEPHONE SERVICE
---	OVERHEAD ELECTRIC SERVICE
---	OVERHEAD TELEPHONE SERVICE
---	FIBER OPTIC CABLE SERVICE
---	GAS SERVICE

**SPOT ELEVATIONS:**  
 TC=TOP OF CURB  
 G=GRASS GUTTER  
 F=FINISH GRADE  
 HP=HIGH POINT  
 EP=EDGE OF PAVEMENT  
 EX=EXISTING GRADE

**RIP-RAP PAD (SEE EROSION PLANS FOR SIZE)**  
 SANITARY SEWER MANHOLE  
 FIRE HYDRANT WITH GUARD POSTS  
 UTILITY POLE  
 WATER LINE TEE, BEND, VALVE, AND PLUG

**GRADING NOTES & DETAILS**

XXX Items labeled by the following symbols are shown on this sheet.

GOI MATCH EXISTING PAVING

SD23 CURB DRAINAGE CATCH BASIN

**GRADING AND DRAINAGE NOTES:**

INFORMATION PERTAINING TO UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN AVAILABLE. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF ANY TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR IF WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER/DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ALL STRUCTURES LOCATED WITHIN R.O.W. OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED PER THE HIGHWAY DEPARTMENT STANDARDS. IF STRUCTURES ARE NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACCURATELY LOCATED, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF ANY TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR IF WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER/DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.

WHERE THE WORD PIPE IS USED ON THESE PLANS, THE CONTRACTOR HAS THE OPTION TO BID MATERIAL WITH OR WITHOUT CURBS.

CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINES AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.

ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF FLARED END SECTIONS.

ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND 1/4" OF TOP SOIL APPLIED. THE AREA SHALL BE SEED AND WATERED UNTIL HABIT GRASS GROWTH HAS BEEN ESTABLISHED. (SEE LANDSCAPING GENERAL NOTES FOR SEEDING SPECIFICATIONS)

STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL SD21 (SEE DETAIL SHEETS)

SEE EROSION CONTROL PLAN FOR RIP-RAP PAD SIZES.

CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE SWEEP.

REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.

SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER/DEVELOPER, CITY AND/OR HIGHWAY DEPARTMENT STANDARDS AND SPECIFICATIONS.

CLEAR AND GRASS AREAS TO BE FILLED. REMOVE TREES, VEGETATION, ROOTS OR OTHER DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.

ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILL.

DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.

KEEP DRAINAGES AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.

PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED (SEE EROSION CONTROL PLAN).

CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL CORRECT. IF THE DISCREPANCY IS MORE THAN 4 INCHES THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENTS OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, ALL FENCING, TREES, & ETC. WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. UNLESS OTHERWISE NOTED, ANY BUILDING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND/OR THE OWNER/DEVELOPER'S STANDARDS AND SPECIFICATIONS.

ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.

ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC 800# LOADING AND BE INSTALLED ACCORDINGLY.

CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD & APPROX TO 1/2" OF SUBGRADE.

IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO 1/2" PRIOR TO EXCAVATING INTERIOR & PERIMETER FOOTINGS.

GENERAL CONTRACTOR SHALL PROVIDE 2 x 2 x 6" THICK CONCRETE APPROX AT ALL CLEANOUTS OUTSIDE OF BUILDING AND IN PAVED AREAS.

DATE	DESCRIPTION
12/20/10	RESPONSE TO BUILDING DEPT. COMMENTS
01/26/11	ADDED STORM SEWER PROFILES
02/09/11	LOWERED PARKING LOT CORNER 0.26' TO ALLOW FOR FREEBOARD
02/21/11	ADDED NORTHING & EASTING TO DRAINAGE

BY: EDH

APP'D BY: SP4

DWG. NAME: 10-0993PFE

DATE: 10/25/10

JOB NO.: 10-0993

SHEET NO.: C-3.1

**Scott P. McGehee**  
 LICENSED PROFESSIONAL ENGINEER  
 2/22/11

**PANDA EXPRESS**  
 A NEW RESTAURANT FOR:  
**PANDA EXPRESS**  
 2760 N. MAIZE ROAD  
 WICHITA, KS

02/10/0992.nw.wichita.panda.express.dwg (date 02/03/11) 10:09:25 PM. Plotted on 2/22/2011 3:24:23 PM. @ a scale of 1:1 to hp designed by hp by Scott McGehee



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MAIZE ROAD N.

PAD C  
0.6817 AC

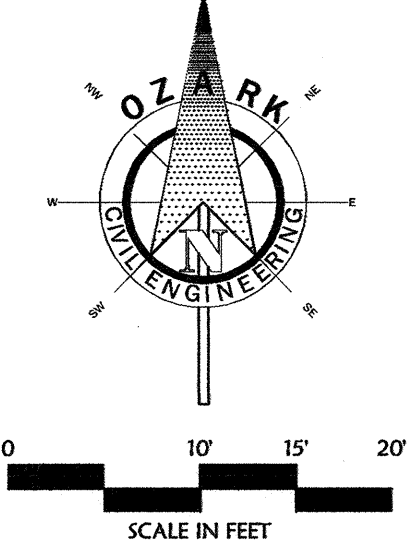
CURB DRAINAGE CATCH BASIN 2A  
STA 1+07.75  
TOP=1352.88  
F/L (OUT) SE=1346.77  
N 5569.1766  
E 10119.6978

PANDA EXPRESS  
PROTOTYPE: 2448

FFE=1354.20

CURB DRAINAGE CATCH BASIN 1B  
STA 0+10.19  
TOP=1352.59  
F/L (IN) SW=1346.23  
F/L (IN) NW=1346.23  
F/L (OUT) SE=1345.98  
N 5500.6441  
E 10202.8391

PROPOSED DROP CATCH BASIN  
(BY DEVELOPER)  
STA 0+00  
TOP=1353.34  
F/L (IN) N=1349.38  
F/L (IN) NW=1345.88  
F/L (OUT) S=1345.38  
N 5497.2670  
E 10214.1158



**GRADING PROPOSED FEATURES**

---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	CONCRETE CURB AND GUTTER
---	FENCE
---	GUARD RAIL
---	RETAINING WALL
---	SANITARY SEWER SERVICE
---	WATER SERVICE
---	UNDERGROUND ELECTRIC SERVICE
---	UNDERGROUND TELEPHONE SERVICE
---	OVERHEAD ELECTRIC SERVICE
---	OVERHEAD TELEPHONE SERVICE
---	FIBER OPTIC CABLE SERVICE
---	GAS SERVICE

**SPOT ELEVATIONS:**  
 TC=TOP OF CURB  
 G=GRASS GRADE  
 U=UNDERGROUND UTILITY  
 HP=HIGH POINT  
 EP=EDGE OF PAVEMENT  
 EX=EXISTING GRADE

**RIP-RAP PAD (SEE EROSION PLANS FOR SIZE)**  
 FIRE HYDRANT WITH GUARD POSTS  
 UTILITY POLE  
 WATER LINE TEE, BEND, VALVE, AND PLUG

**GRADING NOTES & DETAILS**

XXX Items labeled by the following symbols are shown on this sheet.

GOI MATCH EXISTING PAVING

5023 CURB DRAINAGE CATCH BASIN

**GRADING AND DRAINAGE NOTES:**

INFORMATION PERTAINING TO UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR IF WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER/DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.

ALL STRUCTURES LOCATED WITHIN R.O.W. OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED PER THE HIGHWAY DEPARTMENT STANDARDS. IF STRUCTURES ARE NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OZARK CIVIL ENGINEERING, INC. FOR REVIEW AND APPROVAL.

WHERE THE WORD PIPE IS USED ON THESE PLANS, THE CONTRACTOR HAS THE OPTION TO BID MATERIAL WITH OR WITHOUT GRASS.

CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.

ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF FLARED END SECTIONS.

ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND 1/4" OF TOP SOIL APPLIED. THE AREA SHALL BE SEEDED AND WATERED UNTIL BAREY GRASS GROWTH HAS BEEN ESTABLISHED. (SEE LANDSCAPING GENERAL NOTES FOR SEEDING SPECIFICATIONS)

STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 502/1 (SEE DETAIL SHEETS)

SEE EROSION CONTROL PLAN FOR RIP-RAP PAD SIZES.

CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SUPERVISING THE SWEEP.

REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILL, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.

SCAFFRY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER/DEVELOPER, CITY AND/OR HIGHWAY DEPARTMENT STANDARDS AND SPECIFICATIONS.

CLEAR AND CURB AREAS TO BE FILLED. REMOVE TREES, VEGETATION, ROOTS OR OTHER DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.

ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.

DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL.

KEEP DIMENSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.

PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED (SEE EROSION CONTROL PLANS).

CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL CORRECT. IF THE DISCREPANCY IS MORE THAN 4 INCHES THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICH EVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, ALL FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. UNLESS OTHERWISE NOTED, ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND/OR THE OWNER/DEVELOPER'S STANDARDS AND SPECIFICATIONS.

ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.

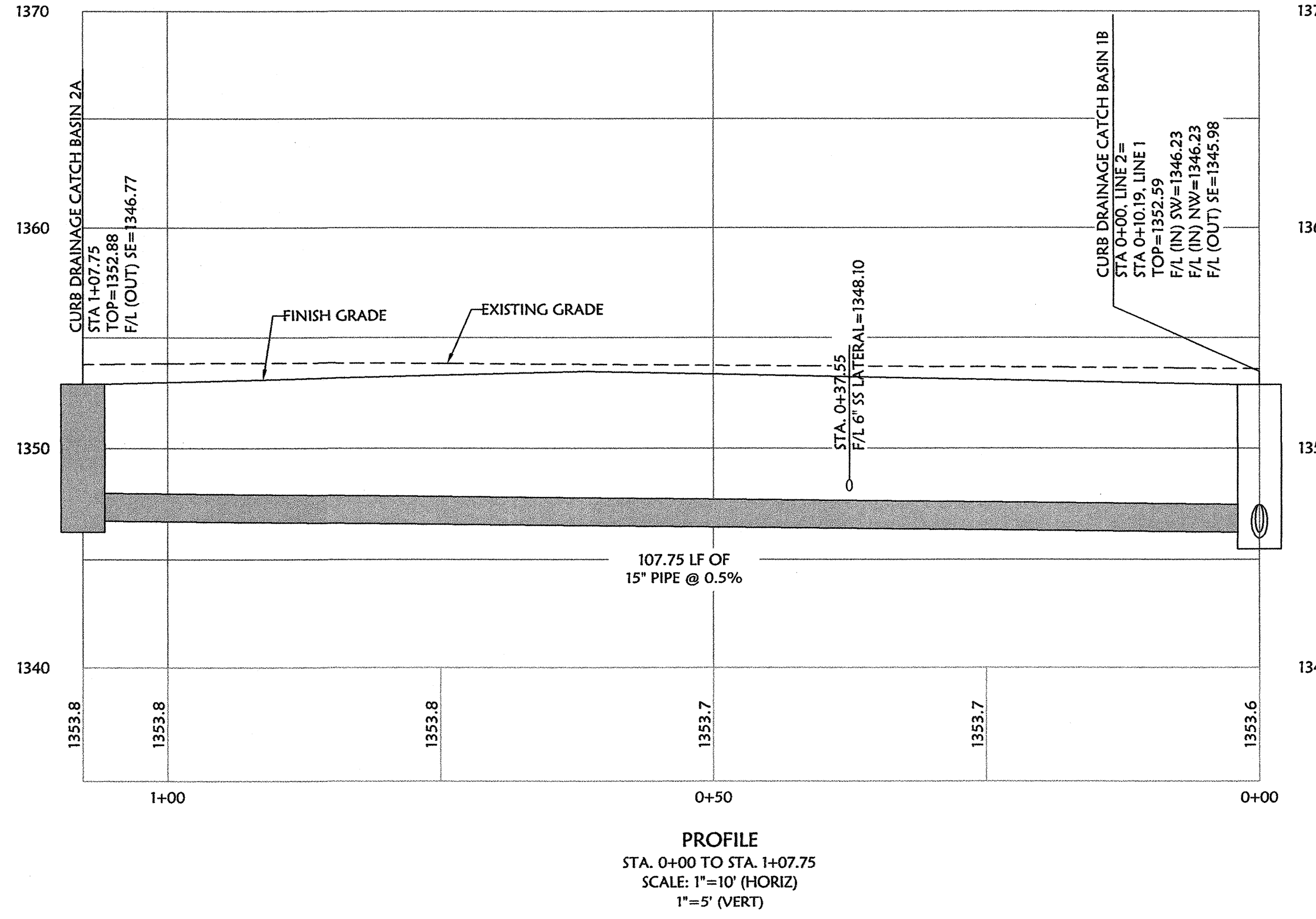
ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.

CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO LOCATING. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD & APPROX TO 1/2" OF SUBGRADE.

GENERAL CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING AND IN PAVED AREAS.



DATE	DESCRIPTION
12/20/10	RESPONSE TO BUILDING DEPT. COMMENTS
01/26/11	ADDED STORM SEWER PROFILES
02/09/11	LOWERED PARKING LOT CORNER 0.26' TO ALLOW FOR FREEBOARD
02/21/11	ADDED NORTHING & EASTING TO DRAINAGE

BY: EDH  
 EDH  
 EDH  
 EDH

SCOTT P. MAGEE  
 LICENSED PROFESSIONAL ENGINEER  
 2/22/11

EXPRESS - BEST PANDA  
**PANDA EXPRESS**  
 Bentonville • Kansas City

**Clark**  
 Civil Engineering Inc.  
 Bentonville • Kansas City

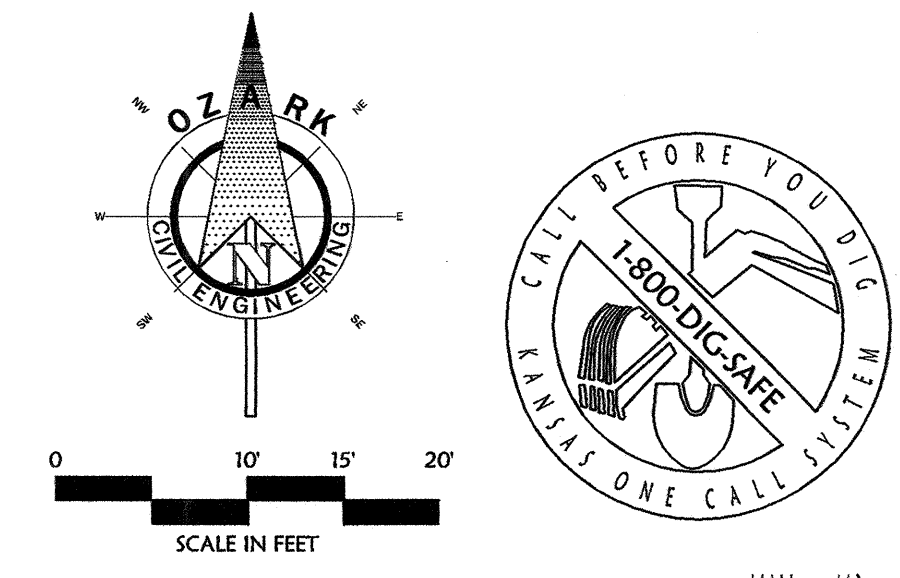
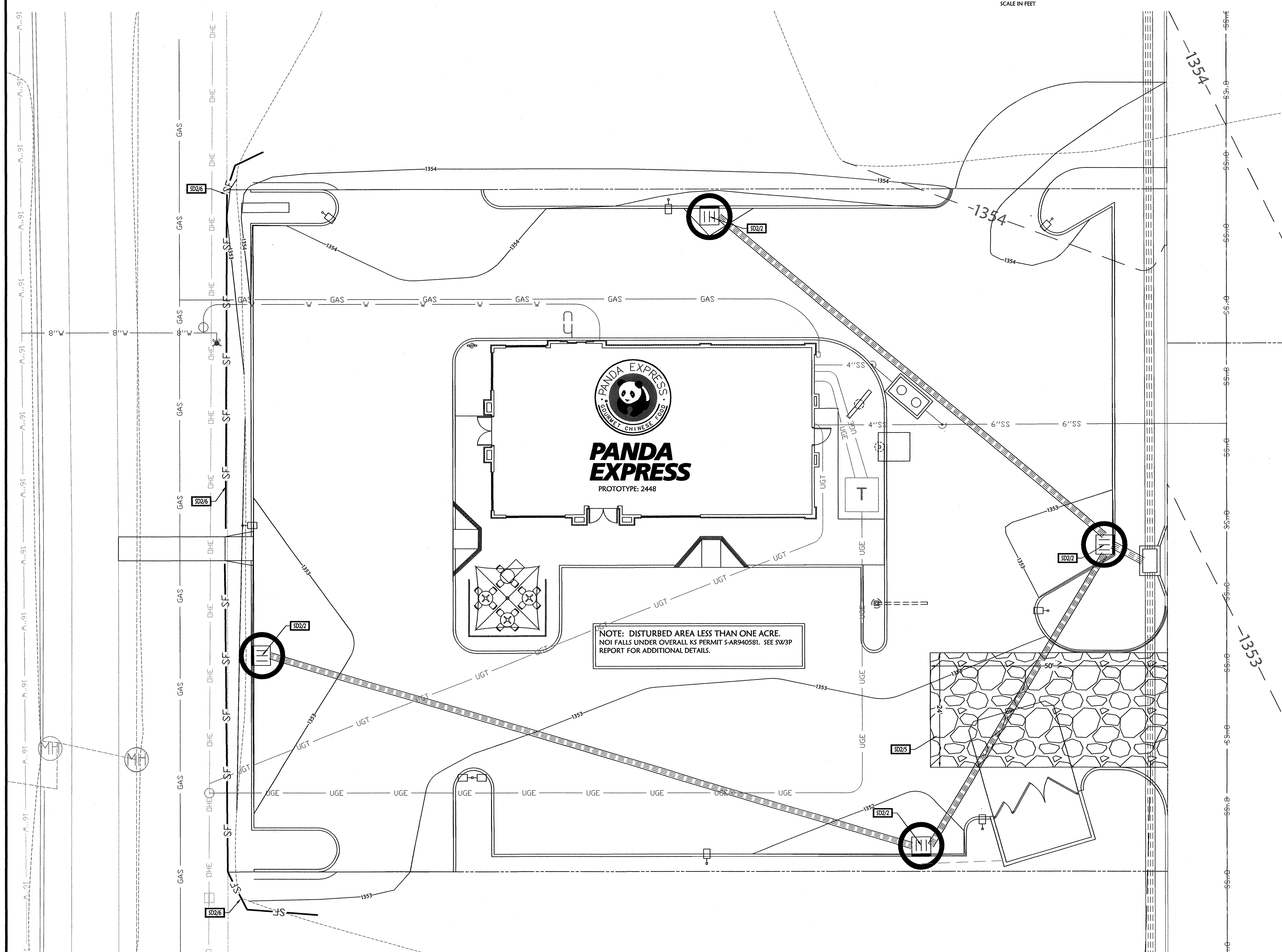
WICHITA, KS

STORM SEWER LINE 2 PLAN AND PROFILE

A NEW RESTAURANT FOR:  
**PANDA EXPRESS**  
 2760 N. MAIZE ROAD

DRAWN BY: EDH  
 APPV. BY: SPH  
 DWG. NAME: 10-0993PRE  
 DATE: 10/25/10  
 JOB NO.: 10-0993  
 SHEET NO.: C-3.3

q:\10-0992 nw wichita panda express.dwg\project3-city revisions\date 02/22/2011 3:25:57 PM @ a scale of 1:1 to hp designer 1050c by hp by Scott Mege



**EROSION DETAILS**

Items listed by the following symbols are shown on this sheet and referred to on detail sheets, which are included as part of this set of plans.

- SD2/2 GEOTEXTILE FABRIC INLET PROTECTION
- SD2/5 STABILIZED CONSTRUCTION ENTRANCE
- SD2/6 TEMPORARY SILT FENCE

**EROSION PROPOSED FEATURES**

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- CONCRETE CURB AND GUTTER
- FENCE
- GUARD RAIL
- RETAINING WALL
- STORM DRAIN (SEE GRADING PLAN FOR SIZE)
- SANITARY SEWER SERVICE
- WATER SERVICE
- UNDERGROUND ELECTRIC SERVICE
- UNDERGROUND TELEPHONE SERVICE
- OVERHEAD ELECTRIC SERVICE
- OVERHEAD TELEPHONE SERVICE
- FIBER OPTIC CABLE SERVICE
- GAS SERVICE
- LIMITS OF CONSTRUCTION LINE
- TEMPORARY SILT FENCE
- TEMPORARY DIVERSION SWALE
- TEMPORARY ROCK CHECK DAMS

TEMPORARY INLET PROTECTION (IP#)

DROP INLETS (SEE GRADING PLAN FOR TYPE)

SANITARY SEWER MANHOLE

FIRE HYDRANT WITH GUARD POSTS

UTILITY POLE

WATER LINE TEE, BEND, VALVE, AND PLUG

**EROSION CONTROL GENERAL NOTES:**

THE CONTRACTOR SHALL INSPECT, REPAIR AND ADD STONE TO THE STONE CONSTRUCTION ENTRANCE WHEN IT BECOMES SATURATED WITH MUD TO INSURE IT FUNCTIONS AS IT WAS INTENDED.

THE TOPSOIL STOCKPILE SHALL BE GRADED TO DRAIN AND SEED WITH A TEMPORARY SEED MIX.

ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED, CLEANED REPAIRED IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

TEMPORARY SEDIMENT CONTROL MEASURES (SILT FENCE, CONSTRUCTION ENTRANCE, ETC.) SHALL BE MAINTAINED UNTIL ALL CONTRIBUTING AREAS ARE GRADED AND STABILIZED.

A COMPLETE PLAN FOR MAINTENANCE OF CONTROL DEVICES IS CONTAINED WITHIN THE STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THE SITE WORK SPECIFICATIONS.

DUST CONTROL ON SITE SHALL BE MINIMIZED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION IS STRICTLY PROHIBITED.

IF THE MAJORITY OF MUD OR DIRT IS NOT REMOVED FROM OUTGOING TRAFFIC, CONTRACTOR SHALL ESTABLISH VEHICLE WASH AREAS AT CONSTRUCTION TRAFFIC EXIT POINTS AND VEHICLE OPERATION SHALL BE INTERCEPTED AND TRAPPED BEFORE WASH WATER IS ALLOWED TO BE DISCHARGED OFFSITE. RINSE-OFF WILL NOT BE ALLOWED OUTSIDE THE PROJECT CONSTRUCTION LIMITS.

REPAIR BROKEN AREAS IMMEDIATELY. RESEED AS NECESSARY TO MAINTAIN GOOD VEGETATIVE COVER. MOW VEGETATIVE COVER TO MAINTAIN A MAXIMUM HEIGHT OF SIX INCHES. AND REMOVE TRASH AS NEEDED.

INSPECT AND REPAIR THE COLLECTION SYSTEM (I.E. CATCH BASINS, PIPING, SPILLAGE, RIP RAP, ETC.) AFTER SIGNIFICANT RAINFALL TO MAINTAIN PROPER FUNCTIONING.

ALL EXISTING STRUCTURES, FENCING, TREES, ETC., WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND BURIED OR OFF-SITE PER STATE AND LOCAL ORDINANCES. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.

ALL WASH WATER (CONCRETE TRUCK, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES AND DISPOSE OF PER LOCAL CODES ONCE THE SITE HAS BEEN STABILIZED. CONTRACTOR SHALL REFER TO THE GRADING PLAN FOR FINAL GRADES.

LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.

THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE SWPPP DURING CONSTRUCTION OPERATIONS:

- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEED AS SPECIFIED WITHIN 14 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEED AS SPECIFIED.
- AFTER EVERY SIGNIFICANT RUNOFF PRODUCING RAINFALL EVENT OF 1/2" OR GREATER AND AT LEAST ONCE A WEEK:
  - A. INSPECT THE DETENTION BASIN SYSTEM FOR SEDIMENT ACCUMULATION, EROSION, TRASH ACCUMULATION, VEGETATED COVER, AND GENERAL CONDITION.
  - B. CHECK AND CLEAR THE OUTFALL DEVICE OF ANY OBSTRUCTIONS.

THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.

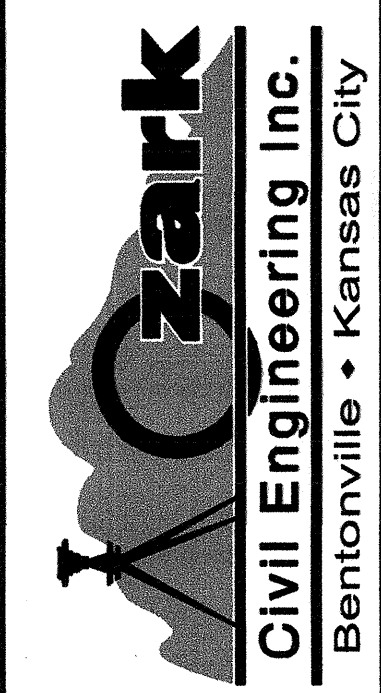
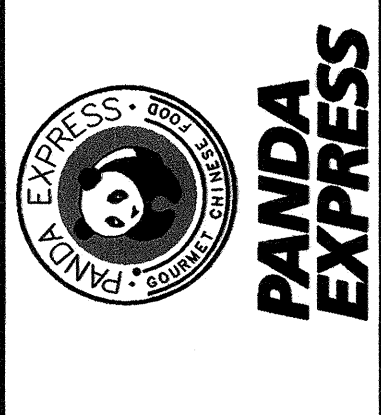
GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.

DATE	DESCRIPTION
12/20/10	RESPONSE TO BUILDING DEPT. COMMENTS



**EROSION CONTROL PLAN**

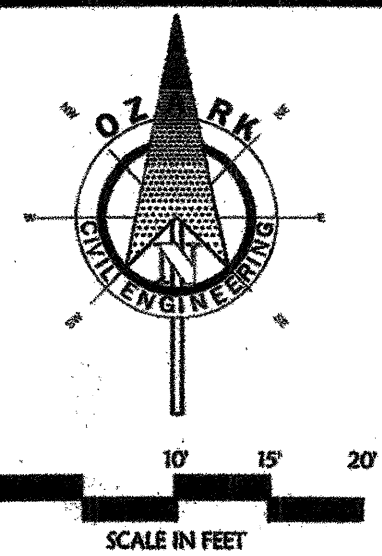
A NEW RESTAURANT FOR:

**PANDA EXPRESS**

2760 N. MAIZE ROAD

DRAWN BY: EDH  
 APPV. BY: SPH  
 DWG. NAME: 10-0993PBE  
 DATE: 10/25/10  
 JOB NO: 10-0993  
 SHEET NO: C-4





PLANT LIST							
KEY	QTY.	COMMON NAME/	Botanical Name	STEM/CL	ROOT	SIZE	COMMENTS
QR	2	NORTHERN RED OAK	Quercus rubra	5"	B&B	4"	MEASURED FROM GROUND
QR	2	NORTHERN RED OAK	Quercus rubra	5"	B&B	2"	MEASURED FROM GROUND
AW	27	ANTHONY WATERER WISPA	Spiraea x brunnata 'Anthony Waterer'	5 GAL.	-	-	MIN. 18" IN HEIGHT
JCS	12	SEAGRAM JUNBER	Jasminum chinensis 'SEAGRAM'	5 GAL.	-	-	MIN. 18" IN HEIGHT

**LANDSCAPE DETAILS**

D###: Area hatched by the following symbols are shown on this sheet and referenced on detail sheets, which are included as part of this set of plans.

3031: TREE PLANTING DETAIL

3032: SHRUB PLANTING DETAIL

**Oppermann LandDesign, LLC**  
 Land Planning & Landscape Architecture  
 913.894.9407 (Fax) 913.894.6107  
 18990 West 117th Street • Olathe, Kansas • 66061

- LANDSCAPE PROPOSED FEATURES**
- BOUNDARY LINE
  - RIGHT OF WAY LINE
  - EASEMENT LINE
  - CONCRETE CURB AND GUTTER
  - STORM DRAIN (SEE GRADING PLAN FOR SIZE)
  - SANITARY SEWER SERVICE
  - WATER SERVICE
  - UNDERGROUND ELECTRIC SERVICE
  - UNDERGROUND TELEPHONE SERVICE
  - OVERHEAD ELECTRIC SERVICE
  - OVERHEAD TELEPHONE SERVICE
  - FIBER OPTIC CABLE SERVICE
  - GAS SERVICE
  - DROP INLETS (SEE GRADING PLAN FOR TYPE)
  - SANITARY SEWER MANHOLE
  - FIRE HYDRANT WITH GUARD POSTS
  - UTILITY POLE
  - WATER LINE TEE, BEND, VALVE, AND PLUG
- SOODED AREA (SEE GENERAL NOTES)
- MULCHED AREA (SEE GENERAL NOTES)

**LANDSCAPE GENERAL NOTES:**

NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAI/UT DISCREPANCIES PRIOR TO ANY PLANTING.

LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SHADY AND FIRM TO PREVENT EROSION. IF TOPSOIL APPLIES, IF AVAILABLE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER. AS NEEDED, THE AREA SHALL BE FERTILIZED, SEED, MULCH, WATERED, WEEDED AND MAINTAINED UNTIL HEAVY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. SEE SEEDING SPECI BELOW. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.

**TOPSOIL APPLICATION:**  
 PREPARE THE SUB GRADE BY DISK, HARROW, DRAG OR HAND BARE TO A DEPTH OF 3" TO PRODUCE BOND FOR TOPSOIL. BEFORE PLACING TOPSOIL, MAKE SURE SURFACE GRADE OF TOPSOIL IS AT LEAST 1/2" DEEPER AND MOIST. COMPACT TOPSOIL TO FORM A LAYER WITH A MIN. DEPTH OF 4" IN LAWN AREAS AND 2" IN SHRUB BEDS. TOPSOIL SHALL BE PLACED SO THAT AFTER FINAL SETTLEMENT THERE WILL BE GOOD DRAINAGE.

**TOPSOIL SHALL POSSESS THE CHARACTERISTICS OF REPRESENTATIVE TOPSOILS IN THE VICINITY WHICH PRODUCE A HEAVY GROWTH FREE OF WEEDS, OBSTACLES AND WEEDS. TOPSOIL SHALL BE TESTED LARGER THAN 1" IN DIA., STUMPS, ROOTS, TWIGS, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. SOIL SHALL CONTAIN NOT MORE THAN 6% MORE ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD. TOPSOIL SHALL HAVE A PH VALUE OF NOT LESS THAN 5.5 NOR MORE THAN 7.0.**

ALL TREES AND SHRUBS SHALL BE INSTALLED PER PLANTING DETAILS. (SEE DETAIL SHEETS)

NO PLANT MATERIAL SHALL BE PLANTED IN FROZEN GROUND.

ALL PLANTING BEDS AS DESIGNATED SHALL BE BORDERED BY 4" RIBBED CONCRETE EDGING AND STAKED WITH METAL STAKES SUFFICIENTLY TO HOLD IN PLACE AS APPROVED BY CONSTRUCTION.

ALL PLANTED AREAS SHALL RECEIVE A 1" TO 3" DEEP ROCK MULCH (SEE SPEC) TO BE APPLIED BY PROJECT MANAGER. MULCH IS TO BE USED AS A "TOP DRESSING" IN ALL PLANT BEDS AND AROUND ALL TREES OVER A 10" DIA. "UNDERBARK" FABRIC IS TO BE APPLIED UNDER MULCH. MULCH SHALL BE MAINTAINED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE BEDS PER PLANTING DETAILS.

FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.

**SEEDING SPECIFICATIONS:**

ALL DISTURBED AREAS NOT RECEIVING PLANTINGS, INCLUDING BOOTH-OF-WAYS, SHALL BE SEED.

THE SEEDING PROCESS SHALL INCLUDE IN ORDER:

- FURNISH TOPSOIL
- FRESH GRADING
- PREPARE SEEDS
- SEED AND MAINTAIN AREA AS REQUIRED.

**SEED BED PREPARATION:**  
 SOIL SCALPERS, BARS AND LEVEL GRADE AS NECESSARY TO OBTAIN TRUE EVEN LAWN SURFACES. LOOSEN SOIL TO A DEPTH OF 6" IN LAWN AREAS BY APPROVED METHOD OF SCALPATION AND GRADE TO REMOVE ROCKS AND IMPROPERLY BLENDED STONES AND FOREIGN MATTER OVER 3/4" IN DIA. FROM THE TOP 2" OF SOIL. FLAT LAWN AREAS TO APPROXIMATE FINISHED GRADES.

GRASS AND SEEDING AREAS SHALL HAVE FERTILIZER APPLIED WITH A THOROUGH WATERING IMMEDIATELY FOLLOWING APPLICATION AT THE RATE OF 35 LBS. PER 1000 SQ. FT. FURNISHED TO THE TOP 2" OF SEEDS.

SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER.

SEEDING SHALL BE DONE IN TWO (2) DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

SOIL SHALL BE A SPECIES RECOMMENDED BY AN EXPERIENCED LOCAL A.M.A. CRITERIA. SOIL IS TO BE STRONGLY ROOTED, WEED-DISEASE AND PEST FREE AND UNIFORM IN THICKNESS.

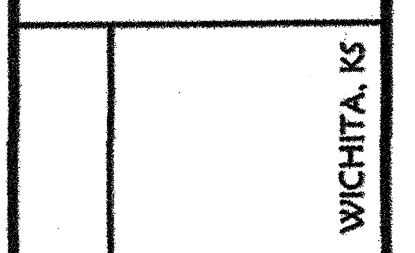
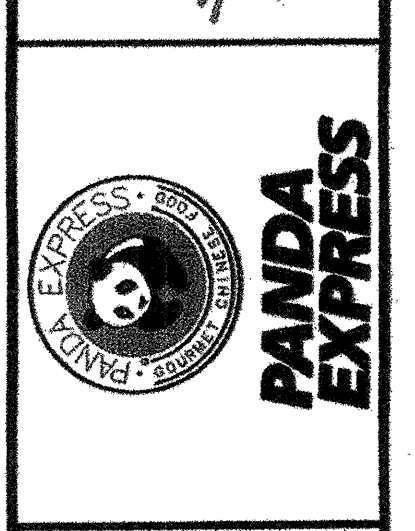
THE FOLLOWING ARE SEEDING RATES FOR SPECIFIC TURF GRASSES AND FERTILIZERS APPLIED PER ACRE: BENTONITE-BLENDING: 44 LBS. ANNUAL BLEGRASS: 302 LBS. PERMANENT BLEGRASS: 302 LBS. TALL FESCUE: 202 LBS. BAHIA GRASS: 352 LBS. COMMON BERMAHND GRASS: 60 LBS. 30-30-30 FERTILIZER: 1025 LBS. AGRICULTURE LIMESTONE - 4000 LBS.

WHILE GRASS SEEDS SHALL BE APPLIED OVER SEEDING AREAS AS MUCH AS 10% GRASS SEEDS SHALL BE WASTED IN THE SEEDING AREA IF PROPER APPLICATION IS ACHIEVED. THIS COEFFICIENT SHALL BE PERMISSIBLE AS UNIFORM COVERAGE IS EXPECTED. STRAW SHALL BE APPLIED AT A MINIMUM OF 4.00 LB. PER ACRE.

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FOR THE SURFACE OF ALL PREPARED SLOPES AND FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

**SEEDING ON SLOPES:**  
 INTERSEED WITH GRASS SEED ON SLOPES GREATER THAN 25%. SEE SEEDING SPEC FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER REDISTURBANCE. HYDROSEEDING METHOD SHALL CONTAIN CELLULOSE MARCH APPLIED AT A RATE OF 2.00 LB./SQ. YD. WITH A MAXIMUM OF 100 LB./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER SEEDING, 2) FERTILIZER ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SEEDS, SOIL OR GRASS, SHALL BE COVERED WITH "CURB" BLANKETS. SEE SPECIFICATIONS FOR SEED DISTURBANCE REQUIREMENTS.

DATE	DESCRIPTION
12/20/10	RESPONSE TO BUILDING DEPT. COMMENTS
07/04/11	RESPONSE TO DONNA GONTRY COMMENTS



**LANDSCAPE PLAN**

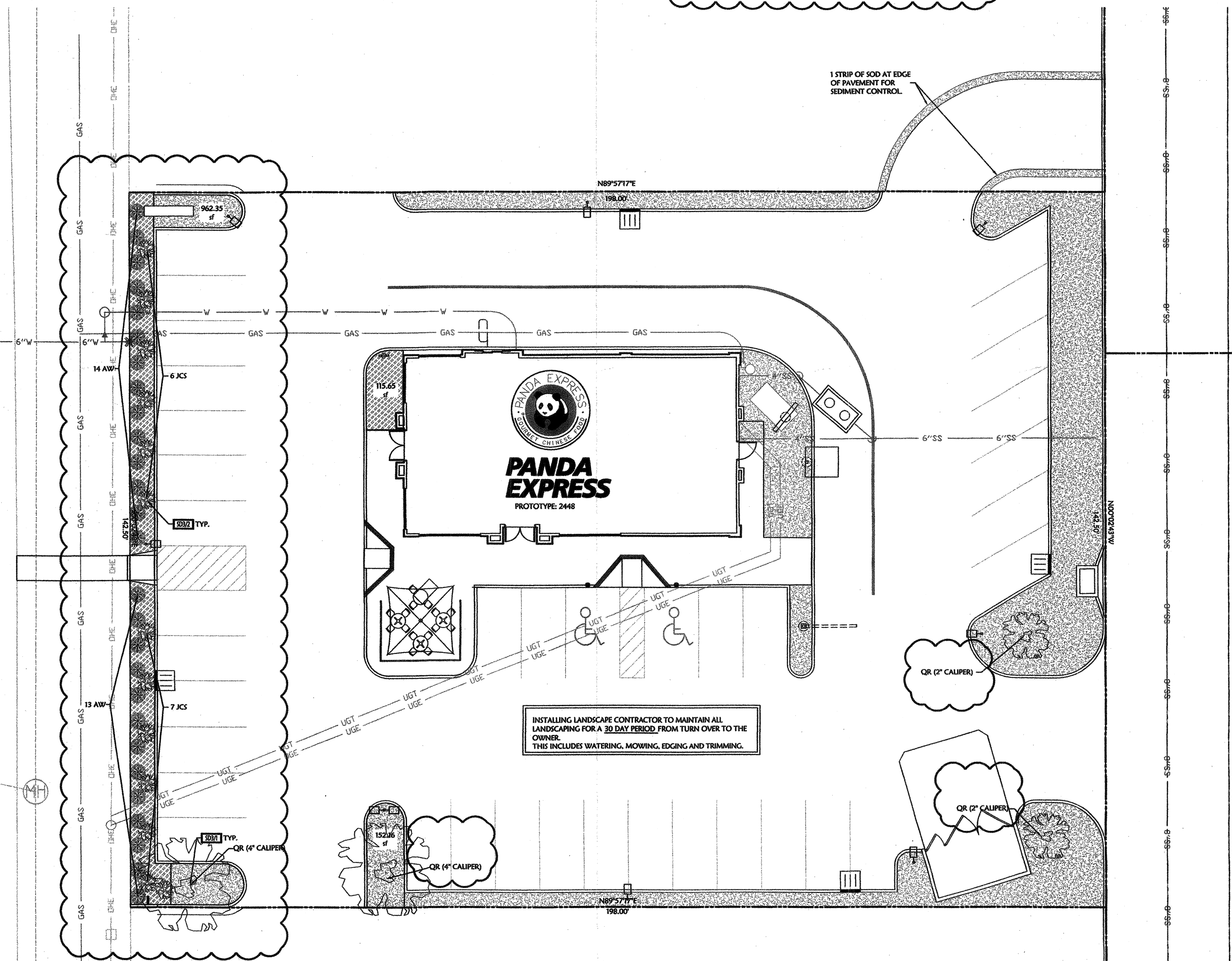
A NEW RESTAURANT FOR:  
**PANDA EXPRESS**

W. CENTRAL PARK ST. AND MAIZE ROAD N. WICHITA, KS

DRAWN BY:	EDH
APPV. BY:	SM
DWG. NAME:	10-0992PPE
DATE:	10/25/10
JOB NO.:	10-0992
SHEET NO.:	

**C-6**

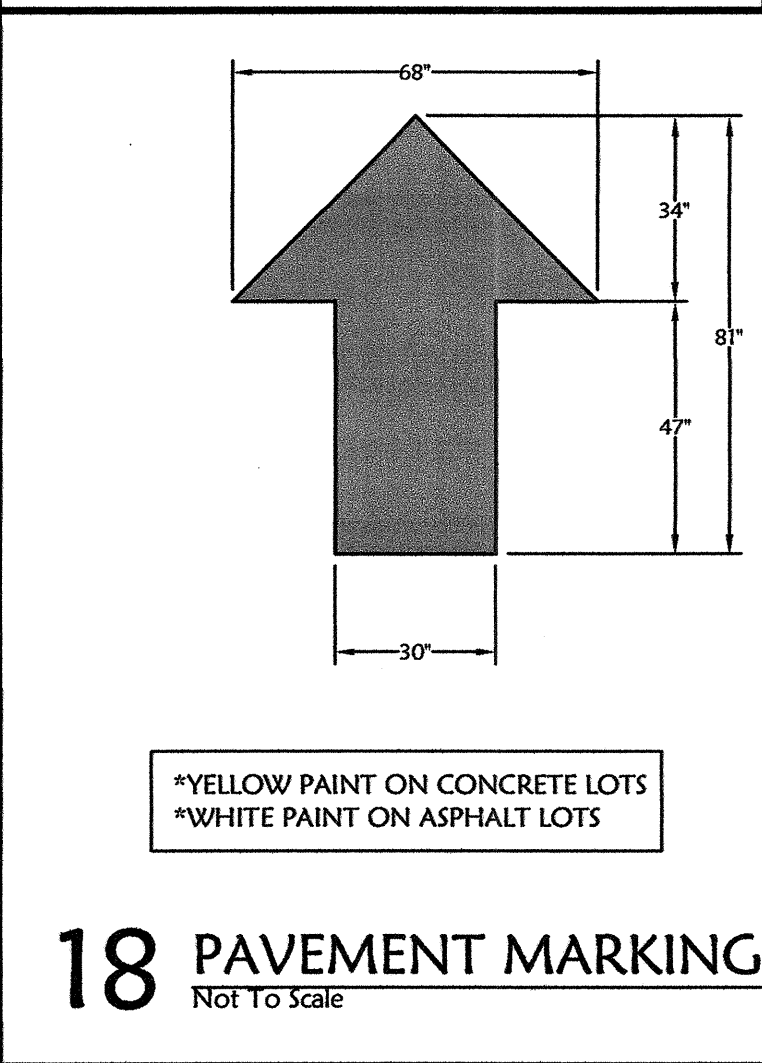
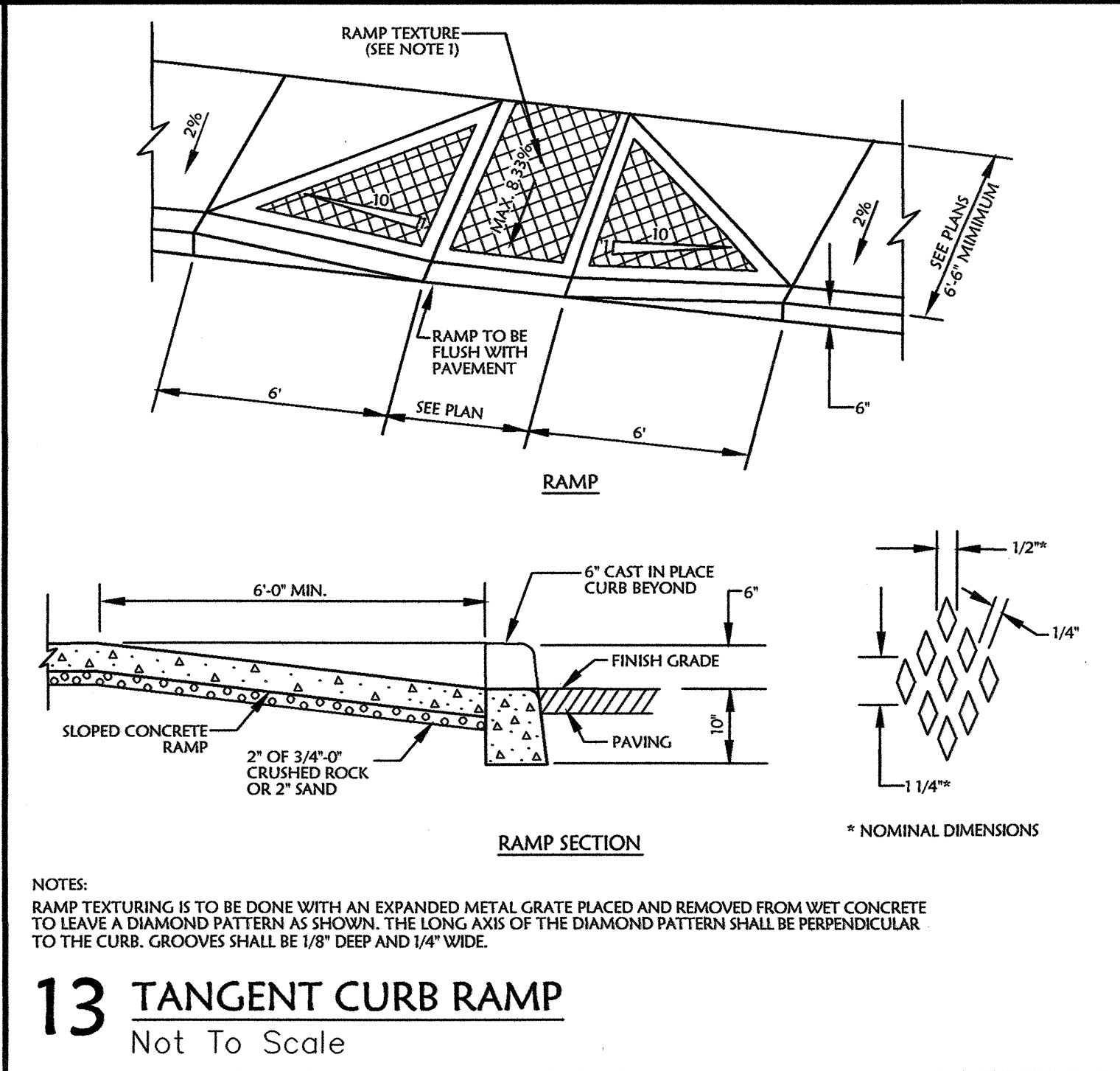
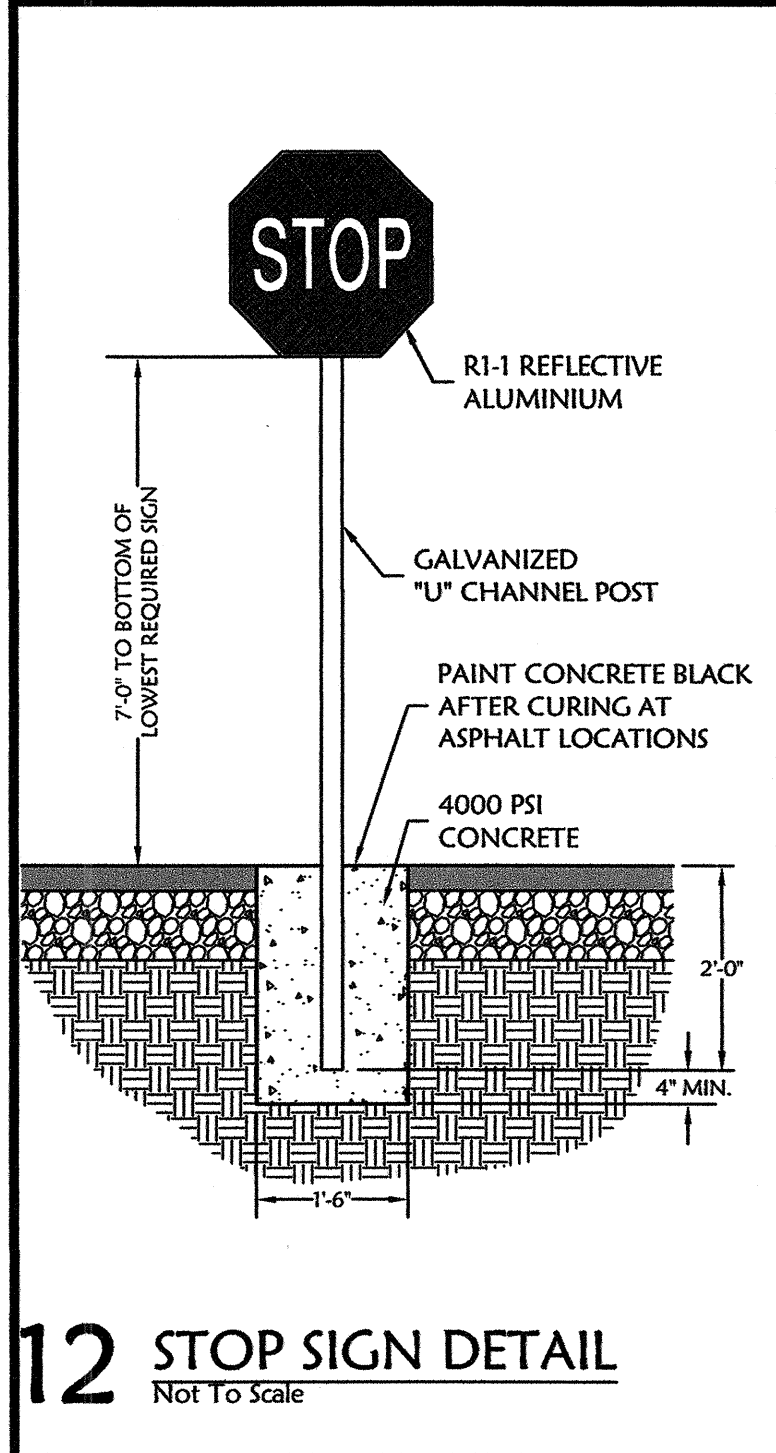
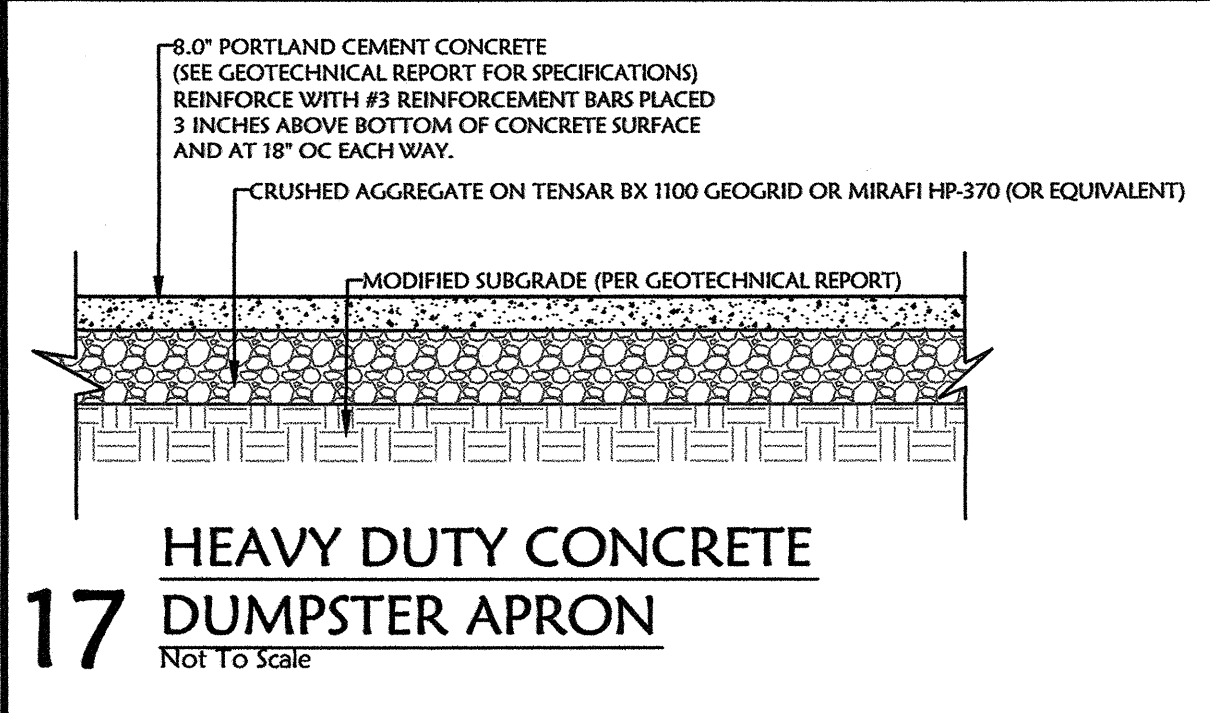
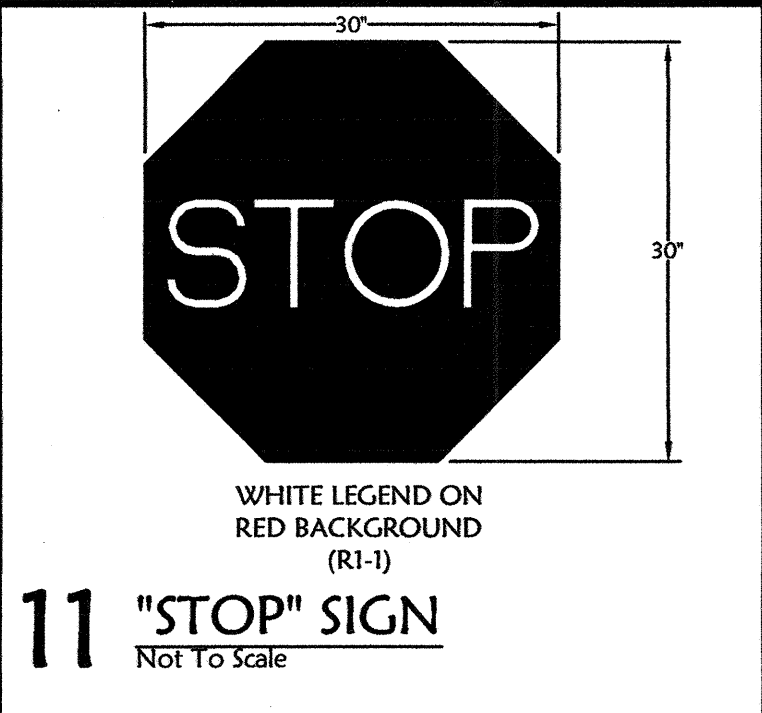
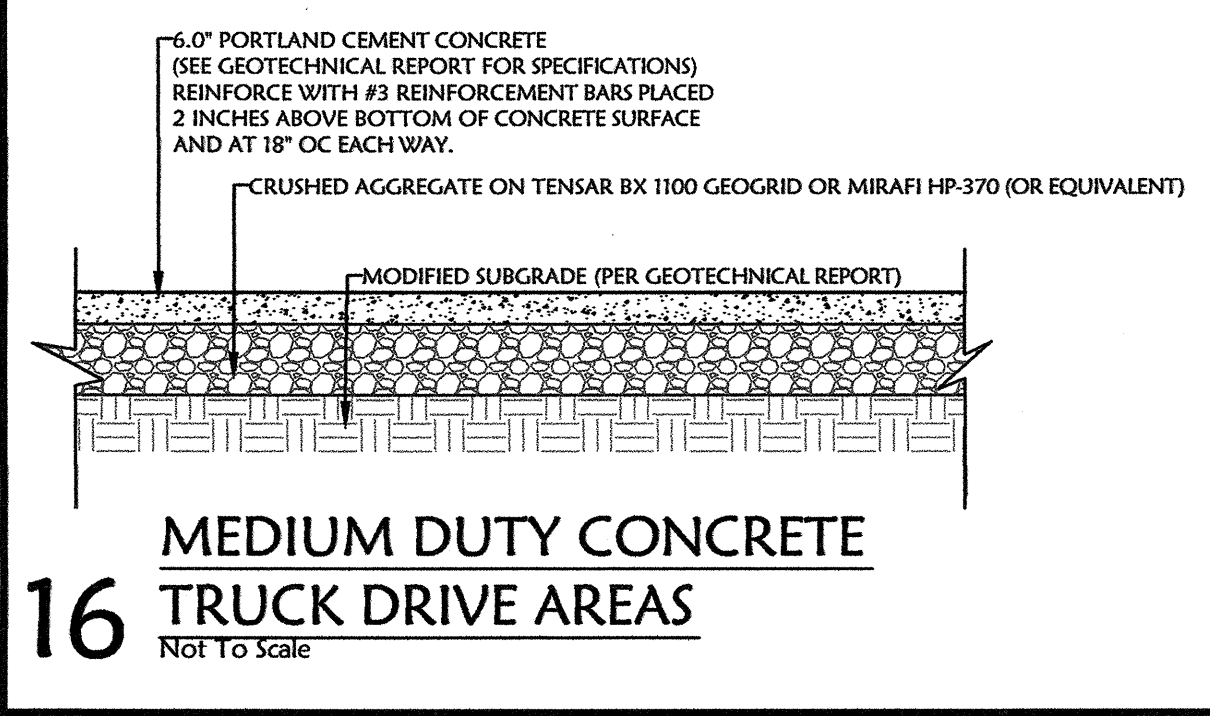
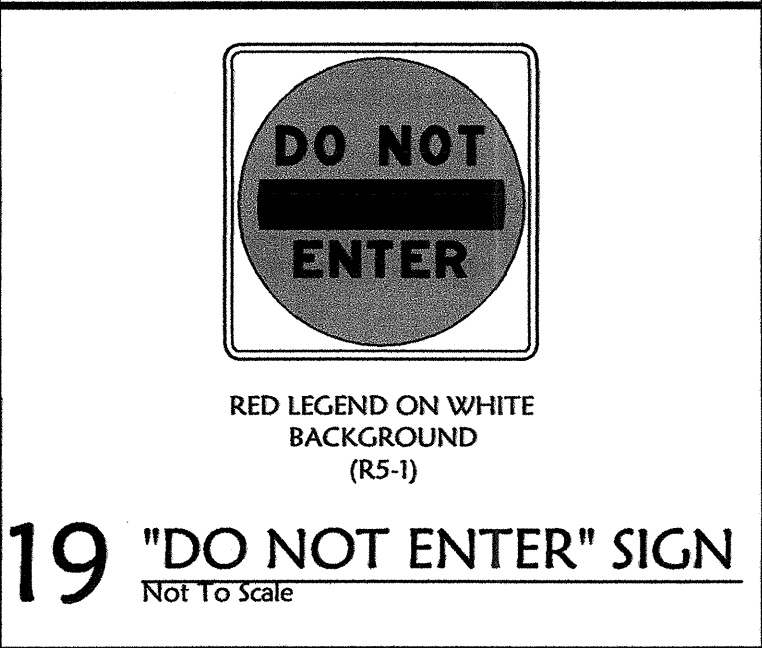
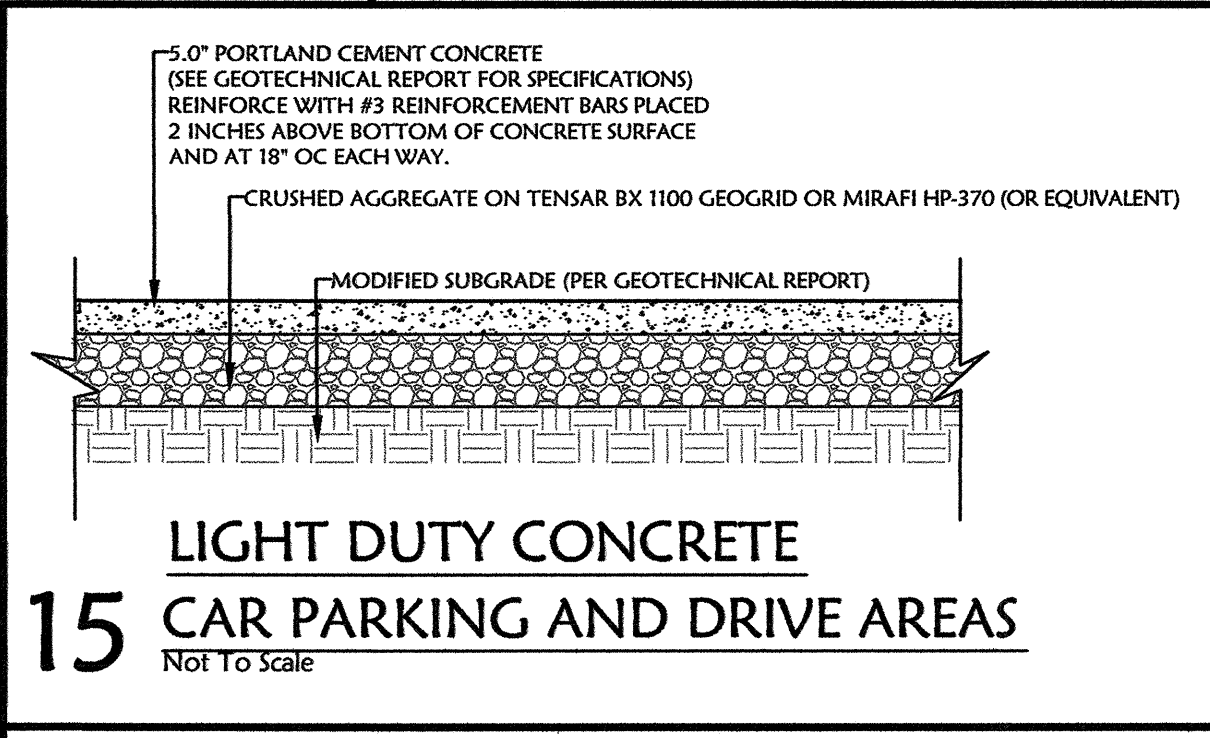
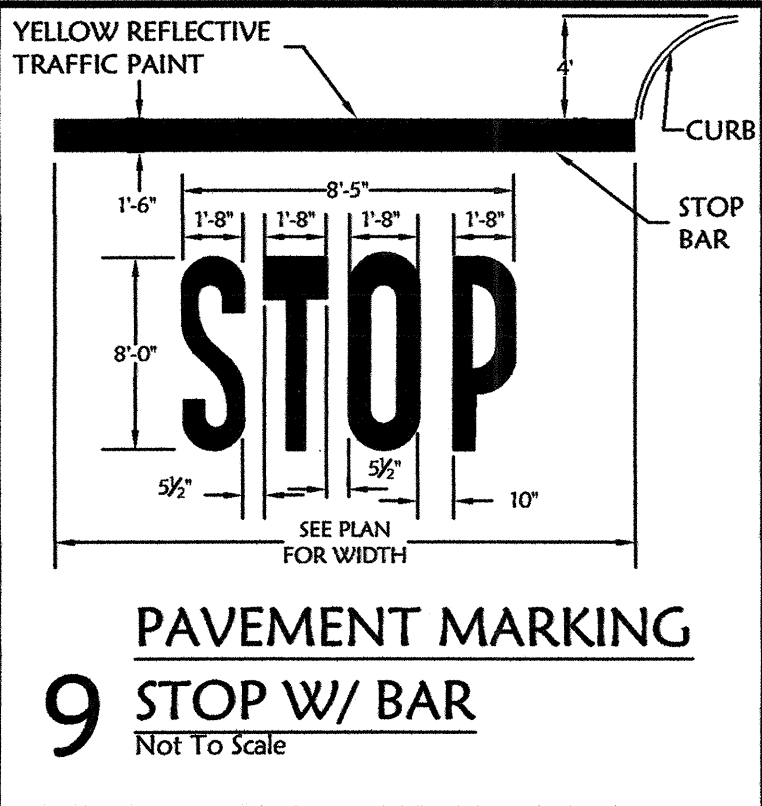
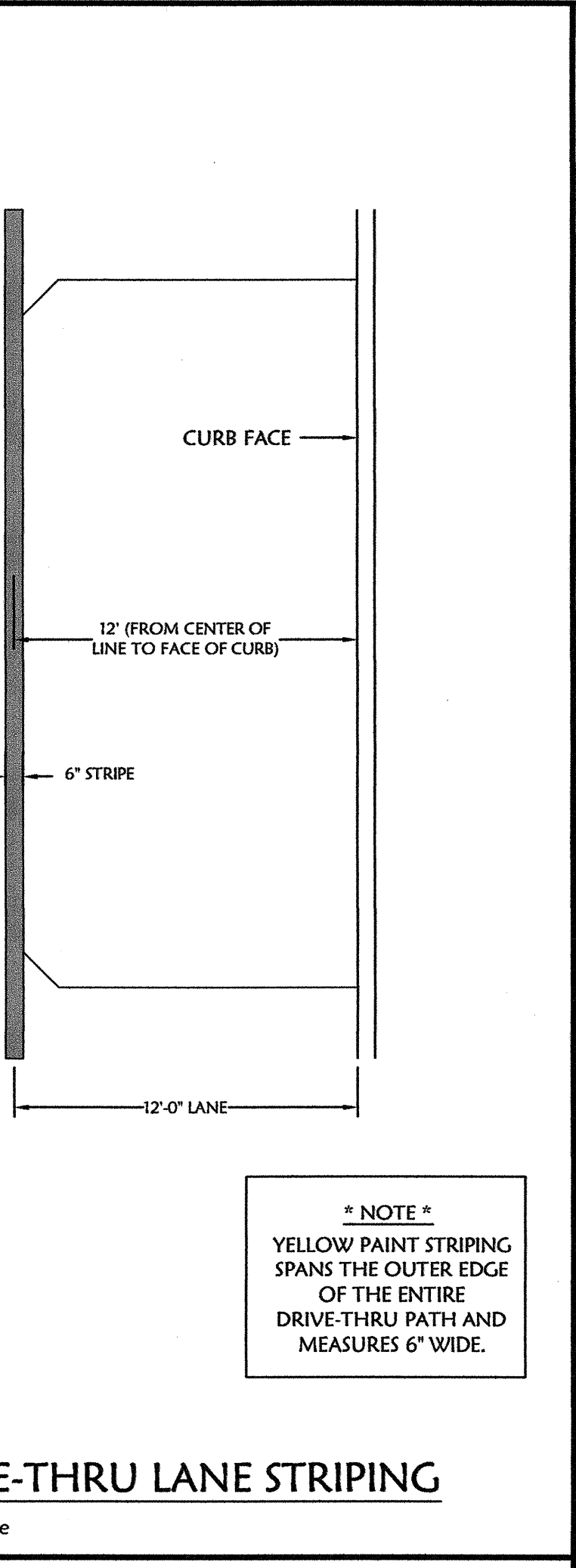
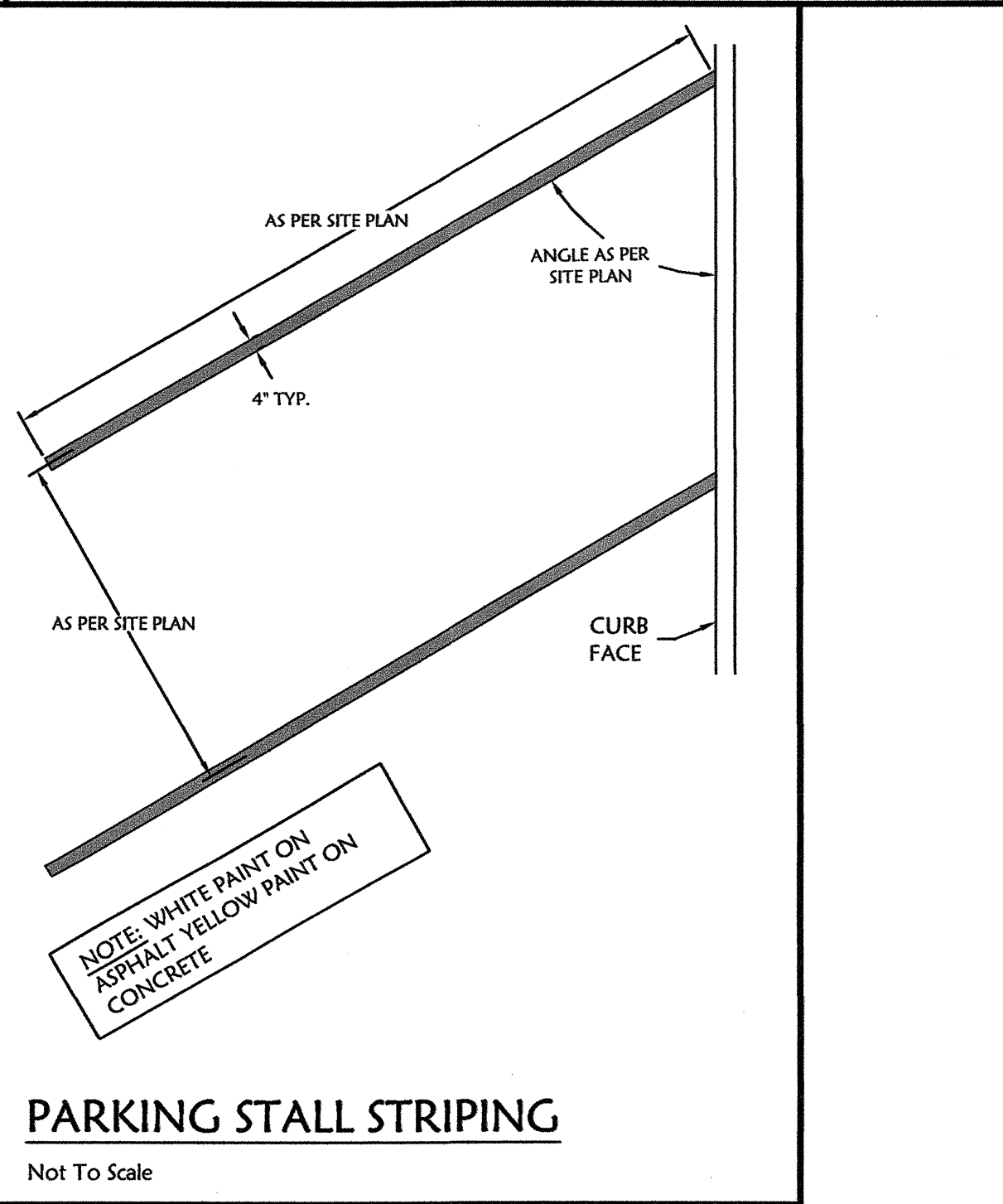
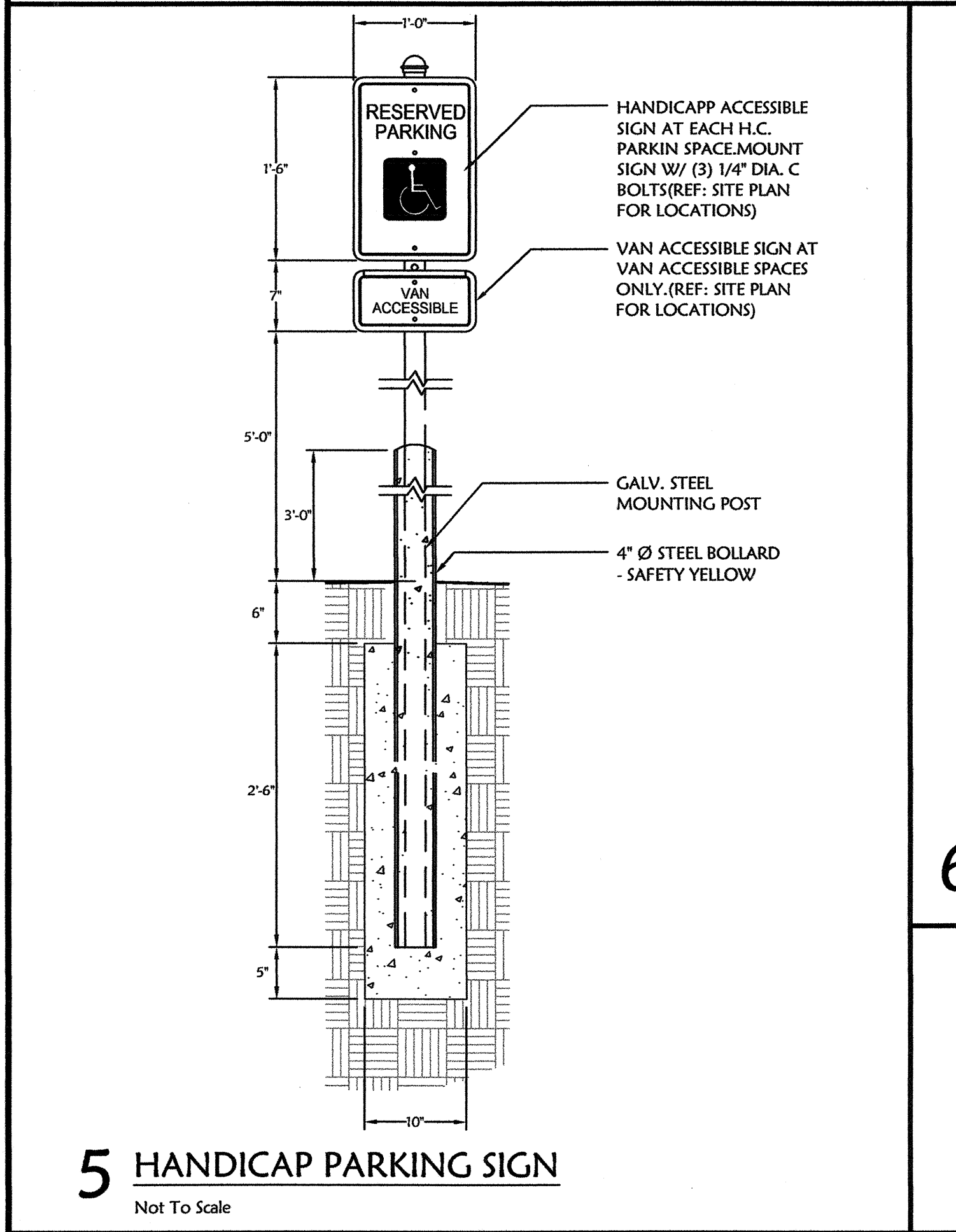
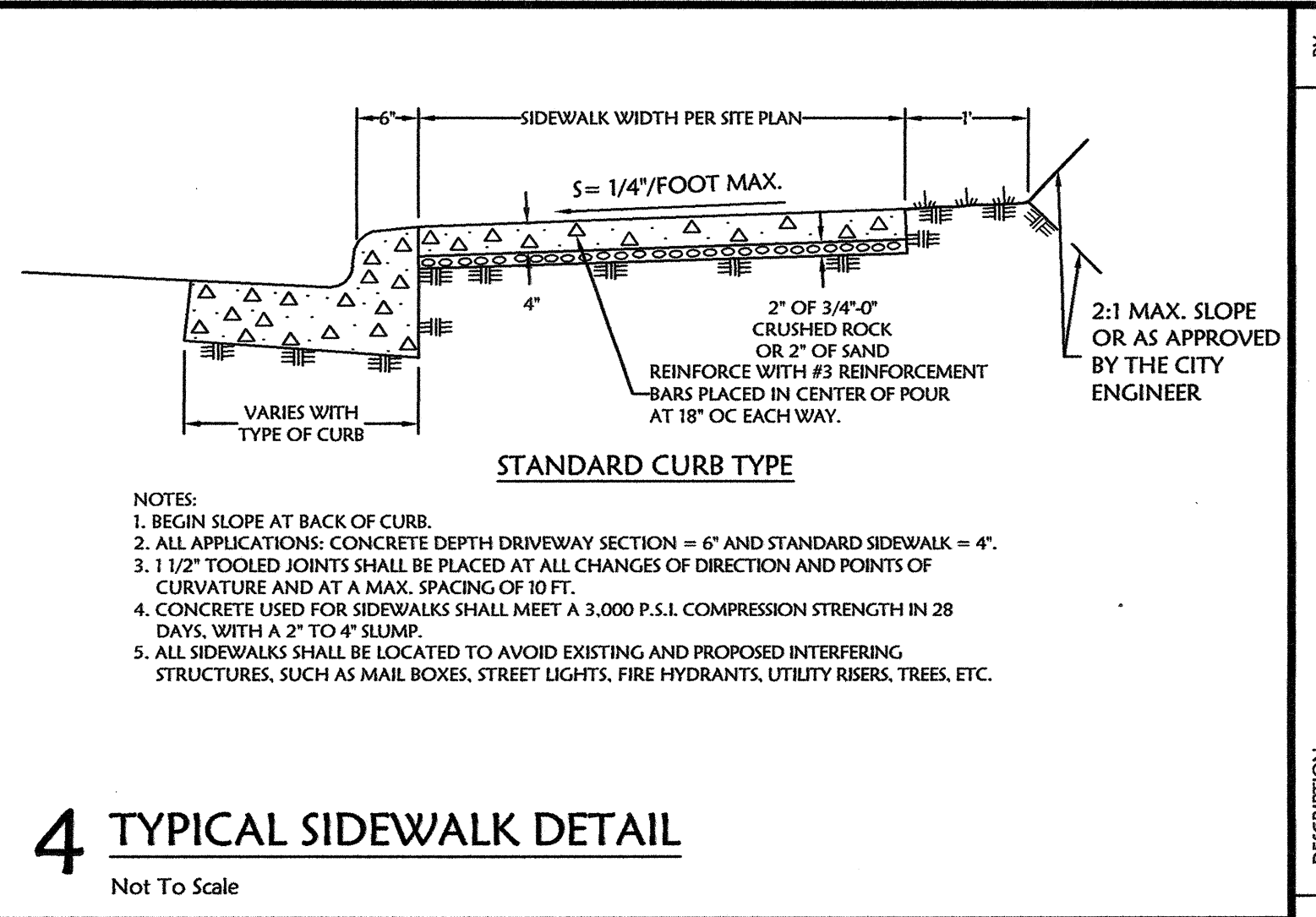
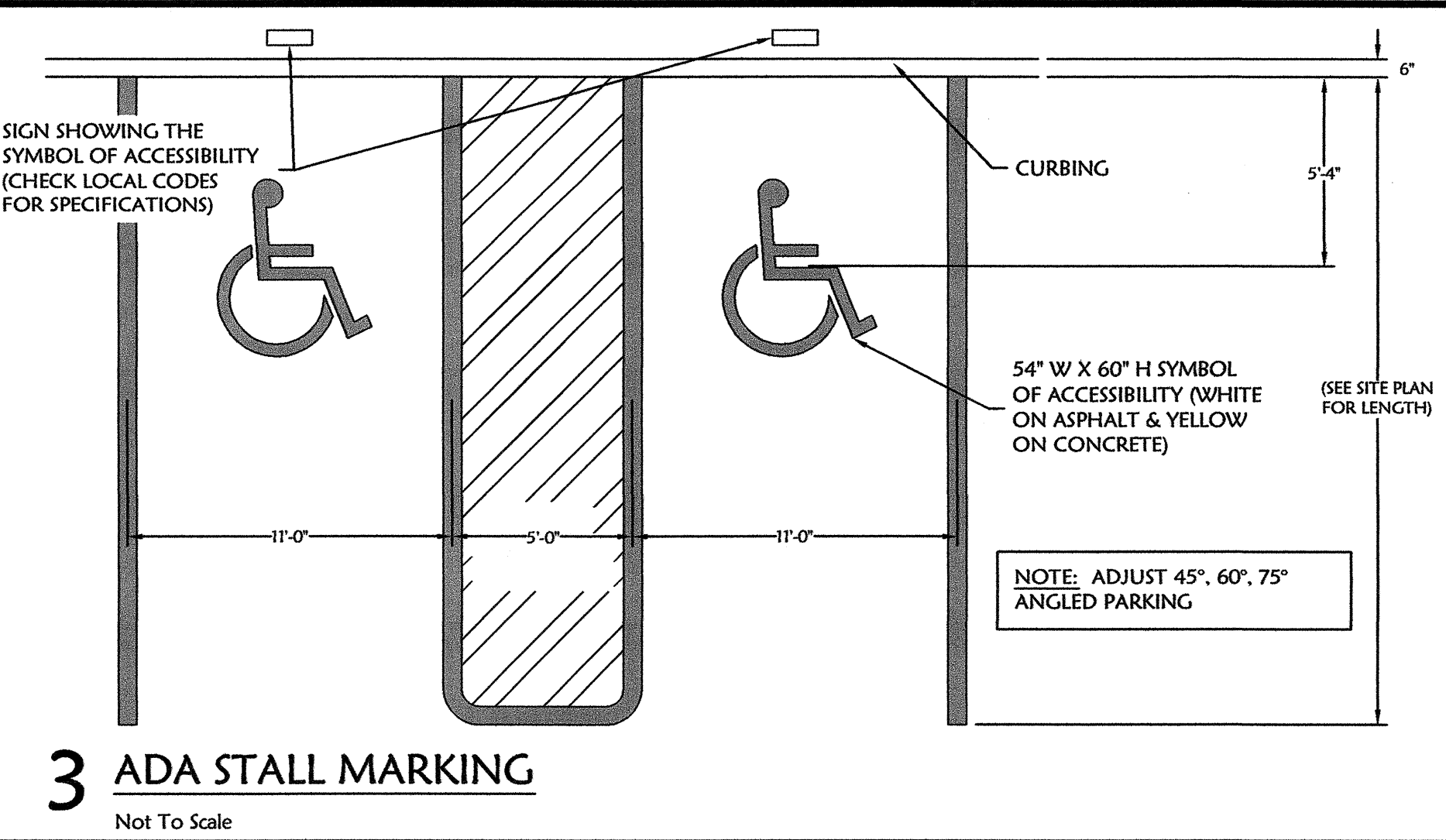
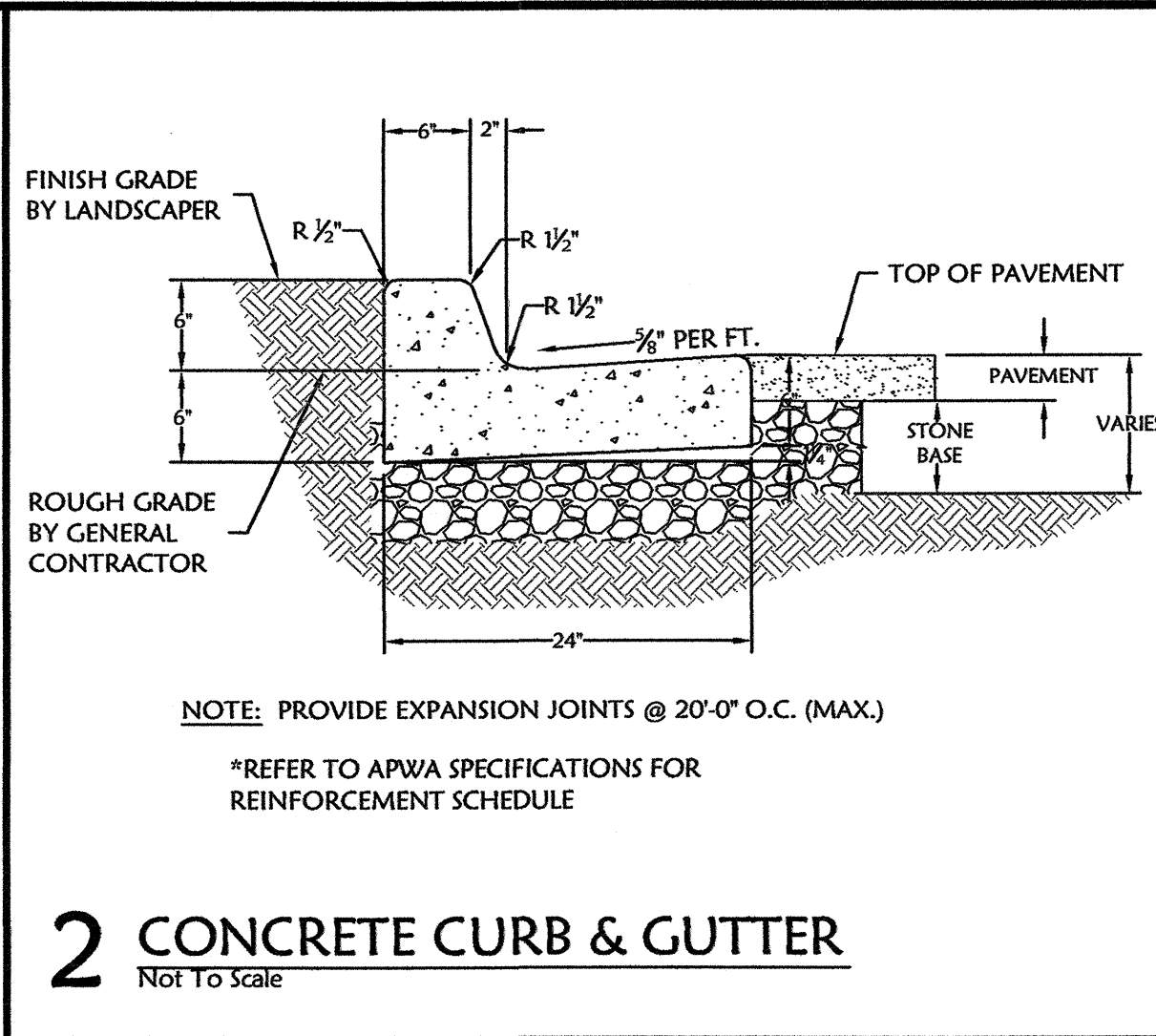
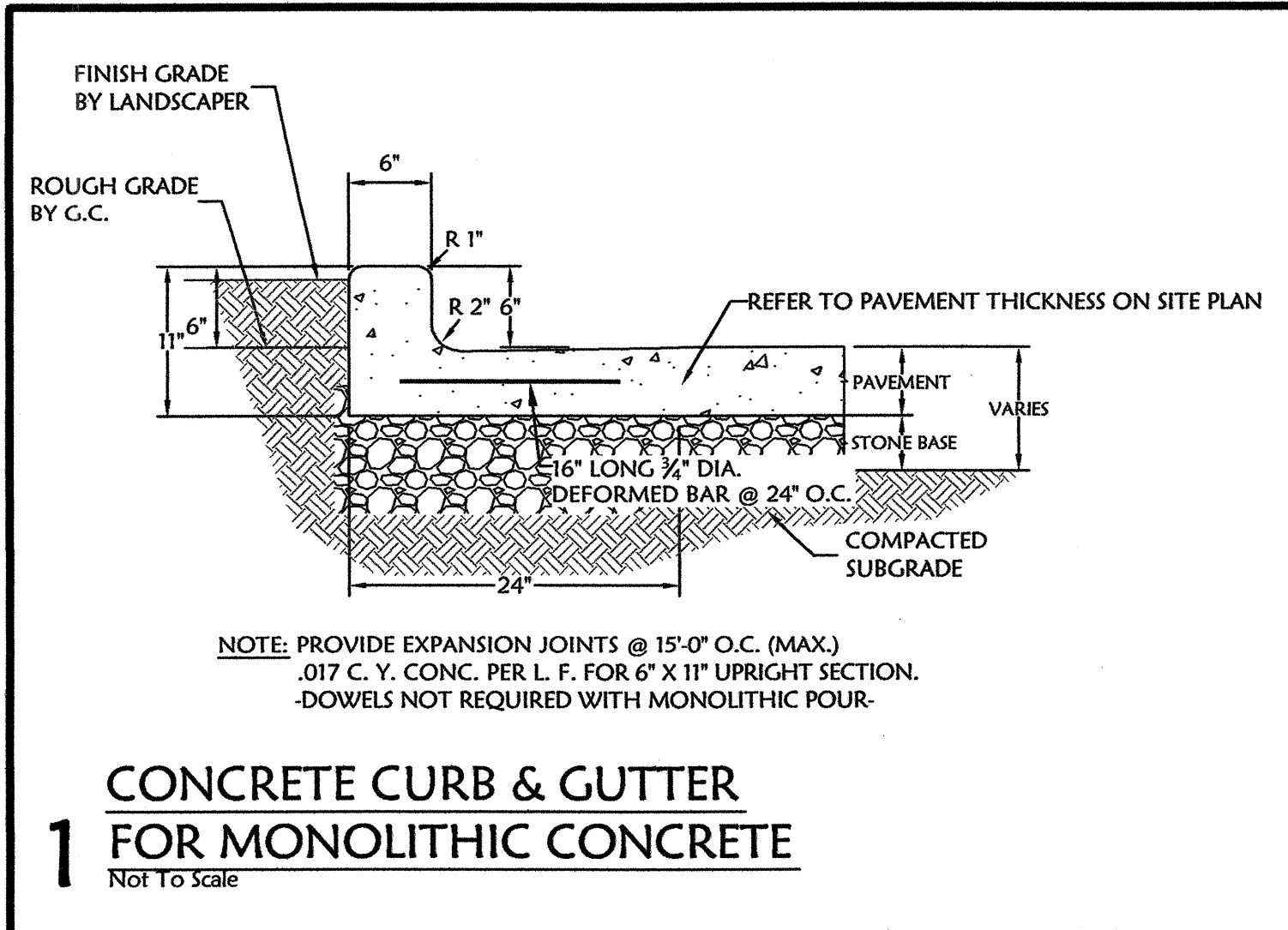
MAIZE ROAD N.



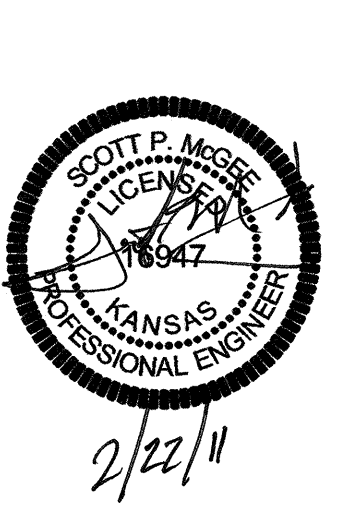
INSTALLING LANDSCAPE CONTRACTOR TO MAINTAIN ALL LANDSCAPING FOR A 30 DAY PERIOD FROM TURN OVER TO THE OWNER. THIS INCLUDES WATERING, MOWING, EDGING AND TRIMMING.

- STREET FRONT YARD REQUIREMENTS:**
- 142.50 LINEAL FT. OF N. MAIZE ROAD  
 X 10 SQ. FT. FACTOR FROM TABLE 2.1  
 1425 SQ. FOOTAGE OF LANDSCAPED FRONT YARD REQUIRED
- 115.65 SF  
 962.35 SF  
 152.16 SF  
 1230.16 SF PROVIDED
- THE SQUARE FOOTAGE OF LANDSCAPED STREET YARD MAY BE REDUCED BY 20% IF THE MINIMUM PLANTING SIZES OF PLANT MATERIALS IS INCREASED BY 100% OR MORE
- 1425 SF (REQUIRED) X 20% = 284 SF  
 1425 SF - 284 SF = 1141 SF (REQUIRED)  
 1230.16 SF (PROVIDED)
- PLANT MATERIAL REQUIRED INCREASED BY 100%
- STREET TREE REQUIREMENTS:**
- REQUIRED: 1 TREE PER 500 SF OF STREET YARD REQUIRED = 1420 / 500 = 2.84 TREES  
 REQUIRED: 3 SHADE TREES
- YOU MAY SUBSTITUTE 10 SHRUBS FOR 1 SHADE TREE OR 5 SHRUBS FOR 1 ORNAMENTAL TREE AS LONG AS YOU DON'T SUBSTITUTE MORE THAN 1/3 OF REQUIREMENTS. 10 SHRUBS HAVE BEEN SUBSTITUTED FOR 1 SHADE TREE  
 PROVIDED: 2 SHADE TREES AND 10 SHRUBS (INCREASED IN SIZE BY 100%)
- PARKING LOT TREE REQUIREMENTS:**
- 1 TREE PER 20 PARKING STALLS  
 33 PARKING STALLS  
 38/20 = 1.9 SHADE TREES REQUIRED  
 PROVIDED: 2 SHADE TREES
- ALL TREES PLANTED IN THE LANDSCAPED PLANTING AREAS SHALL BE SITUATED A MINIMUM OF THREE (3) FEET FROM ANY CURB. ALL COMPACTED SOIL AND ROLL SPLIT WITHIN THE AREA TO BE LANDSCAPED SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN TWO (2) FEET AND SHALL BE BACKFILLED WITH TOPSOIL.

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DATE	DESCRIPTION
12/20/10	CITY COMMENTS AND ADDED REINFORCEMENT TO CONCRETE PAVEMENTS AND SIDEWALK DETAILS



DETAIL SHEET

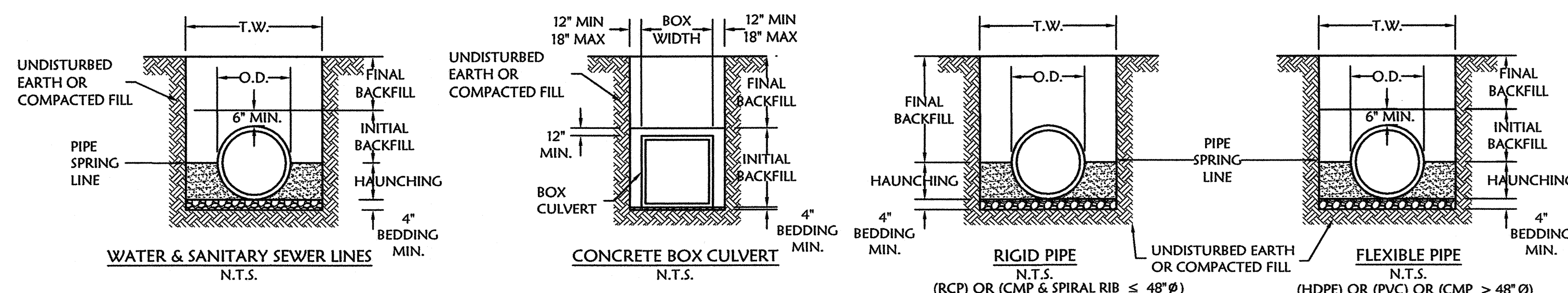
A NEW RESTAURANT FOR:  
**PANDA EXPRESS**

W. 29TH STREET N. AND MAIZE ROAD N. WICHITA, KS

DRAWN BY: EDHJ  
APPV. BY: SPM  
DWG. NAME: 10-0992 DETAILS.dwg  
DATE:  
JOB NO: 10-0992  
SHEET NO:

**SD1**

q:\10-0992 n.w. wichita panda express.dwg\project\3-city revisions\date 020311\10-0992 details.dwg - Plotted on 2/21/2011 5:13:50 PM @ a scale of 1:1 to hp designer: 1050c by hp by Scott Mege



NOTE: MINIMUM TRENCH WIDTH (T.W.) SHALL BE THE GREATER OF (1.25 O.D. + 12") OR (O.D. + 16")

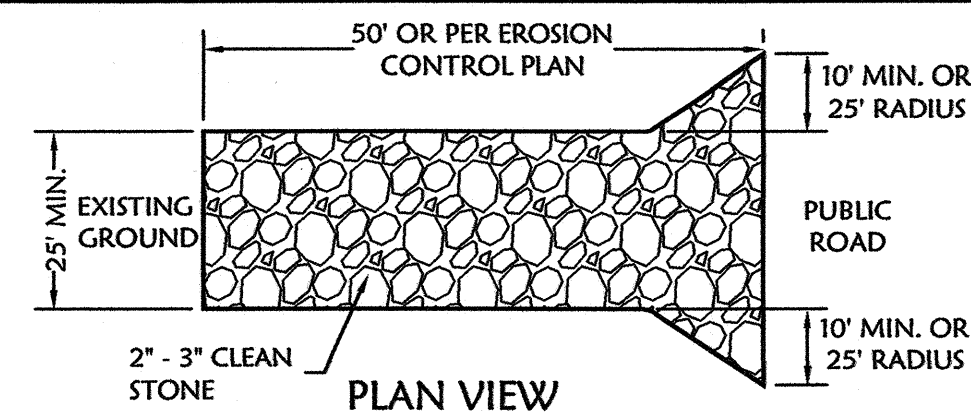
TABLE 1: CLASSES OF EMBEDMENT AND BACKFILL MATERIALS

ASTM D 2321 MATERIAL CLASS	ASTM D 2487 USCS SOIL GROUP	MATERIAL TYPE	% PASSING			ATTERBERG LIMITS	
			1 1/2 IN.	NO. 4	NO. 200	LL	PI
IA	NONE	MANUFACTURED OPEN GRADED AGGREGATES	100%	≤10%	<5%	NON PLASTIC	
IB	NONE	MANUFACTURED DENSE GRADED AGGREGATES	100%	≤50%	<5%	NON PLASTIC	
II	GW	COARSE-GRAINED SOILS, CLEAN	100%	<50% OF "COARSE FRACTION"	<5%	NON PLASTIC	
	GP						
	SW						
	SP						
III	GM	COARSE-GRAINED SOILS W/ FINES	100%	<50% OF "COARSE FRACTION"	12% TO 50%	<4 OR <"A" LINE	
	GC					<7 OR >"A" LINE	
	SM					>4 OR <"A" LINE	
	SC					>7 OR >"A" LINE	
	IV-A					ML	FINE-GRAINED SOILS
	CL						>7 OR >"A" LINE

GENERAL NOTES

- BEDDING SHALL BE DUMPED CLASS I-A WORKED BY HAND, OR CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. LOCAL CODE PERMITTING WITH GEOTECHNICAL ENGINEER AND OWNER APPROVAL. NATIVE SOIL MAY BE USED FOR BEDDING PROVIDED IT MEETS THE EMBEDMENT AND BACKFILL MATERIALS IN TABLE 1 EXCLUDING CLASS IV-A.
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR. PEA GRAVEL SHALL NOT BE USED AS A HAUNCHING MATERIAL. CLASS III MATERIAL SHALL BE ALLOWED FOR RIGID PIPE COMPACTED AT 95% STANDARD PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 90% STANDARD PROCTOR, OR CLASS III COMPACTED 95% STANDARD PROCTOR. CLASS I & II MATERIAL SHALL BE USED FOR FLEXIBLE PIPE WHEN FILL HEIGHTS EXCEED 8'.
- FINAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 90% STANDARD PROCTOR, OR CLASS III COMPACTED TO 95% STANDARD PROCTOR.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321. (SEE TABLE 1)
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES.
- DESIGN ENGINEER SHALL DESIGNATE ON THE PLANS WHERE WATERTIGHT JOINTS ARE TO BE REQUIRED.
- REPLACE WET OR UNSUITABLE SOIL AS NECESSARY TO PROVIDE A SUITABLE BASE, AS DIRECTED BY GEOTECHNICAL ENGINEER OR OWNER.
- WHERE GROUND WATER IS PRESENT CLASS I-A MATERIAL SHALL BE WRAPPED WITH A NON-WOVEN GEO-TEXTILE, EXCLUDING BEDDING MATERIAL BETWEEN 4" & 6" THICK.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR SOIL TYPE AND CLASSIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REFER TO THE LATEST VERSION OF ASTM STANDARDS PRIOR TO CONSTRUCTION.

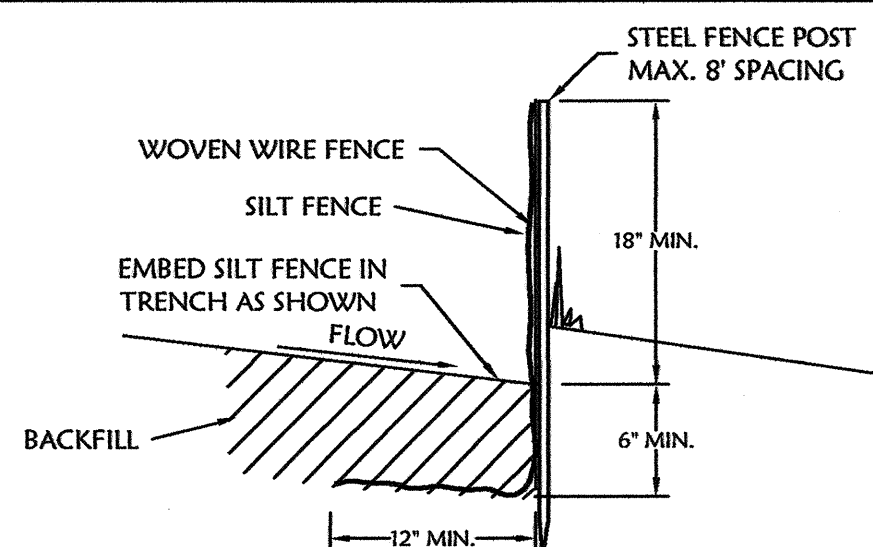
1 TRENCH AND BEDDING DETAILS  
Not To Scale



CONSTRUCTION SPECIFICATIONS

- STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE)
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET (SEE EROSION CONTROL PLAN FOR DIMENSIONS).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 12" X 24" METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.

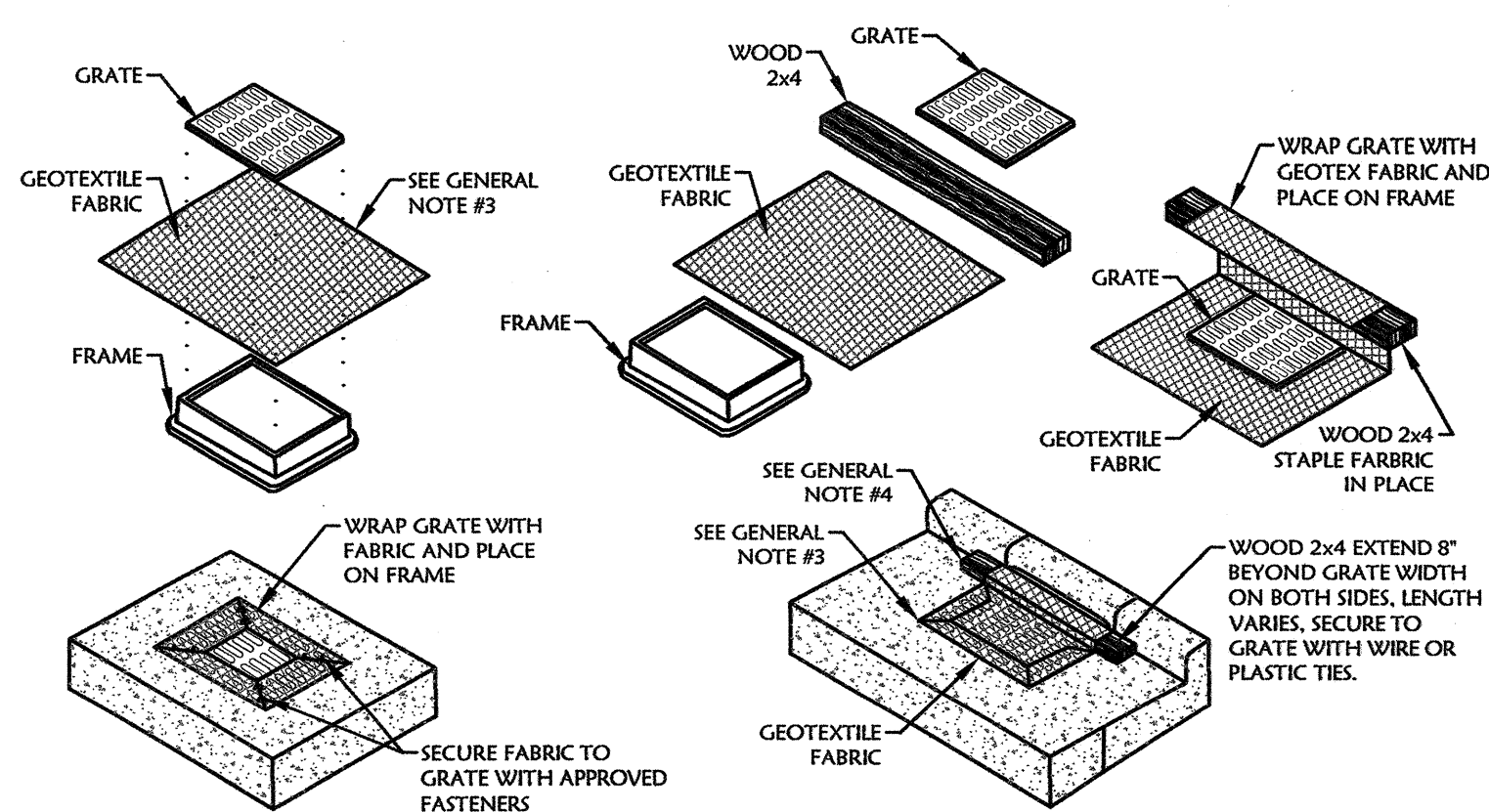
5 STABILIZED CONSTRUCTION ENTRANCE  
Not To Scale



NOTES:

PLACE SILT FENCE AT DOWN SLOPE LIMIT OF AREA TO BE GRADED. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT OR WOVEN WIRE WHICH IS IN TURN ATTACHED TO THE STEEL POSTS. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN ABOVE. AT EACH END OF SILT FENCE, TURN FENCE UPSLOPE AND EXTEND UNTIL GROUND SURFACE RISES 18".

6 TEMPORARY SILT FENCE  
Not To Scale



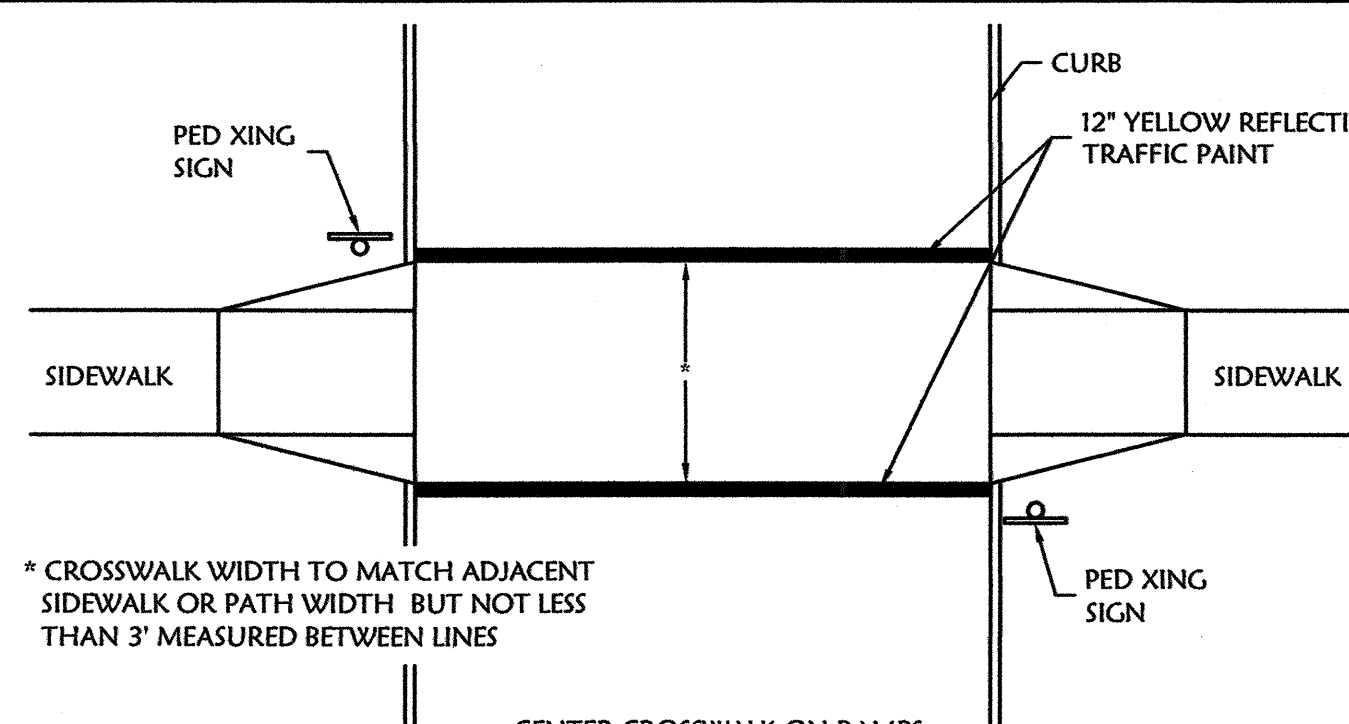
YARD INLET PROTECTION  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

CURB INLET PROTECTION

GENERAL NOTES:

- GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SEE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

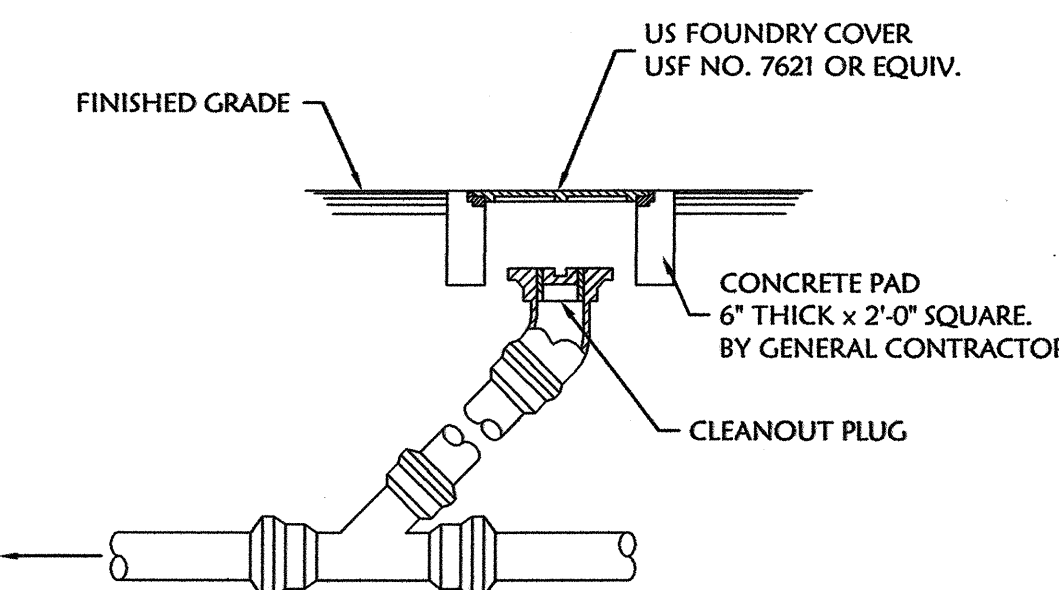
2 GEOTEXTILE FABRIC INLET PROTECTION  
Not To Scale



\* CROSSWALK WIDTH TO MATCH ADJACENT SIDEWALK OR PATH WIDTH BUT NOT LESS THAN 3' MEASURED BETWEEN LINES

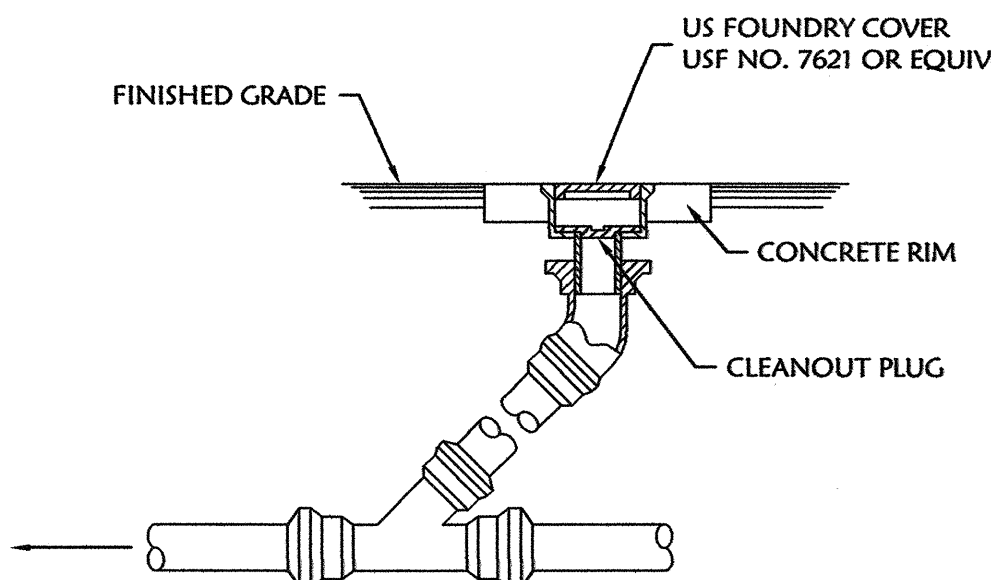
CROSSWALK (W/RAMPS)

4 STANDARD CROSSWALKS  
Not To Scale



CLEANOUT IN PAVED AREAS

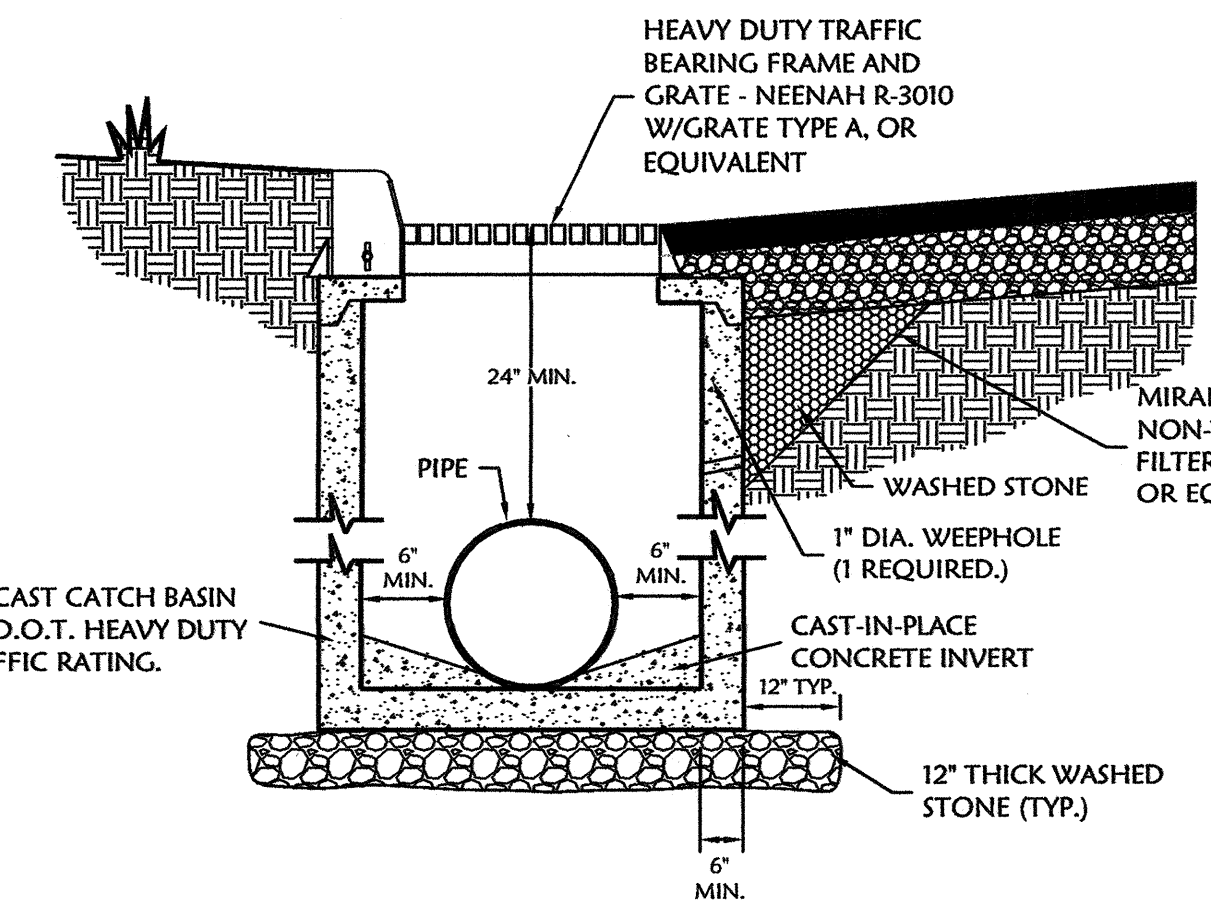
NOTE: G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.



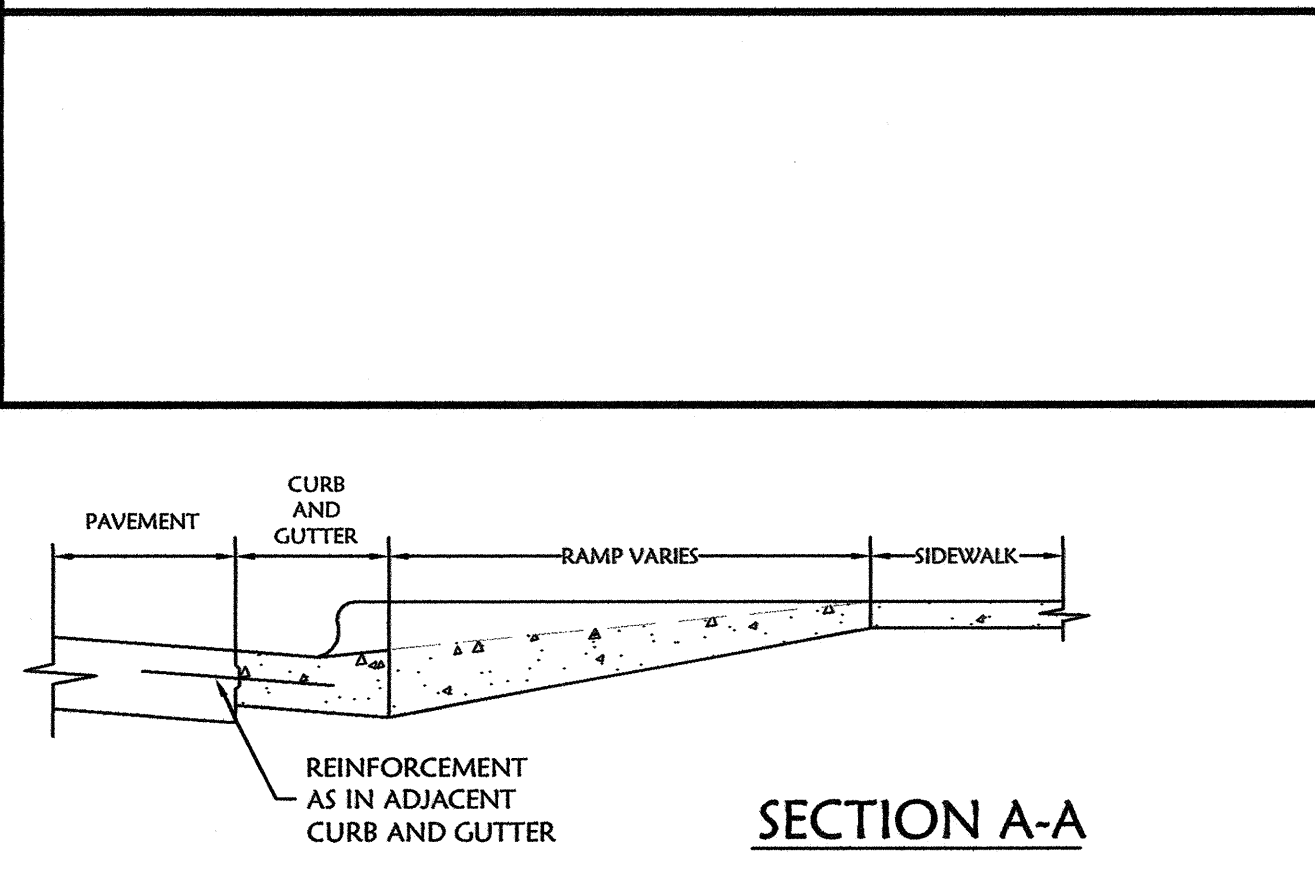
CLEANOUT IN UNPAVED AREAS

NOTE: G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.

7 EXTERIOR CLEANOUT  
Not To Scale



3 CURB DRAINAGE CATCH BASIN  
Not To Scale



SIDEWALK ACCESSIBLE ROUTE NOTES:

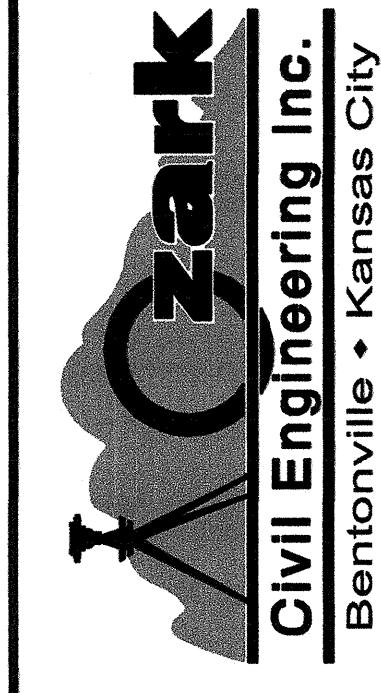
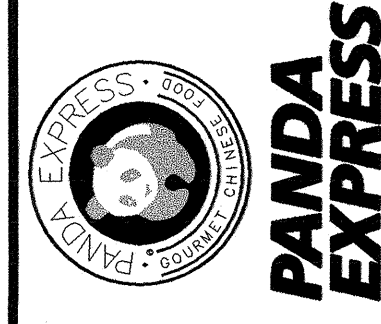
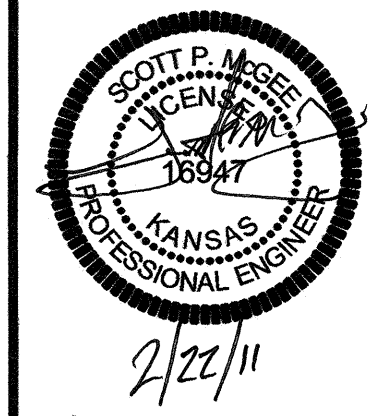
- SIDEWALK ACCESSIBLE ROUTE LOCATION DETERMINED FROM THE ACCESSIBLE DOORWAY OF THE BUILDING TO THE CURB & GUTTER.
- KEY ALL CONSTRUCTION JOINTS OR USE TIE BARS #4 EPOXY COATED @ 12" O.C.
- LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
- ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 250" CENTER MAX.
- SIDEWALK ACCESSIBLE ROUTE SHALL BE LENGTHENED TO PROVIDE ADA COMPLIANT SLOPE BUT NOT TO EXCEED 5%.
- ADA MAXIMUM CROSS SLOPE = 2%
- DETECTABLE WARNINGS TO COMPLY WITH ADA REQUIREMENTS.

ADA STANDARD FOR ACCESSIBLE DESIGN:

- 2\"/>

8 SIDEWALK WITH RAMP CONDITIONS  
Not To Scale

DATE	12/20/10
DESCRIPTION	ADDED SD4 AND SD8
BY	EDH



DETAIL SHEET

A NEW RESTAURANT FOR:  
PANDA EXPRESS

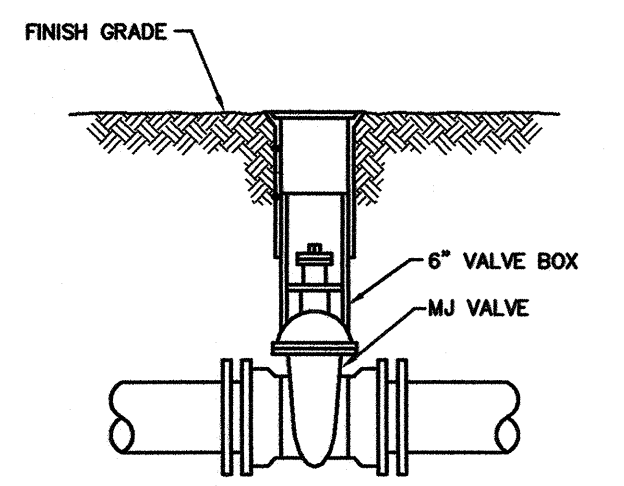
W. 29TH STREET N. AND MAIZE ROAD N. WICHITA, KS

DRAWN BY: EDH  
 APPV. BY: SPM  
 DWG. NAME: 10-0992 DETAILS.dwg  
 DATE: -  
 JOB NO.: 10-0992  
 SHEET NO.:

SD2

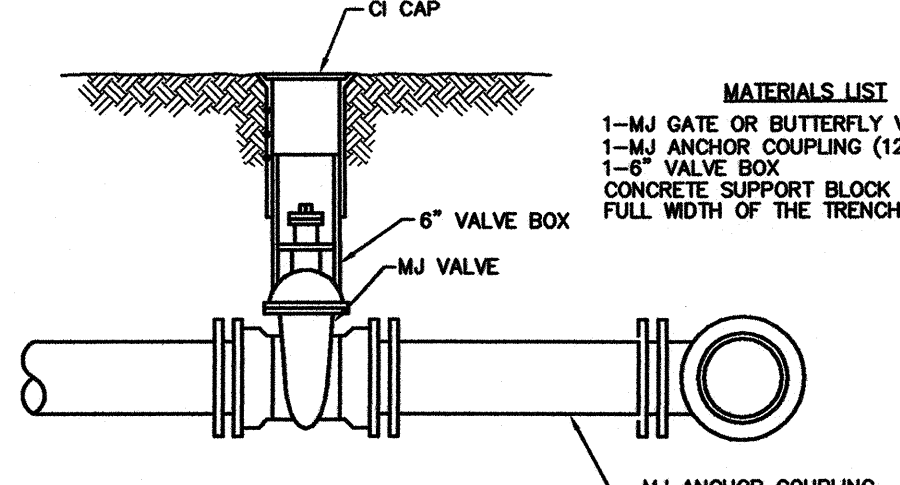
q:\10-0992 nvr-wichita\_panda\_express.dwg\project3-city-revisions\date 02/03/11\10-0992\_details.dwg - Plotted on 2/21/2011 5:14:00 PM @ a scale of 1:1 by hp designer 1050c by hp by Scott Megees





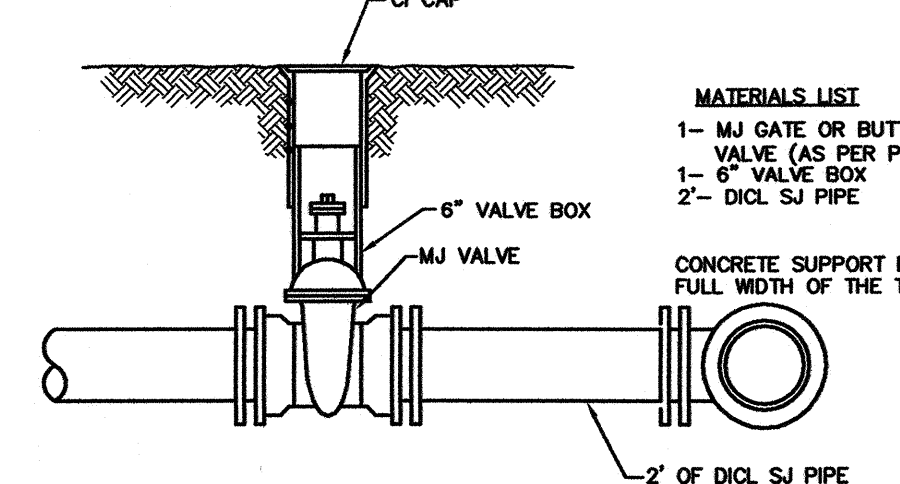
- MATERIALS LIST**
- 1-MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
  - 1-6" VALVE BOX
  - CONCRETE SUPPORT BLOCK SHALL BE FULL WIDTH OF THE TRENCH

**LINE VALVE ASSEMBLY**



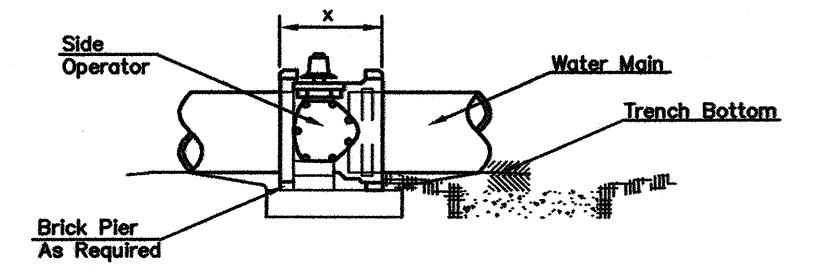
- MATERIALS LIST**
- 1-MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
  - 1-MJ ANCHOR COUPLING (12" OR SMALLER)
  - 1-6" VALVE BOX
  - CONCRETE SUPPORT BLOCK SHALL BE FULL WIDTH OF THE TRENCH

**ANCHORED VALVE ASSEMBLY**



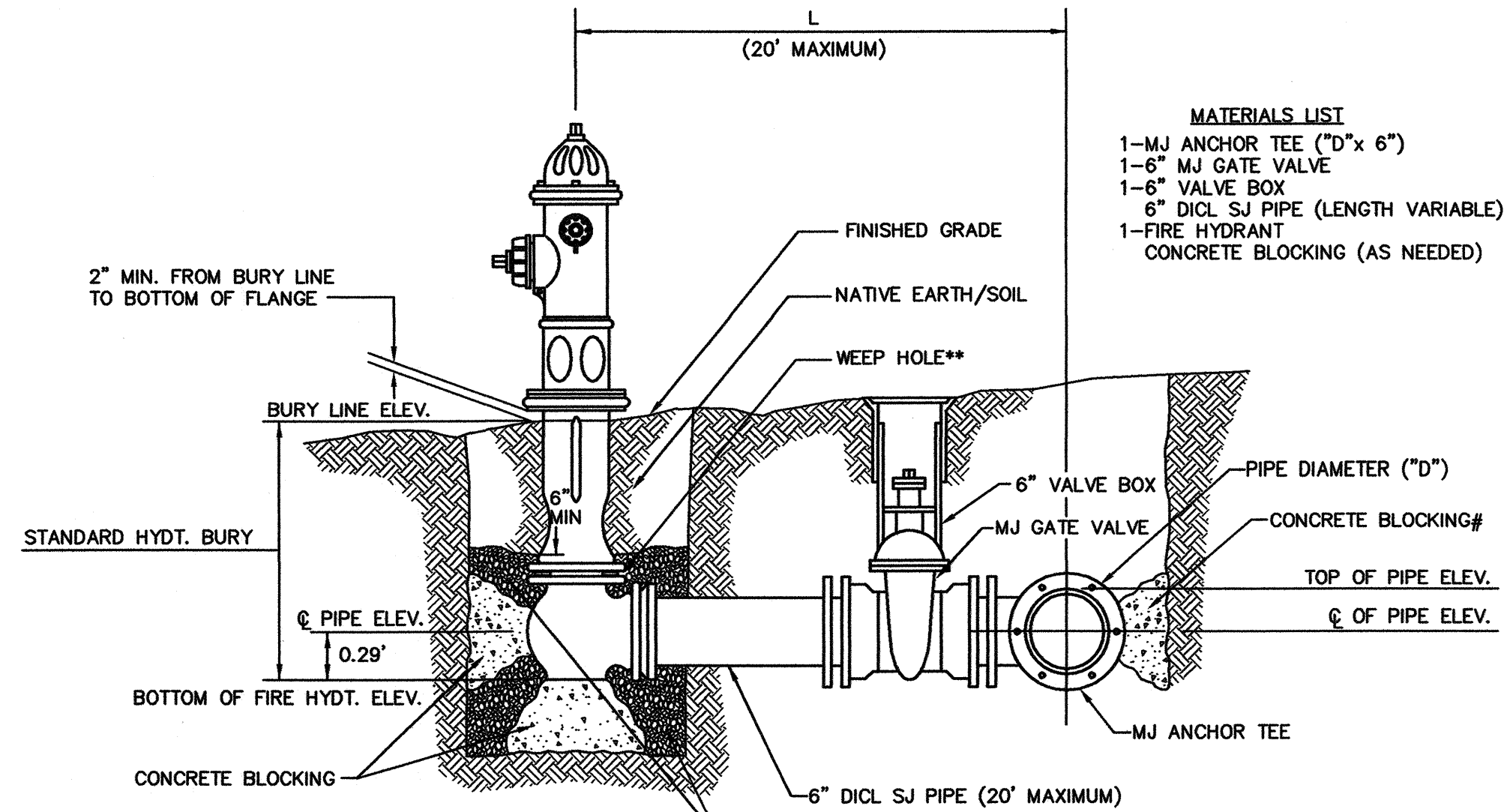
- MATERIALS LIST**
- 1-MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
  - 1-6" VALVE BOX
  - 2- DI CL SJ PIPE
  - CONCRETE SUPPORT BLOCK SHALL BE FULL WIDTH OF THE TRENCH

**VALVE ASSEMBLY**



- NOTES**
- This detail covers Butterfly Valve installation, inclusive, regardless of type of pipe or joint used. Larger lines to be detailed on plans.
  - 6" Valve Box and Cover required per City of Wichita Std. Specifications.
  - Conc. Support Block to be full width of trench.

**CONCRETE SUPPORT BLOCKING FOR BUTTERFLY VALVE INSTALLATION**

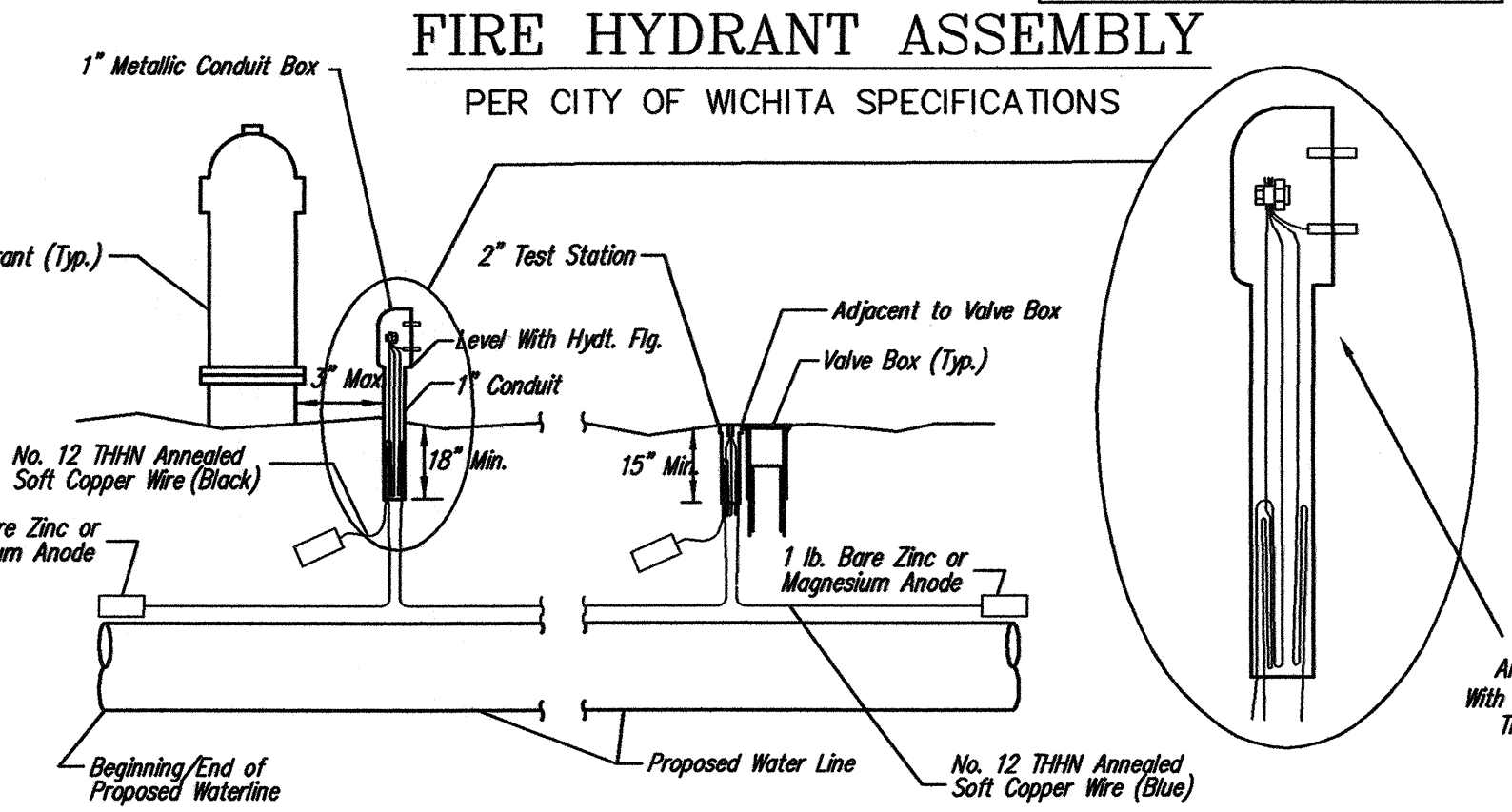


- MATERIALS LIST**
- 1-MJ ANCHOR TEE ("D"x 6")
  - 1-6" MJ GATE VALVE
  - 1-6" VALVE BOX
  - 6" DI CL SJ PIPE (LENGTH VARIABLE)
  - 1-FIRE HYDRANT
  - CONCRETE BLOCKING (AS NEEDED)

**PEA GRAVEL ## GRADATION REQUIREMENT**

SIEVE SIZE	SPECIFICATION % RETAINED
3/4"	0 - 5
1/2"	5 - 35
3/8"	40 - 85
# 4	95 - 100
# 8	97 - 100

- \*\* CAUTION! WEEP HOLES TO BE KEPT CLEAR DURING CONSTRUCTION AND BACKFILL. CONCRETE FOR THRUST BLOCKING SHALL NOT OBSTRUCT WEEP HOLES.**
- # CONCRETE THRUST BLOCKING SHALL BE KEPT CLEAR OF BOLTS, NUTS, AND MJ ACCESSORIES.**
- \* IF HYDRANT BURY IS IN EXCESS OF 5', CONTRACTOR SHALL USE STANDARD 5' HYDRANT BURY AND HYDRANT BARREL EXTENSIONS AS NECESSARY.**
- ## MINIMUM 1 CU. FT. PER WEEP HOLE**

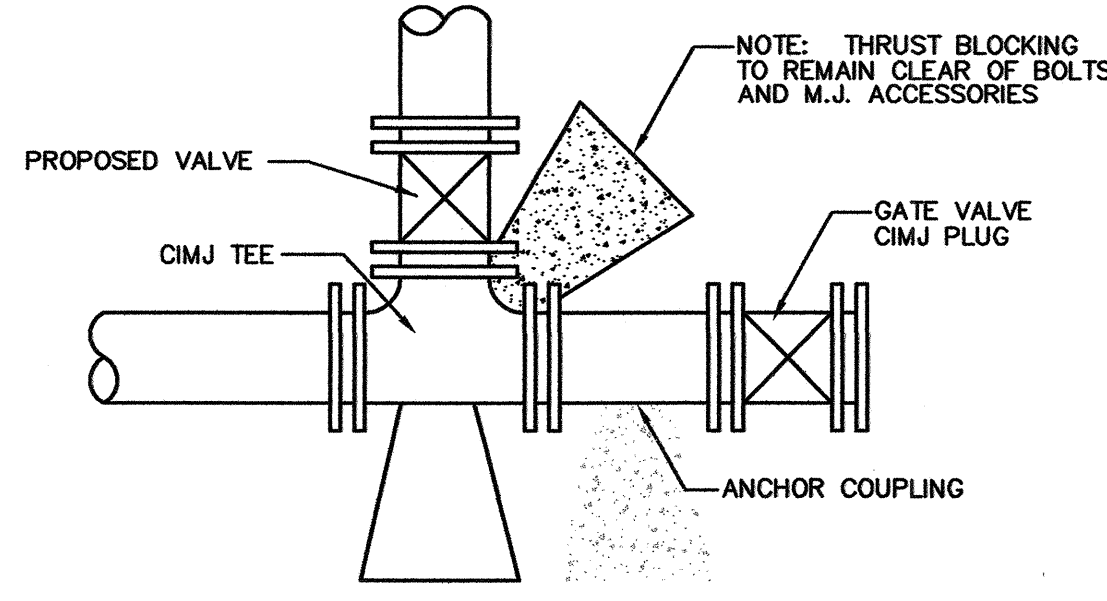


**TRACER WIRE**  
Conductive type pipe locator/tracer wire shall be installed to locate all waterline pipe regardless of pipe material. The wire shall extend the entire length of the proposed pipe. The wire shall be taped to the waterline and pulled with the pipe. Split-bolt connectors shall be used at splice locations. Electrical tape shall cover all splices so no bare wire is exposed. Test stations shall be installed adjacent to all fire hydrants along the waterline and at blowoffs or valves near the ends of the waterlines. Any exceptions to the location of test stations shall be approved by the engineer. At each test station, the tracer wire shall be connected to a 1 lb. zinc or magnesium anode. Anodes shall also be attached to the tracer wire at both the beginning and the end of the proposed waterline. A typical layout of the tracer wire and test station is provided in the above figure.

**TEST STATIONS**  
The test station for fire hydrant applications shall be a 1 inch galvanized conduit style test station as manufactured by AGRA Industries with a removable solid cover having two leads extending from the face or approved equal. The test station for valve applications shall be 2 inch flush style test station T2PS3B as manufactured by HANDLEY Industries or approved equal. The conduit style shall be attached to a 1 inch rigid galvanized conduit with a minimum length of 36" and plastic end bushing. The flush style shall have the word "WATER" stamped or molded into the lid. All test stations shall be manufactured using molded blue tops or sufficiently coated with blue enamel paint. The tracer wire and the anode wire shall be installed to allow 10 inches of wire within the test station. In concrete environments such as sidewalks or in the downtown area the contractor shall use the flush style test station. The location of all test stations shall be approved by the engineer, recorded, and shown in the as-built drawings.

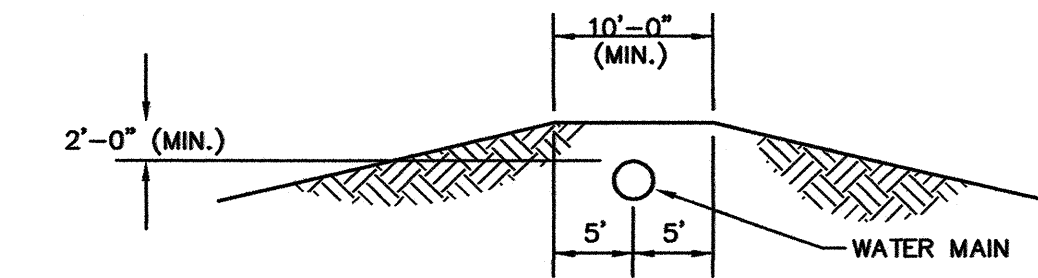
**ANODES**  
The anodes shall be 1 lb. bare zinc or magnesium. The anodes shall be buried at the same elevation as the waterline at each test station. The anodes shall be connected to Black No. 12 THHN annealed soft copper wire which shall be extended to the test station.

**TRACER WIRE DETAIL**  
COST IS SUBSIDIARY TO PIPE INSTALLATION



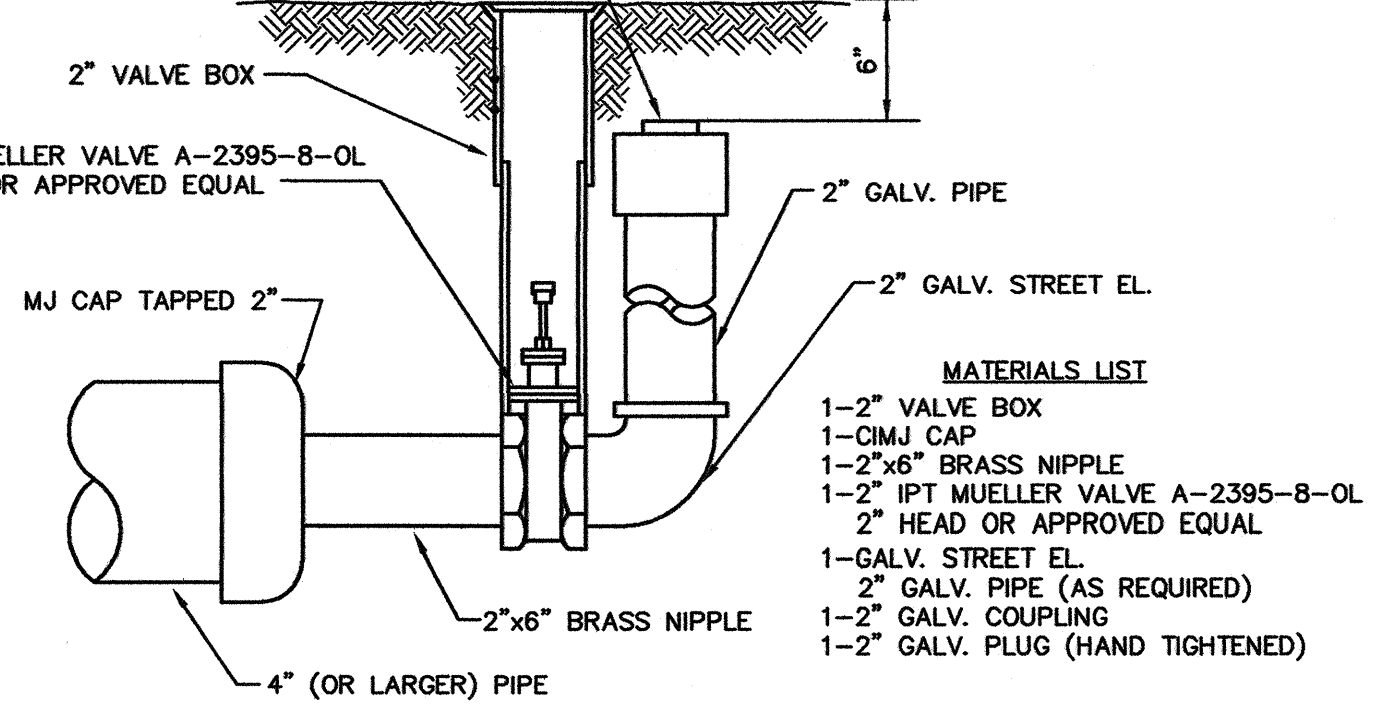
**KEY BLOCK DETAIL**

- 2 Blue Wires and 1 Black Wire  
All Connected to Single Test Lead  
With Split Bolt Connection and Blue No. 12 THHN Annealed Soft Copper Wire



**PROTECTIVE FILL DETAIL**

MINIMUM PROTECTIVE FILL SHALL BE PROVIDED IN ALL INSTANCES WHERE COVER OVER THE PROP. WATER LINE IS LESS THAN (2) FEET. (COST SUBSIDIARY TO PIPE INSTALLATION)



**2" BLOWOFF ASSEMBLY**

- MATERIALS LIST**
- 1-2" VALVE BOX
  - 1-CIMJ CAP
  - 1-2"x6" BRASS NIPPLE
  - 1-2" IPT MUELLER VALVE A-2395-B-OL
  - 2" HEAD OR APPROVED EQUAL
  - 1-GALV. STREET EL.
  - 2" GALV. PIPE (AS REQUIRED)
  - 1-2" GALV. COUPLING
  - 1-2" GALV. PLUG (HAND TIGHTENED)

**FIRE HYDRANTS REQUIRED**

STATION	BURY LINE ELEVATION	TOP OF PIPE ELEVATION	FIRE HYDRANT BURY REQUIRED*

REV: 8-14-01, MCG



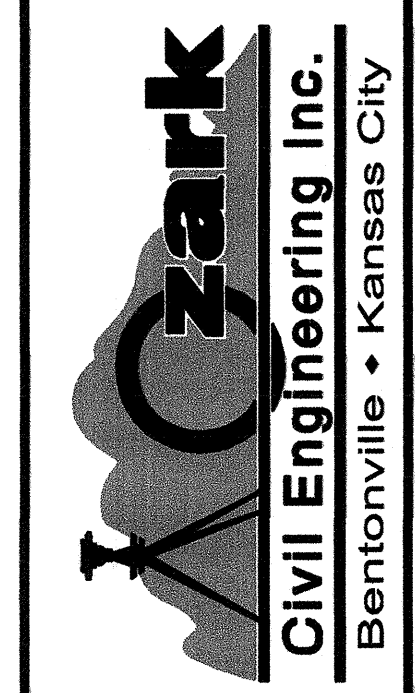
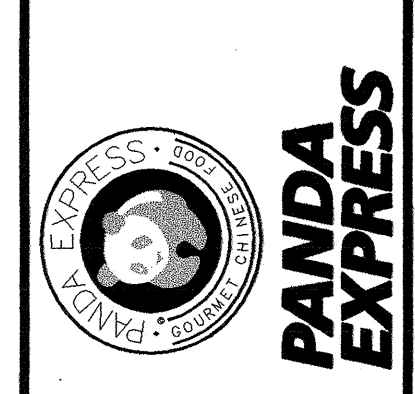
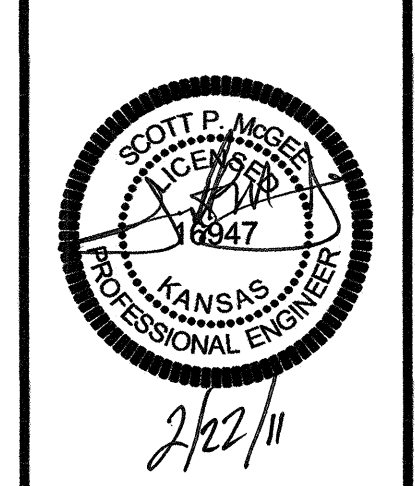
**STANDARD WATER ASSEMBLY DETAILS**

CITY ENGINEER  
JAMES L. ARMOUR, P.E., L.S.  
ACTING

PROJECT NUMBER: XXX-XXXXX  
CITY ENGINEER'S OFFICE: CITY HALL - SEVENTH FLOOR, 455 NORTH MAIN STREET, WICHITA, KANSAS 67202-1820  
(316) 268-4501  
(316) 268-4114 FAX

DATE: MM/YY  
DESIGN: ABC  
DRAWN: DEF  
SHEET: X OF X

DATE	DESCRIPTION



**DETAIL SHEET**

A NEW RESTAURANT FOR:  
**PANDA EXPRESS**

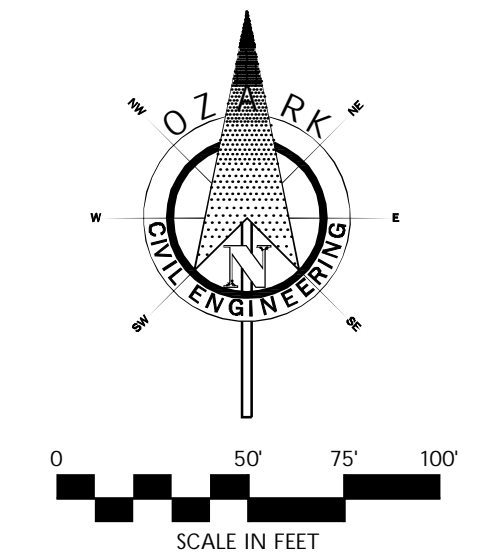
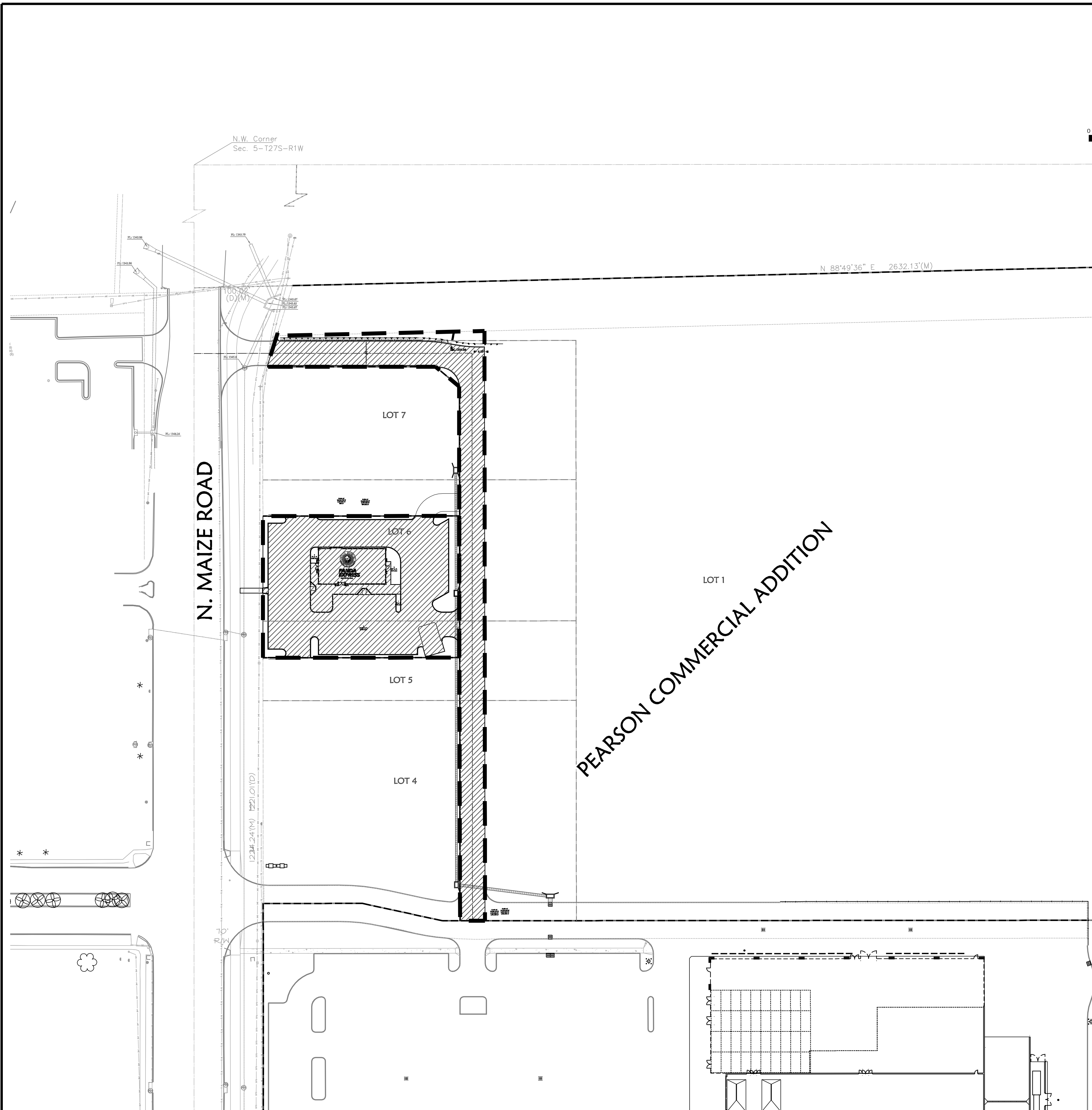
WICHITA, KS  
W. 29TH STREET N. AND MAIZE ROAD N.

DRAWN BY: EDHJ  
APPV. BY: SPM  
DWG. NAME: 10-0992 DETAILS.dwg  
DATE:  / /   
JOB NO: 10-0992  
SHEET NO:  

**SD4**

q:\10-0992.nvw wchita panda express.dwg\project3-city revisions\date 020311\10-0992 details.dwg - Plotted on 2/21/2011 5:14:19 PM @ a scale of 1:1 to htp designnet 1050c by hp by Scott Mgeer

q:\10-0992\_nw\_wichita\_panda\_express\dwg\project\13-city\_revisions\date 020311\10-0992ur6.dwg - Plotted on 3/4/2011 12:03:00 PM @ a scale of 1:1 to pdf-xchange 4.0 (24x36).pc3 by Scott Wages



**LEGAL DESCRIPTION**

PORTIONS OF LOTS 5 AND 6, BLOCK 1 PEARSON COMMERCIAL ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS  
2760 N. MAIZE ROAD

**SITE INFORMATION:**

PEARSON COMMERCIAL ADDITION	AREA	PERCENTAGE
LOT 1, 4, 5, 6, 7, BLOCK 1	510,713 SF (11.72 AC)	94.76%
OWNERSHIP: EASTSIDE DEVELOPMENT, LLC	28,215 SF (0.6477 AC)	5.24%
CFT DEVELOPMENTS, LLC		
<b>TOTAL</b>	<b>538,928 SF (12.37 AC)</b>	<b>100.00%</b>

**PROJECT INFORMATION:**

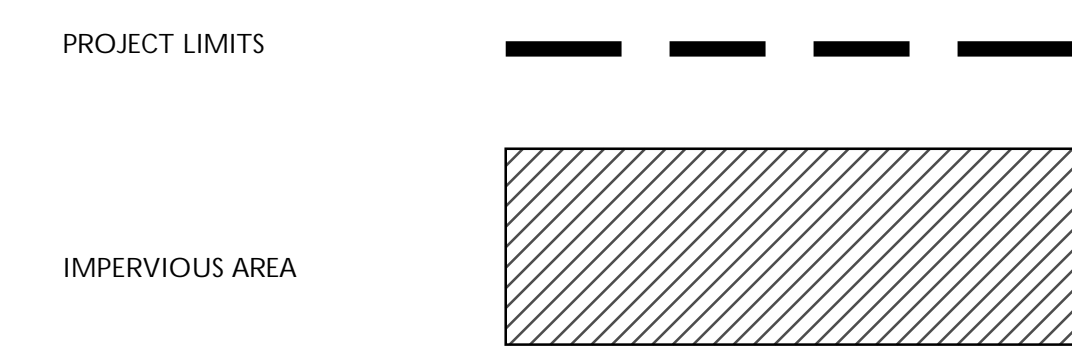
**PANDA EXPRESS (CFT DEVELOPMENTS, LLC):**

PROJECT LIMITS:	28,215 SF (0.648 AC)	100.00%
IMPERVIOUS AREA	24,134 SF (0.554 AC)	85.54% OF PROJECT LIMITS
PERVIOUS AREA	4,081 SF (0.094 AC)	14.46% OF PROJECT LIMITS

**PRIVATE DRIVE (EASTSIDE DEVELOPMENT, LLC):**

PROJECT LIMITS:	21,573 SF (0.495 AC)	100.00%
IMPERVIOUS AREA	19,482 SF (0.447 AC)	90.31% OF PROJECT LIMITS
PERVIOUS AREA	2,091 SF (0.048 AC)	9.69% OF PROJECT LIMITS

**LEGEND**



DATE	DESCRIPTION	BY
02/09/11	REV. 2 - ADDED ERU PLAN	EDH



ERU PLAN

A NEW RESTAURANT FOR:  
PANDA EXPRESS

2760 N. MAIZE ROAD  
WICHITA, KS

DRAWN BY:	EDH
APPV. BY:	SPM
DWG. NAME:	10-0993PRE
DATE:	10/25/10
JOB NO.:	10-0993
SHEET NO.:	

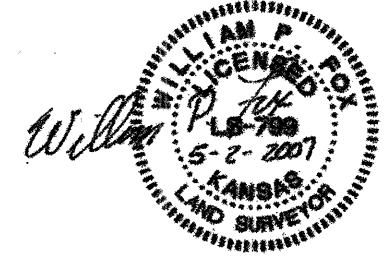
**ERU**

State of Kansas) as Sedgwick County)

I, the undersigned, registered land surveyor of the State of Kansas, do hereby certify that the following described tract of land was surveyed on March 16, 2007 and the accompanying final plat was prepared and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief:

The west 908.98 feet of the South Half of the Northwest Quarter of Section 5, Township 27 South, Range 1 West of the Sixth Principal Meridian, Sedgwick County, Kansas, EXCEPT that part taken for road purposes described as beginning at the Northwest corner of the South Half of the Northwest Quarter of Section 5, Township 27 South, Range 1 West of the Sixth Principal Meridian, Sedgwick County, Kansas; Thence east along the North line of said South Half, a distance of 100.02 feet; Thence southwesterly a distance of 100 feet to a point 70 feet east of the West line of said South Half; Thence south parallel with said West line, a distance of 1,221.01 feet to the South line of said South Half; Thence west along said South line, a distance of 70.02 feet to the southwest corner of said South Half; Thence north 1,315.92 feet to the point of beginning.

Existing public dedications, rights of way, and easements being vacated by virtue of K.S.A. 12-512(b).



William P. Fox, L.S. # 799, Surveyor for Fox & Associates, Inc.

State of Kansas) as Sedgwick County)

Know all men by these presents that we, the undersigned, have caused the land described in the surveyor's certificate to be plotted into Lots, Blocks and Reserves, to be known as "PEARSON COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas.

The utility easements are hereby granted to the public utilities as indicated for constructing, maintaining, operating, and repairing utilities.

The access controls are hereby granted to the appropriate governing body as shown hereon. Right of Way as shown is hereby dedicated to the public for streets.

Pursuant to the community unit plan, Reserves A & B are for shared signage. Reserve A is to be owned and maintained by Lot 1 its successors and assigns. Reserve B is to be owned and maintained by Lot 2 its successors and assigns.

The access easements are for ingress/egress purpose for the owner(s) of Pearson Commercial Addition and/or their invitees.

Pursuant to the community unit plan, the screening wall easement is for screening purposes for the benefit of the owner(s) of Pearson Commercial Addition. Utility lines may cross the wall easement when necessary.

A drainage plan has been developed for the plot. All drainage easements and/or rights of way shall remain at established grades, or as modified with the approval of the applicable public agency, and unobstructed to allow for the conveyance of stormwater. The drainage easements are for drainage purposes and the benefit of the owner(s) of Pearson Commercial Addition.

Bruce A. Pearson, Esther L. Pearson

State of Kansas) as Sedgwick County)

BE IT REMEMBERED that on this 4 day of May, 2007, before me, the undersigned, a notary public in and for the County and State aforesaid came Bruce A. Pearson and Esther L. Pearson, husband and wife, personally known to me to be the same persons who executed this instrument and each person duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public: Timothy R. Suckin

Name: Timothy R. Suckin

My Appointment Expires: 4-11-2010

State of Kansas) as Sedgwick County)

This plat of "PEARSON COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita/Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 22nd day of December, 2006. Wichita/Sedgwick County Metropolitan Area Planning Commission.

Darrell A. Downing, Chair; John L. Schlegel, Secretary

State of Kansas) as City of Wichita)

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 22nd day of 2007 At the Direction of the City Council.

Carl Brewer, Mayor; Karen Sublett, City Clerk

Entered on transfer record this 22nd day of August, 2007

Don Brace, County Clerk

State of Kansas) as Sedgwick County)

This is to certify that this instrument was filed for record in the Register of Deeds office at 2 o'clock P.M., on the 22nd day of August, 2007 and is duly recorded.

Tonya Buckingham, Register of Deeds

State of Kansas) as Sedgwick County)

Reviewed in accordance with K.S.A. 58-2005 on this 22nd day of May, 2007

Tricia L. Riebel, Deputy County Surveyor

State of Kansas) as Sedgwick County)

BE IT REMEMBERED that on this 4 day of May, 2007, before me, the undersigned, a notary public in and for the County and State aforesaid came Bruce A. Pearson and Esther L. Pearson, husband and wife, personally known to me to be the same persons who executed this instrument and each person duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public: Timothy R. Suckin

Name: Timothy R. Suckin

My Appointment Expires: 4-11-2010

POE and ASSOCIATES, INC. CONSULTING ENGINEERS

1940 E. Central, Suite 200 in Wichita KS 67208 or 316/985-4114 or Fax 316/985-4444

Register of Deeds - Bill Meek

DOC # FLH-PG: 26810462

Booked: 1000000

Date Recorded: 8/22/2007 4:06:51 PM

Seal of Sedgwick County, Kansas

Seal of Sedgwick County, Kansas

Seal of Sedgwick County, Kansas

Seal of Sedgwick County, Kansas

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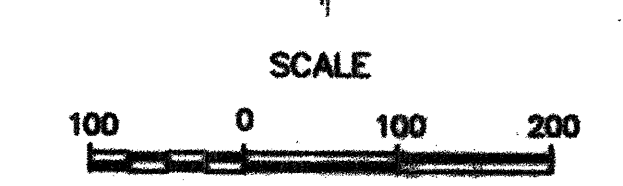
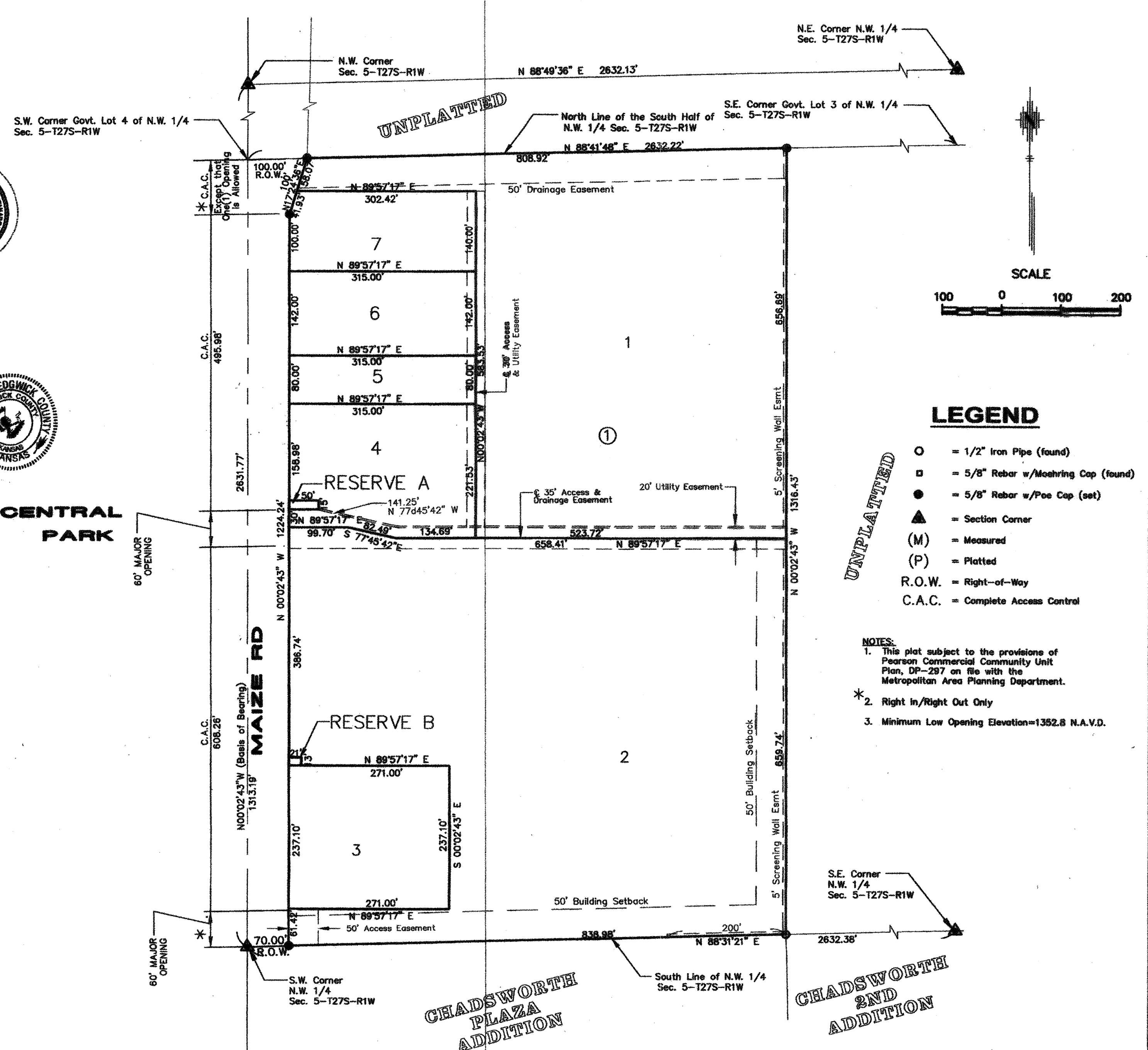
Seal of Sedgwick County, Kansas

Seal of Sedgwick County, Kansas

Seal of Sedgwick County, Kansas

Seal of Sedgwick County, Kansas

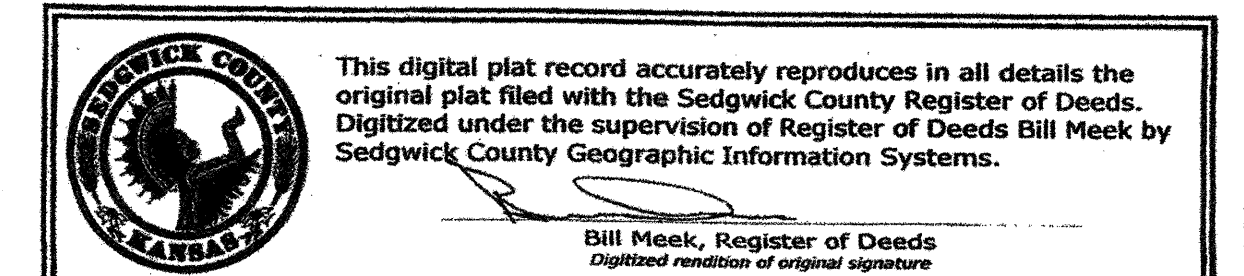
Seal of Sedgwick County, Kansas



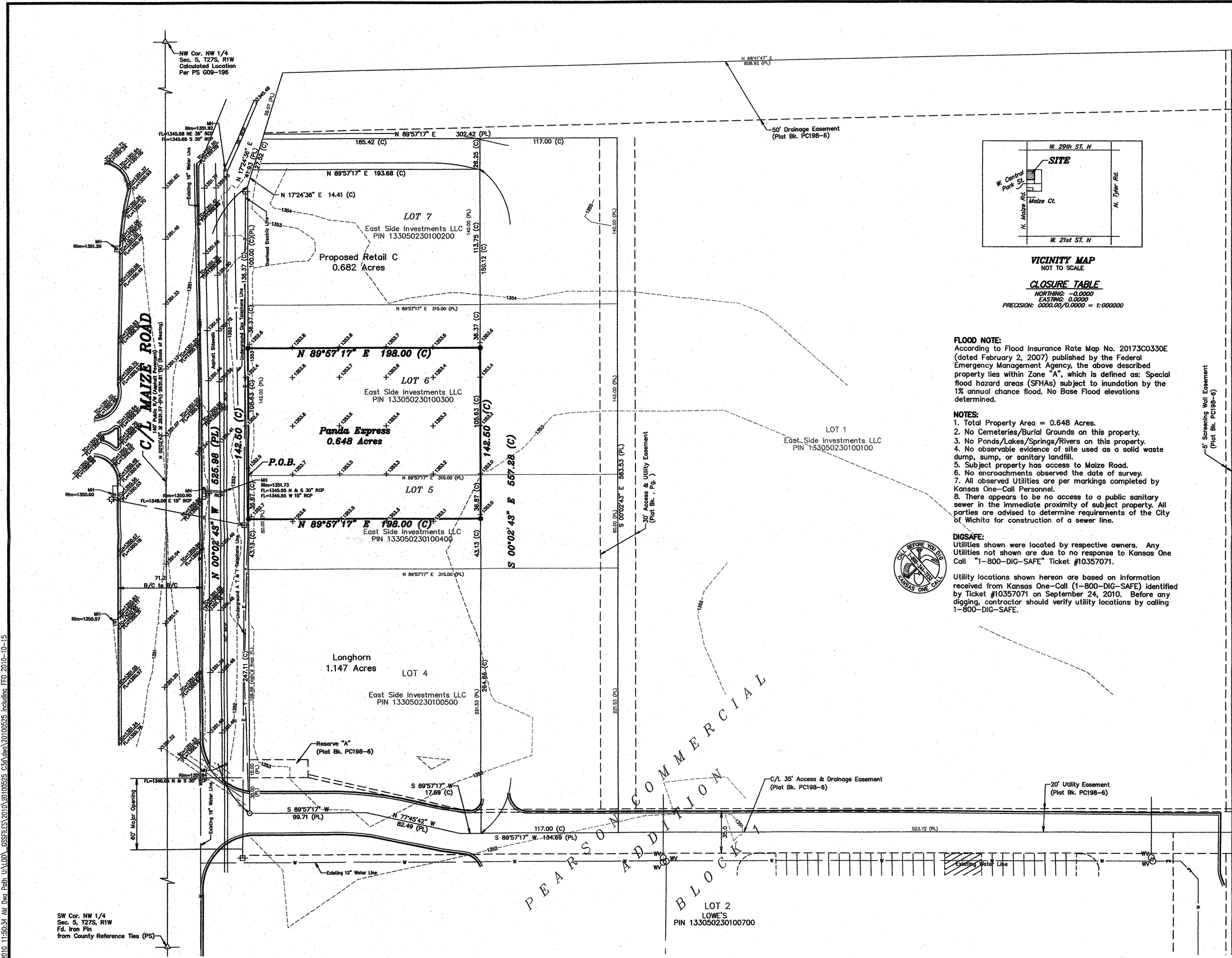
- LEGEND: 1/2" Iron Pipe (found), 5/8" Rebar w/Moehring Cap (found), 5/8" Rebar w/Poe Cap (set), Section Corner, Measured, Plotted, Right-of-Way, Complete Access Control.

- NOTES: 1. This plat subject to the provisions of Pearson Commercial Community Unit Plan, DP-237 on file with the Metropolitan Area Planning Department. 2. Right In/Right Out Only. 3. Minimum Low Opening Elevation=1352.8 N.A.V.D.

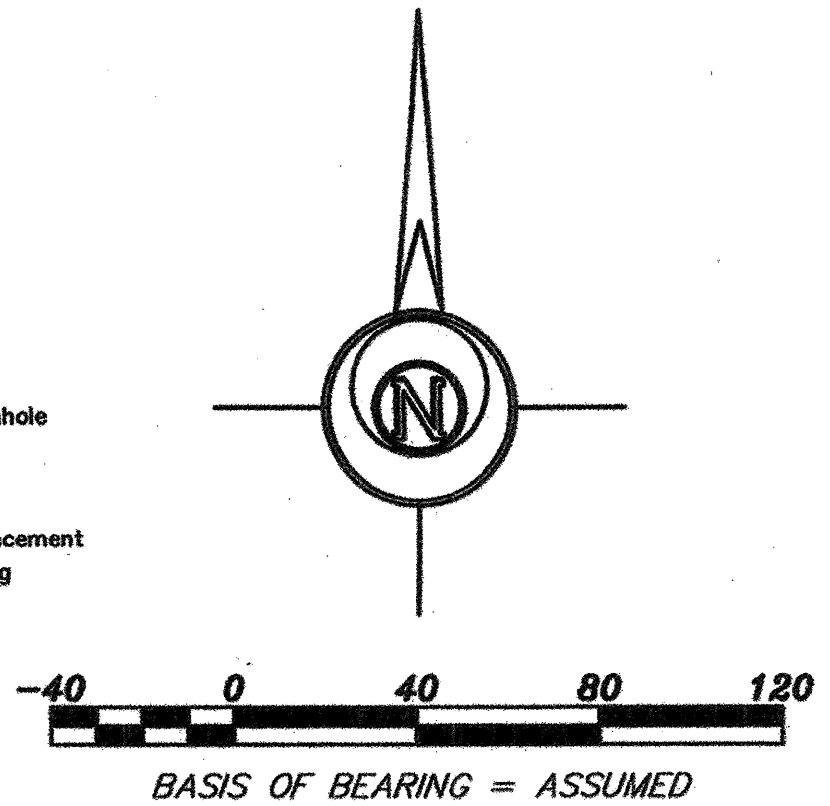
PEARSON COMMERCIAL ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS LOCATED IN THE NW 1/4, SECTION 5, T27S, R1W OF THE 6 P.M.



Saved: 11/12/2010 11:48:46 AM by: SPOONLAND  
 Plot Date & Time: Friday, November 12, 2010 11:50:34 AM Draw Path: H:\DATA\_GSS\FILES\2010\20100525\_CSA.dwg\20100525\_inclusion.FFD 2010-10-15



- LEGEND**
- - Light Pole
  - ⊕ - Power Pole
  - ⊙ - Storm Sewer Manhole
  - - Calculated
  - ⊙ - Measured
  - ⊙ - Plotted
  - (P.O.C.) - Point of Commencement
  - (P.O.B.) - Point of Beginning



**DESCRIPTION:**  
**TRACT 1:**  
 Portions of Lots 5 and 6, Block 1, Pearson Commercial Addition to Wichita, located in the Northwest Quarter of Section 5, Township 27 South, Range 1 West of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:  
 Beginning at the Southwest corner of said Lot 6, Block 1, Pearson Commercial Addition to Wichita; thence North 00°02'43" West along the West line of said Lot 6 a distance of 105.63 feet; thence departing said West line North 89°57'17" East parallel with the South line of said Lot 6 a distance of 198.00 feet; thence South 00°02'43" East 105.63 feet to the South line of said Lot 6; thence continuing South 00°02'43" East 36.87 feet; thence South 89°57'17" West parallel with the South line of said Lot 5 a distance of 198.00 feet to West line of said Lot 5; thence North 00°02'43" West along the West line of said Lot 5 a distance of 36.87 feet to the Point of Beginning containing **0.648 Acres** subject to any easements of record.

**TRACT 2:**  
 Non-exclusive, perpetual and reciprocal easements for ingress and egress, parking, and storm water drainage and utilities as established by Declaration of Covenants, Conditions, Restrictions and Reciprocal Easements recorded as Doc.#/FLM-PG 28881141, as amended, restated and replaced by Easements, Covenants, Conditions and Restriction recorded as Doc.#/FLM-PG 28970711.

**ZONING DATA:** LC-Limited Commercial District  
**ZONED REGULATIONS ARE SUBJECT TO INTERPRETATION AND SHOULD BE VERIFIED BEFORE ANY IMPROVEMENTS ARE MADE. FOR FURTHER ZONING INFORMATION CONTACT:**  
 NAME: CITY OF WICHITA  
 TITLE: PLANNING AND ZONING DEPARTMENT  
 PHONE: 316-268-4421 or wichitagov.org

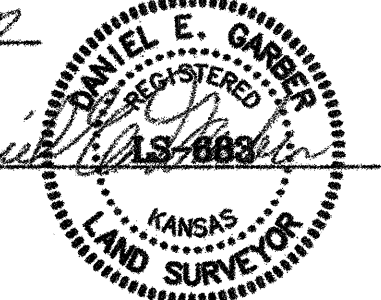
**BULK REGULATIONS:**  
 1. MAXIMUM BUILDING HEIGHT: 80 feet, plus 2 feet of additional height for each foot of setback beyond the min. required setbacks.  
 2. MINIMUM YARD REQUIREMENTS:  
 FRONT YARD SETBACK: 20'  
 REAR YARD SETBACK: 10'  
 INTERIOR SIDE YARD SETBACK: None  
 STREET SIDE YARD SETBACK: 10'

**NOTES CORRESPONDING TO SCHEDULE B - SECTION II TITLE WORK (Fidelity National Title Insurance Company, File No. 0640986, dated October 18, 2010):**  
 1. Items 1 thru 7, 9 thru 11, 13, and 15 thru 17 are not survey related items.  
 2. Item 8: Declaration of Covenants, Conditions, Restrictions and Reciprocal Easements by Bruce A. Pearson and Esther L. Pearson, dated March 18, 2007, filed May 10, 2007 and recorded as Doc. No./FLM-PG 28881141. Covers all of Pearson Commercial Addition.  
 3. Item 12: Easements, Building set-back line, Minimum elevations and Access controls, if any, established by the recorded plat of Pearson Commercial Addition, filed August 22, 2007, as Document No. 28910462, in Plat Drawer PC 198-S. Shown hereon.  
 4. Item 14: Storm Water Easement Agreement, by and between Bruce A. Pearson and Esther L. Pearson, and East Side Investments, L.L.C., dated April 25, 2008, filed April 25, 2008 and recorded as Doc.No./FLM-PG 28970709. Covers subject property with a general statement. See recorded document.

**SURVEYOR'S CERTIFICATION:**  
 To: Panda Restaurant Group, Inc., CFT Developments, LLC, Cherng Family Trust, Panda Express, Inc., East Side Investments, L.L.C., Fidelity National Title Insurance Company, Allegiance Title Company, and their affiliates, successors and assigns:

This is to certify that this map or plat of survey (this "Survey Map") of the premises specifically described in Fidelity National Title Insurance Company, File No.: 0640986, dated effective October 18, 2010, (1) is based on a field survey made on September 24, 2010 by me or directly under my supervision in accordance with the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes items 1, 2, 3, 4, 6, 8, 10, and 11 of Table A thereof; and (2) there are no discrepancies between the boundary lines of the subject property as shown on this Survey Map and as described in the legal description presented in the above-referenced Title Commitment, and the boundary lines of the Subject Property are contiguous with the boundary lines of all adjoining parcels, roads, highways, streets or alleys as described in their most recent respective legal descriptions of record.

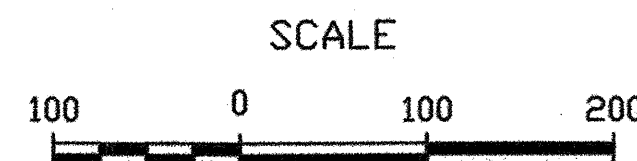
Date: November 11, 2010  
 Signed: Daniel E. Garber  
 Daniel E. Garber, RLS  
 Registration Number: 683



Prepared For: <b>PANDA EXPRESS</b>	Description: <b>A PORTION OF THE NW 1/4 SEC. 5, T27S, R1W WICHITA, SEDGWICK CO, KS</b>
Prepared By: <b>GSS</b>	<b>Garber Surveying Service, P.A.</b> 2908 North Plum St. Hutchinson, Kansas 67502 511 North Poplar Street Newton, Kansas 67114 Phone (620) 665-7032 • FAX (620) 663-7401 Phone (316) 283-5053 • FAX (316) 283-5073
Drawn By: SLR/DWA Scale: 1"=40'	Date of Field Work: September 24, 2010 Job No:
Checked By: DEG Date: 10/07/2010	Sheet 1 of 1 Sheet(s) G2010-525

Revised: November 11, 2010  
 Oct. 15, 2010 Revised per new Ozark drawing  
 Oct. 12, 2010 Revised per new Ozark drawing

# PEARSON COMMERCIAL ADDITION COMMUNITY UNIT PLAN (D.P.-297)



### GENERAL NOTES

- THIS DEVELOPMENT CONTAINS 25.3± NET ACRES.
- LEGAL DESCRIPTION: THE WEST 908.98 FEET OF THE FOLLOWING DESCRIBED TRACT: THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 27 SOUTH, RANGE 1 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SEDGWICK COUNTY, KANSAS, EXCEPT THAT PART TAKEN FOR ROAD PURPOSES DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 27 SOUTH, RANGE 1 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SEDGWICK COUNTY, KANSAS; THENCE EAST ALONG THE NORTH LINE OF SAID SOUTH HALF, A DISTANCE OF 100.02 FEET; THENCE SOUTHWESTERLY A DISTANCE OF 100 FEET TO A POINT 70 FEET EAST OF THE WEST LINE OF SAID SOUTH HALF; THENCE SOUTH PARALLEL WITH SAID WEST LINE, A DISTANCE OF 1,221.01 FEET TO THE SOUTH LINE OF SAID SOUTH HALF; THENCE WEST ALONG SAID SOUTH LINE, A DISTANCE OF 70.02 FEET TO THE SOUTHWEST CORNER OF SAID SOUTH HALF; THENCE NORTH ALONG THE WEST LINE OF SAID SOUTH HALF TO THE POINT OF BEGINNING.
- THE PROPOSED DEVELOPMENT CONTAINS 7 PARCELS WITH COMMERCIAL USES. SEE PARCEL DESCRIPTIONS FOR SPECIFIC USES ON EACH PARCEL. LC ZONING IS BEING REQUESTED FOR PARCELS 1 AND 3 THRU 7. PARCEL 2 IS A COMBINATION OF LC WITH GC OVER THE EAST 550 FEET OF PARCEL 2.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- A DRAINAGE PLAN AND GUARANTEES FOR THE DRAINAGE IMPROVEMENTS SHALL BE PROVIDED AT THE TIME OF PLATTING.
- FINAL DETERMINATION OF ANY PUBLIC IMPROVEMENTS SHALL BE DETERMINED AT THE TIME OF PLATTING.
- PARKING SHALL BE PROVIDED AS FOLLOWS:  
A REDUCTION UP TO A MAXIMUM OF 25% IN PARKING CODE REQUIREMENTS SHALL BE ALLOWED FOR ANY PARCEL AT THE TIME OF SITE PLAN REVIEW. WHEN DETERMINING PARKING REQUIREMENTS FOR UNLIMITED BUILDINGS, THE SUPERINTENDENT OF CENTRAL INSPECTION SHALL BE ALLOWED THE FLEXIBILITY OF CALCULATING PARKING BASED UPON THE USE OR USES WITHIN THE RESPECTIVE BUILDING. CHANGES IN USE FOR ANY PARCEL MAY REQUIRE A DETERMINATION BY THE SUPERINTENDENT OF CENTRAL INSPECTION IF SUFFICIENT PARKING IS AVAILABLE TO SUPPORT THE USE.
- THE TRANSFER OF THE TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE DEVELOPMENT DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR DEVELOPMENT AND BE BINDING UPON THE PRESENT LAND OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.
- ALL LIGHTING SHALL BE SHIELDED TO REFLECT LIGHT DOWNWARD AND AWAY FROM RESIDENTIAL AREAS. PARKING LOT LIGHT POLES SHALL BE LIMITED TO 40 FEET IN HEIGHT EXCEPT THAT LIGHT POLES WITHIN 200 FEET OF RESIDENTIAL ZONING SHALL BE LIMITED TO 20 FEET IN HEIGHT. CONSISTENT DESIGN FOR LIGHT FIXTURES SHALL BE USED THROUGHOUT THE DEVELOPMENT. SITE LIGHTING SHALL COMPLY WITH UCC SEC. IV-8.4.
- FIRE LANES SHALL BE IN ACCORDANCE WITH THE CITY FIRE CODE. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANES, ALTHOUGH THEY MAY BE USED FOR PASSENGER LOADING AND UNLOADING DURING THE SITE PLAN REVIEW. THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE SHALL APPROVE THE SITE PLAN REGARDING THE DESIGN OF THE FIRE LANES.
- TRASH RECEPTACLES SHALL BE APPROPRIATELY SCREENED TO HIDE THEM FROM GROUND VIEW ON ALL COMMERCIAL PARCELS AND SHALL BE OF SAME MATERIAL AND COLOR AS BUILDINGS.
- LOADING DOCKS AND SERVICE AREAS SHALL BE SCREENED FROM MAIZE ROAD AND FROM THE RESIDENTIAL AREA TO THE SOUTHEAST OF THE DEVELOPMENT AND OR PER UCC WHICHEVER IS MORE RESTRICTIVE.
- ROOF EQUIPMENT SCREENING SHALL BE SCREENED PER UNIFIED ZONING CODE. ROOF TOP UNITS SHALL BE PAINTED SAME COLOR AS ROOF.
- SIGNS - NO OFFSITE SIGNS, BILLBOARDS OR PORTABLE SIGNS PERMITTED ON THE CUP, AND NO SIGNS WITH ROTATING OR FLASHING LIGHTS SHALL BE PERMITTED.
- PARCELS SHALL BE ALLOWED THE FOLLOWING SIGNAGE AMOUNTS:  
PARCEL 1: 300 S.F. \*\*      PARCEL 4: 120 S.F. ^  
PARCEL 2: 200 S.F. \*\*      PARCEL 5: 80 S.F. ^  
PARCEL 3: 100 S.F. \*\*      PARCEL 6: 100 S.F. ^
- RESERVE A SHALL HAVE A 300 S.F. DUAL PYLON SIGN; LIMITED TO 30 FEET AND 75 S.F. MAX.-PER INDIVIDUAL TENANT. REMAINING SIGNAGE WILL BE ALLOCATED PER THE SIGN CODE. EVIDENCE OF A SHARED SIGNAGE AGREEMENT RECORDED WITH THE REGISTER OF DEEDS SHALL BE REQUIRED AT THE TIME OF SIGN PERMIT.
- PARCELS 2 AND 3 SHALL SHARE THE SAME DUAL PYLON SIGN LIMITED TO 30 FEET IN HEIGHT THAT IS TO BE LOCATED IN RESERVE B. EVIDENCE OF A SHARED SIGNAGE AGREEMENT RECORDED WITH THE REGISTER OF DEEDS SHALL BE REQUIRED AT THE TIME OF SIGN PERMIT.
- PARCELS 4, 5 AND 6 SHALL EACH HAVE A PYLON SIGN LIMITED TO 20 FEET IN HEIGHT. THE SIGNS SHALL BE SITED SUCH THAT THEY ARE 150 FEET APART.
- PYLON SIGNS LOCATED IN THE RESERVES MAY ALSO ACT AS SHOPPING CENTER IDENTIFICATION SIGNS. UP TO THREE FEATURES OR AREAS MAY BE ALLOWED WHEN CALCULATING ALLOWABLE SIGNAGE.
- THE SIGNS IN RESERVE A AND B SHALL SHARE THE SAME DESIGN. ALL OTHER SIGNS SHALL BE CONSISTENT WITH THE ARCHITECTURAL DESIGN OF THE RESERVE SIGNS WITH BRICK-WRAPPED DUAL PYLON SIGNS AND BASE.
- BUILDING SIGNAGE SHALL BE PER THE SIGN CODE. BUILDING SIGNS ARE LIMITED TO THE WEST ELEVATIONS FOR PARCELS 1 AND 2. IF PARCELS 1 AND 2 ARE DEVELOPED WITH A SINGLE USER, THEN UP TO THREE BUILDING SIGNS ARE ALLOWED. WHEN LETTERING AND LOGOS ARE INTEGRATED FOR "BRANDING" AS PART OF A RECOGNIZED NATIONAL OR REGIONAL ADVERTISING OR MARKETING CAMPAIGN, THEN THE ENTIRE LOGO IS TO BE CONSIDERED AS PART OF THE SIGN CALCULATION AND THE MAXIMUM SIZE OF AN INDIVIDUAL SIGN ALLOWED IS 1550 SQUARE FEET PROVIDED THAT THE SUM OF ALL SIGNS DOES NOT EXCEED 20% OF AREA OF THE BUILDING ELEVATION. NO "LETTERING" ONLY SIGN SHALL EXCEED 400 SQUARE FEET IN SIZE.

- OUTDOOR DISPLAY AREAS FOR ALL PARCELS SHALL BE PER THE LC ZONING DISTRICT REGULATIONS EXCEPT THAT ON PARCEL 2, ITEMS MAY BE DISPLAYED IMMEDIATELY ADJACENT TO AND WITHIN FIFTEEN FEET OF THE BUILDING OR WITHIN SIDEWALK AREAS. PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES WITH A MINIMUM WIDTH OF 5 FEET OR WITHIN AREAS ON PARCEL 2 ZONED "GC" AND DESIGNATED ON THE SITE PLAN FOR OUTDOOR DISPLAY, SUBJECT TO REVIEW AND APPROVAL BY THE ZONING ADMINISTRATOR. THESE AREAS SHALL NOT OCCUPY REQUIRED PARKING SPACES OR IMPEDE TRAFFIC, VEHICULAR AND EMERGENCY CIRCULATION.
- OUTDOOR STORAGE FOR PARCEL 2 SHALL BE LIMITED TO 20% OF THE GROSS FLOOR AREA. OUTDOOR STORAGE ON PARCELS 1 AND 3 THRU 7 SHALL BE PER THE LC ZONING DISTRICT REGULATIONS. WHEN OUTDOOR STORAGE IS WITHIN 200 FEET OF RESIDENTIAL USES, AN 8-FOOT SCREENING WALL SHALL BE REQUIRED. OUTDOOR STORAGE AREAS SHALL BE IDENTIFIED OR DESIGNATED AT THE TIME OF SITE PLAN REVIEW. HOWEVER, STORAGE AREAS MAY BE RELOCATED IF APPROVED ADMINISTRATIVELY. OPEN ROOF AREAS THAT ARE ENCLOSED AND CONTIGUOUS TO THE BUILDING, SUCH AS GARDEN AREAS, SHALL NOT BE CONSIDERED OUTDOOR STORAGE. NO OUTDOOR STORAGE SHALL BE ALLOWED ABOVE THE HEIGHT OF THE SCREENING WALL ALONG THE SOUTHERN 250 FEET OF THE EAST PROPERTY LINE OR THE SOUTH PROPERTY LINE. IN OTHER AREAS, OUTDOOR STORAGE SHALL BE SCREENED BY SCREENING MATERIALS SUCH AS HEAVY BLACK MESH FABRIC ATTACHED TO VINYL COVERED CHAIN LINK MATERIAL FOR ANY STORAGE ABOVE A REQUIRED 8-FOOT MASONRY WALL.
- IF MULTIPLE OWNERSHIP IS ANTICIPATED, AN AGREEMENT PROVIDING FOR THE MAINTENANCE OF RESERVES, OPEN SPACE, INTERNAL DRIVES, PARKING AREAS, DRAINAGE IMPROVEMENTS, ETC. SHALL BE REQUIRED. EVIDENCE OF THE AGREEMENT SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- LANDSCAPE BUFFERS AND SCREENING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ORDINANCE OF THE CITY OF WICHITA. A LANDSCAPE PLAN PREPARED BY A LICENSED KANSAS LANDSCAPE ARCHITECT INDICATING THE LOCATION, TYPE, AND SPECIFICATION OF PLANT MATERIALS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT(S). THE LANDSCAPE PLAN SHALL ALSO STATE HOW WATER IS TO BE PROVIDED TO THE PLANT MATERIALS. A CONSISTENT PALETTE SHALL BE USED THROUGHOUT THE DEVELOPMENT. A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED FOR THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN INSTALLED. THE LANDSCAPE BUFFER(S) CAN BE ACHIEVED BY EASEMENT, PARKING LOT LANDSCAPING AND SCREENING SHALL BE REQUIRED FOR ALL PARCELS AND A DOUBLE ROW OF STAGGERED EVERGREEN TREES PLANTED AT A SPACING TO PROVIDE SOLID SCREENING SHALL BE PLANTED ALONG THE EAST PROPERTY LINE AND EASTERN 200 FEET OF THE SOUTH PROPERTY LINE.
- A MASONRY SCREENING WALL, 6-8 FEET IN HEIGHT (MEASURED ON THE SIDE OF LEAST VERTICAL EXPOSURE ABOVE FINISHED GRADE OF THE MAIN BUILDINGS TO THE TOP OF THE WALL), SHALL BE CONSTRUCTED ALONG THE EAST LINE OF PARCELS 1 AND 2 AND ALONG THE SOUTH LINE OF PARCEL 2 WHERE SHOWN, EXCEPT THAT ON PARCEL 2 THE WALL SHALL BE 8 FEET TALL EXCEPT WHERE IT CONFLICTS WITH THE INGRESS/EGRESS EASEMENT.
- CROSS LOT CIRCULATION AGREEMENTS SHALL BE REQUIRED ON ALL PARCELS TO ASSURE INTERNAL VEHICULAR MOVEMENT BETWEEN PARCELS. EVIDENCE OF THE AGREEMENT SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. A SITE CIRCULATION PLAN SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT TO DEMONSTRATE SUFFICIENT CIRCULATION SO AS TO AVOID CONFLICTS BETWEEN TRAFFIC FLOW AND PARKING. AN OVERALL SITE CIRCULATION PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PLANNING DIRECTOR AND TRAFFIC ENGINEER PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT, DEMONSTRATING SMOOTH INTERNAL VEHICULAR MOVEMENTS WITHIN THE CUP. AN INTERNAL DRIVE SHALL BE PROVIDED ALONG THE COMMON BOUNDARY OF PARCEL 1 WITH PARCELS 4-7.
- A PEDESTRIAN CIRCULATION SYSTEM, TO BE APPROVED BY THE PLANNING DIRECTOR AT THE TIME OF SITE PLAN REVIEW, SHALL BE PREPARED WHICH PROVIDES PEDESTRIAN CONNECTIONS FROM THE BUILDINGS WITHIN THE CUP TO THE SIDEWALKS ON MAIZE ROAD, AND PROVIDES CONNECTIONS BETWEEN THE BUILDINGS.
- ANY MAJOR CHANGES IN THIS COMMUNITY UNIT PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION AND TO THE GOVERNING BODY FOR THEIR CONSIDERATION.
- ACCESS TO MAIZE SHALL BE LIMITED TO 3 OPENINGS AS SHOWN ON THE RECORDED PLAT.
- ALL BUILDINGS IN THE CUP SHALL USE PREDOMINATELY EARTH TONE COLORS. VIVID COLORS ARE LIMITED TO INCIDENTAL ACCENTS. USE OF METAL BUILDING MATERIALS SHALL NOT BE THE PREDOMINATE EXTERIOR BUILDING MATERIAL. BUILDING ELEVATIONS SHALL BE SUBMITTED TO THE DIRECTOR OF PLANNING FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
- CUP Adjustment 12/17/2010 to revise parcel configurations of parcels 4-7 from 4 parcels to 3 parcels. Revised sign sizes and locations based on adjusted parcel configurations.
- ANY MAJOR CHANGES IN THIS DEVELOPMENT PLAN SHALL BE SUBMITTED TO THE PLANNING COMMISSION AND TO THE GOVERNING BODY FOR THEIR CONSIDERATION.
- THE TRANSFER OF TITLE OF ALL OR ANY PORTION OF THE LAND INCLUDED WITHIN THE COMMUNITY UNIT PLAN DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR DEVELOPMENT AND BE BINDING UPON THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS, UNLESS AMENDED.

### PARCEL DESCRIPTIONS

- PARCEL 1**  
USES - ALL USES PERMITTED IN "LC" ZONING DISTRICT EXCEPT THAT THE FOLLOWING USES WILL NOT BE ALLOWED: NIGHT CLUB IN THE CITY; TAVERN AND DRINKING ESTABLISHMENT; WAREHOUSE, SELF-SERVICE; ADULT ENTERTAINMENT; CORRECTIONAL PLACEMENT RESIDENCES, LIMITED AND GENERAL; MICROBREWERY; ANIMAL CARE, GENERAL; BROADCAST/RECORDING STUDIO; KENNEL, HOBBY, BOARDING, BREEDING AND TRAINING; MARINE FACILITY; PAWN SHOP; RECREATIONAL VEHICLE CAMPGROUND; RIDING ACADEMY OR STABLE; SEXUALLY ORIENTED BUSINESS. TATTOO/BODY PIERCING FACILITY; VEHICLE REPAIR, GENERAL; VEHICLE STORAGE YARD; VOCATIONAL SCHOOL; MANUFACTURING, GENERAL; CAR WASH; VEHICLE SALES; AND MANUFACTURING, LIMITED  
GROSS AREA - 431,321 s.f.  
MAX. BUILDING COVERAGE 129,396 s.f. (30%)  
MAX. GROSS FLOOR AREA 172,528 s.f. (40%)  
MAX. BUILDING HEIGHT - 45'  
MAX. NUMBER OF BUILDINGS - 6
- PARCEL 2**  
USES - ALL USES PERMITTED BY RIGHT IN "GC" ZONING DISTRICT FOR THE EAST 550 FEET OF THE PROPERTY AND ALL USES PERMITTED IN "LC" ZONING DISTRICT FOR THE REMAINDER OF THE PARCEL. THE FOLLOWING USES WILL NOT BE ALLOWED IN EITHER ZONING DISTRICT:  
SAME "LC" USES PROHIBITED IN PARCEL 1  
GROSS AREA - 500,056 s.f.  
MAX. BUILDING COVERAGE 150,017 s.f. (30%)  
MAX. GROSS FLOOR AREA 200,022 s.f. (40%)  
MAX. BUILDING HEIGHT - 45'  
MAX. NUMBER OF BUILDINGS - 6
- PARCEL 3**  
USES - SAME AS PARCEL 1  
GROSS AREA - 64,254 s.f.  
MAX. BUILDING COVERAGE 19,276 s.f. (30%)  
MAX. GROSS FLOOR AREA 19,276 s.f. (30%)  
MAX. BUILDING HEIGHT - 35'  
MAX. NUMBER OF BUILDINGS - 2
- PARCEL 4**  
USES - SAME AS PARCEL 1  
GROSS AREA - 49,945 s.f.  
MAX. BUILDING COVERAGE 14,983 s.f. (30%)  
MAX. GROSS FLOOR AREA 14,983 s.f. (30%)  
MAX. BUILDING HEIGHT - 35'  
MAX. NUMBER OF BUILDINGS - 1
- PARCEL 5**  
USES - SAME AS PARCEL 1  
GROSS AREA - 28,215 s.f.  
MAX. BUILDING COVERAGE 8,464 s.f. (30%)  
MAX. GROSS FLOOR AREA 8,464 s.f. (30%)  
MAX. BUILDING HEIGHT - 35'  
MAX. NUMBER OF BUILDINGS - 1
- PARCEL 6**  
USES - SAME AS PARCEL 1  
GROSS AREA - 29,447 s.f.  
MAX. BUILDING COVERAGE 8,834 s.f. (30%)  
MAX. GROSS FLOOR AREA 8,834 s.f. (30%)  
MAX. BUILDING HEIGHT - 35'  
MAX. NUMBER OF BUILDINGS - 1

