

PRIVATE SANITARY SEWER PLANS

TO SERVE

PART OF LOT 3, BLOCK 1

WILSON ESTATES MEDICAL PARK 2ND

AN ADDITION TO THE CITY OF WICHITA, SEDGWICK COUNTY, KANSAS

PROJECT NO. 2121PPS

THE CITY OF WICHITA, KANSAS  
JAMES L. ARMOUR, P.E. - CITY ENGINEER

OCA NO. 607861

AS BUILT PLANS

Contractor: Mies  
Inspector: Don Eddingfield, Baughman Co.  
pdf's by: KEK, 5/1/12

Release Date: 5/7/2012  
: APRosas 5/8/2012

GENERAL NOTES

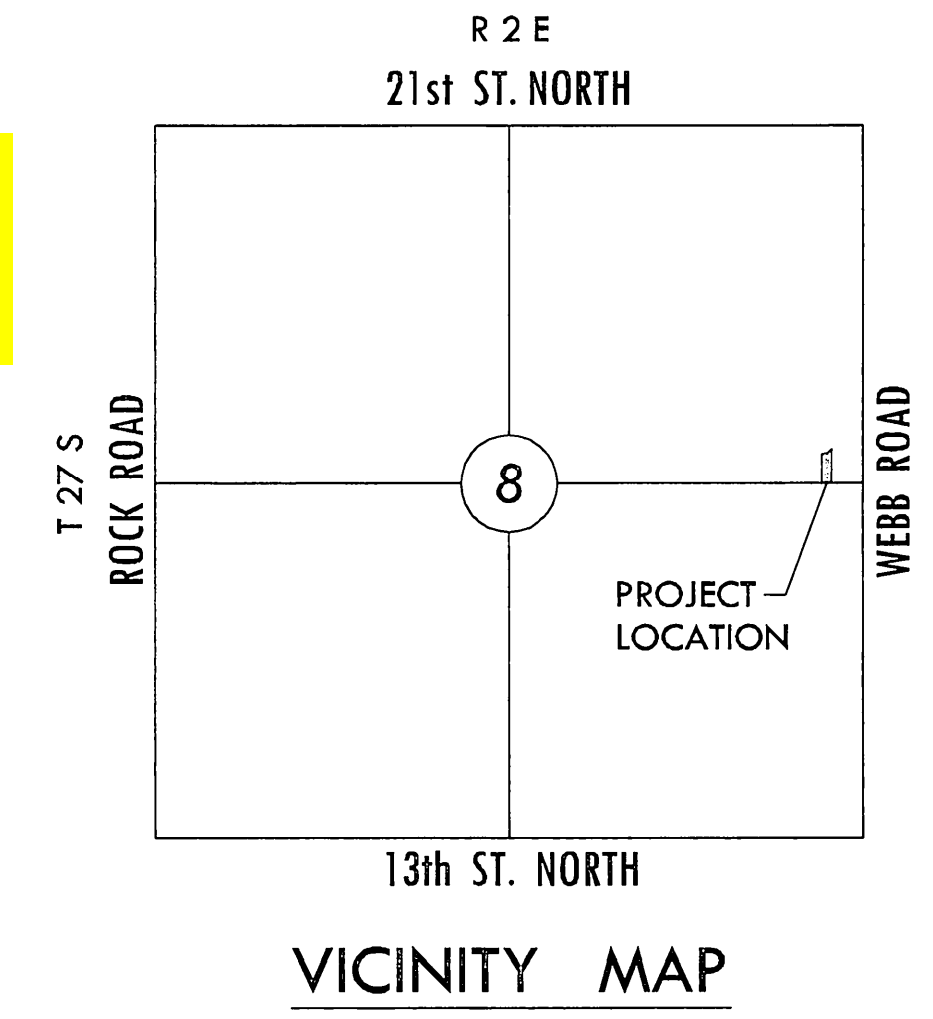
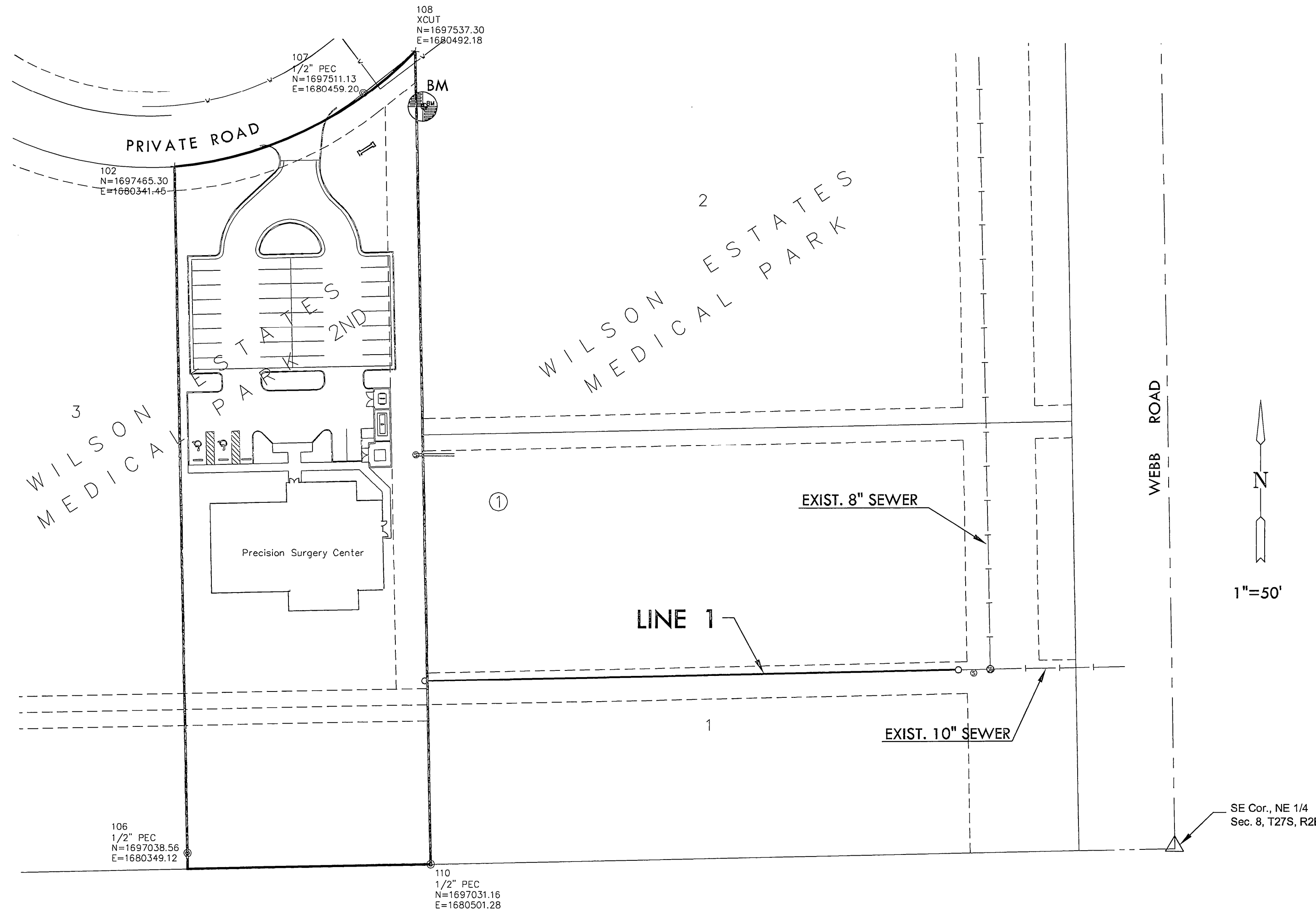
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FORTY-EIGHT (48) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:  
KANSAS ONE-CALL 1-800-344-7233  
or 687-2470 (LOCAL WICHITA)

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF EMERGENCY:

SOUTHWESTERN BELL TELEPHONE COMPANY 1-800-286-8313  
COX CABLEVISION 262-0661  
KG&E (ELECTRIC) 383-8600  
KANSAS GAS SERVICE 383-8600  
CITY OF WICHITA WATER & SEWER MAINTENANCE 262-6000

- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- COST OF EXCAVATION, HAULING, AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO THE PROJECT.
- A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDED AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUNDS SHALL BE CONSTRUCTED WITH A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.
- ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
- CONNECTING TO EXISTING MANHOLES:  
PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLAN. WHERE CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST OF CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.
- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- ALL DISTURBED AREAS TO BE SEEDED WITH RYE GRASS AT A RATE OF 200 LBS. PER ACRE WITHIN 10 DAYS OF CONSTRUCTION. CONTRACTOR TO PREPARE GROUND PER CITY SPECIFICATIONS. COST IS SUBSIDIARY TO SITE PREPARATION AND RESTORATION.

- DEVELOPER FOR THIS PROJECT IS  
WILLIAM GUECK  
PRECISION ASC REAL ESTATE, LLC  
54 ROAN LANE  
ST. LOUIS, MO, 63124



INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS
3	LINE 1
4	PLAT

LEGAL DESCRIPTION

THE EAST 152' OF LOT 3, BLOCK 1, WILSON ESTATES MEDICAL PARK 2ND, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

BENCHMARK

CHISELED SQUARE ON TOP OF CURB 34.90' SSE OF THE NORTHEAST CORNER OF LOT 3, BLOCK 1, WILSON ESTATES MEDICAL PARK 2ND ADDITION, NW CORNER OF GREENE VISION PARKING LOT. ELEV.=1385.15 N.A.V.D. 88

CONTROL POINTS

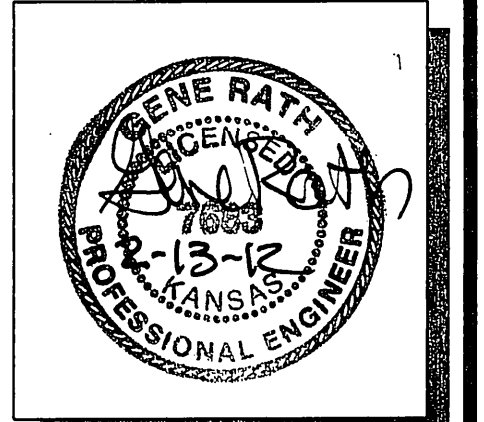
102	CUT
106	1/2" BAR W/ PEC CAP
107	1/2" BAR W/ PEC CAP
108	CUT
110	1/2" BAR W/ PEC CAP

SANITARY SEWER  
(Engineering) *Julian Kallman* 2-14-12

NOTE TO CONTRACTORS

Inspection and supervision of testing is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita Standard Construction Engineering Practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection, nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

**MKEC**  
ENGINEERING  
CONSULTANTS, INC.  
411 N. WEBB ROAD  
WICHITA, K.S. 67206  
316-684-9600



PRIVATE SANITARY SEWER PLANS  
WILSON ESTATES MEDICAL PARK 2ND  
PRECISION SURGERY CENTER, LLC

TITLE SHEET  
SHEET TITLE  
2121PPS  
PROJECT NUMBER

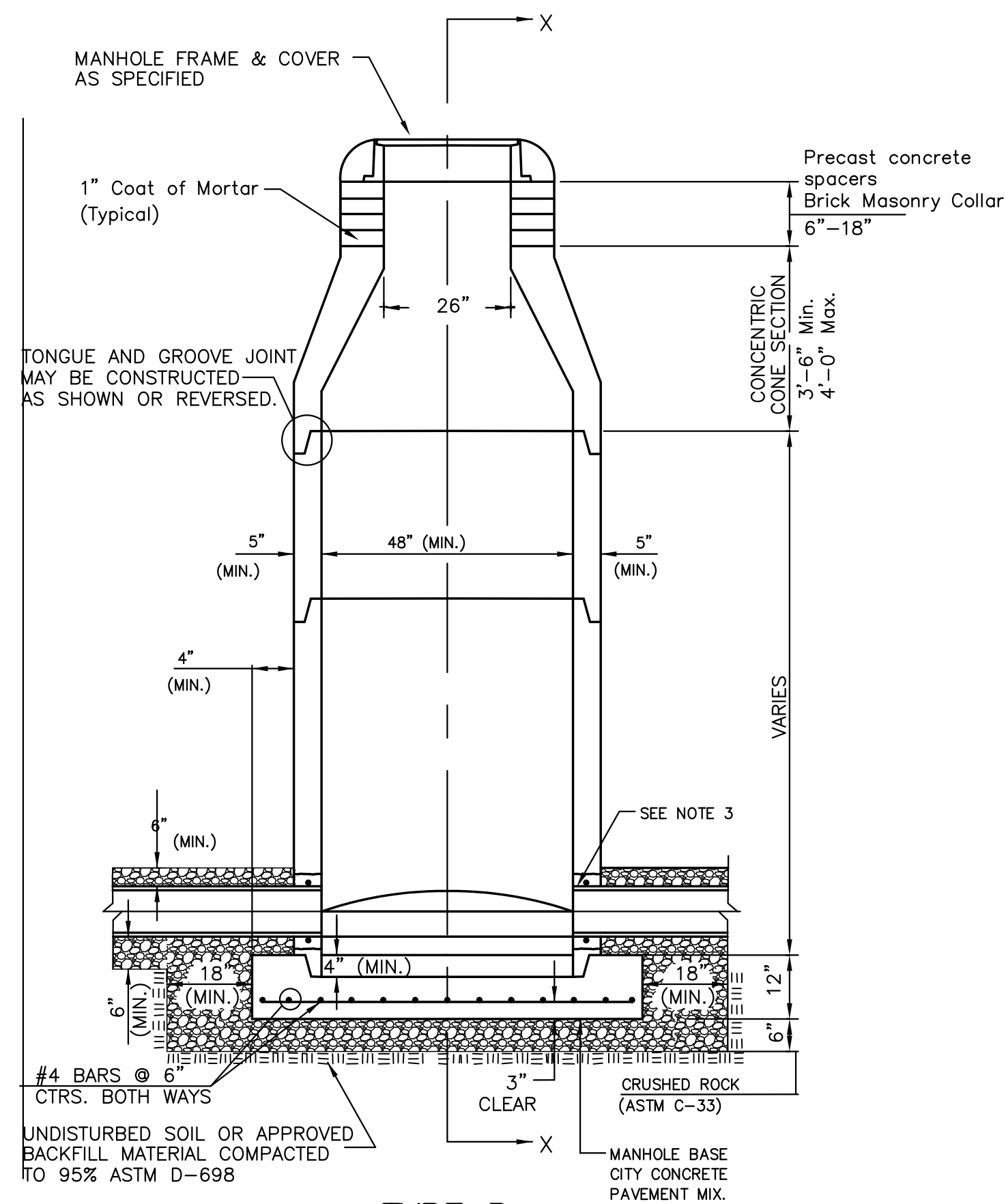
SPE | KKL | GJA  
DESIGNED | DRAWN | CHECKED

ISSUED  
February 2012  
REVISED

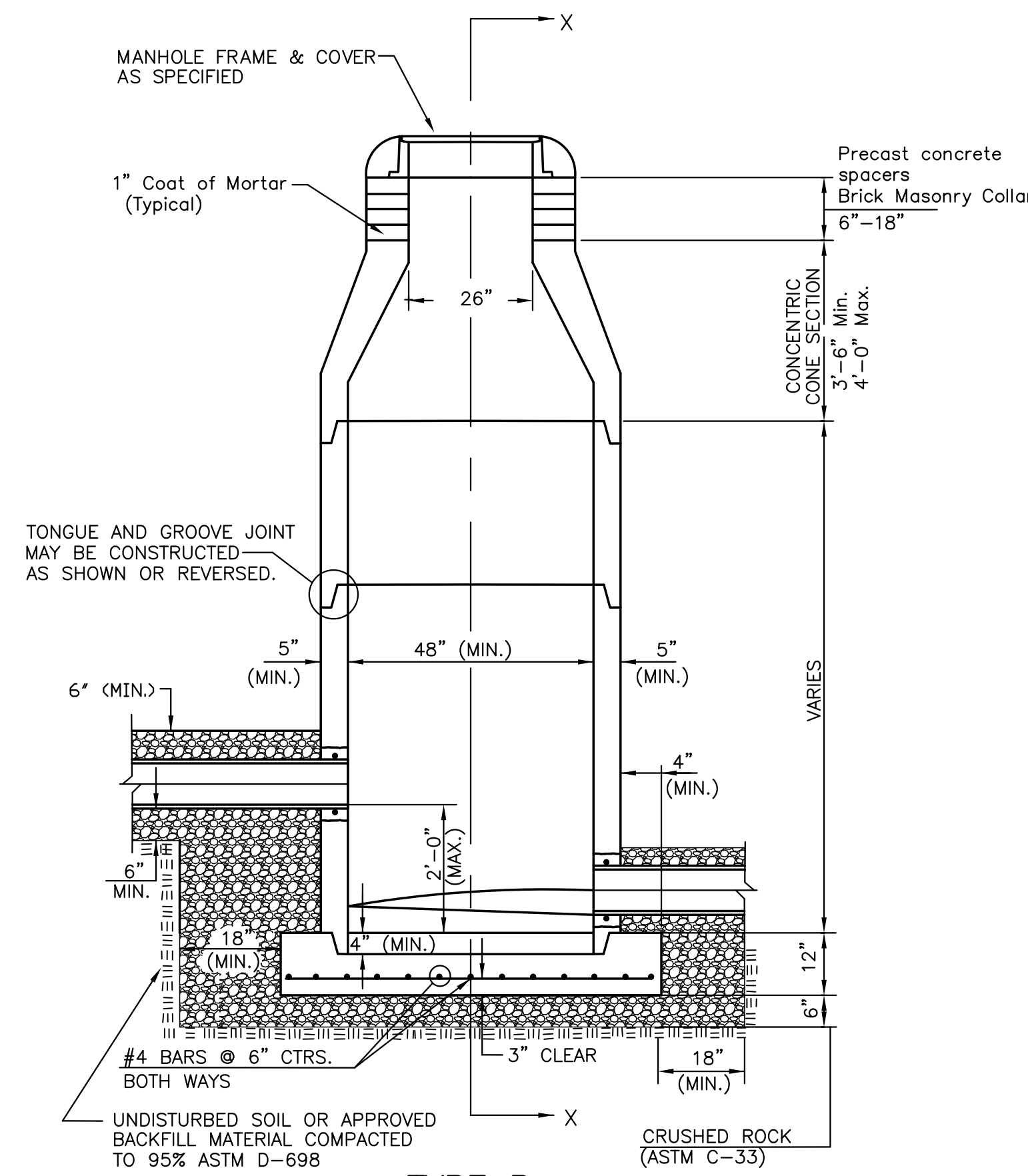
SHEET NO.  
1 of 4

# SEWER APPURTENANCES DETAILS

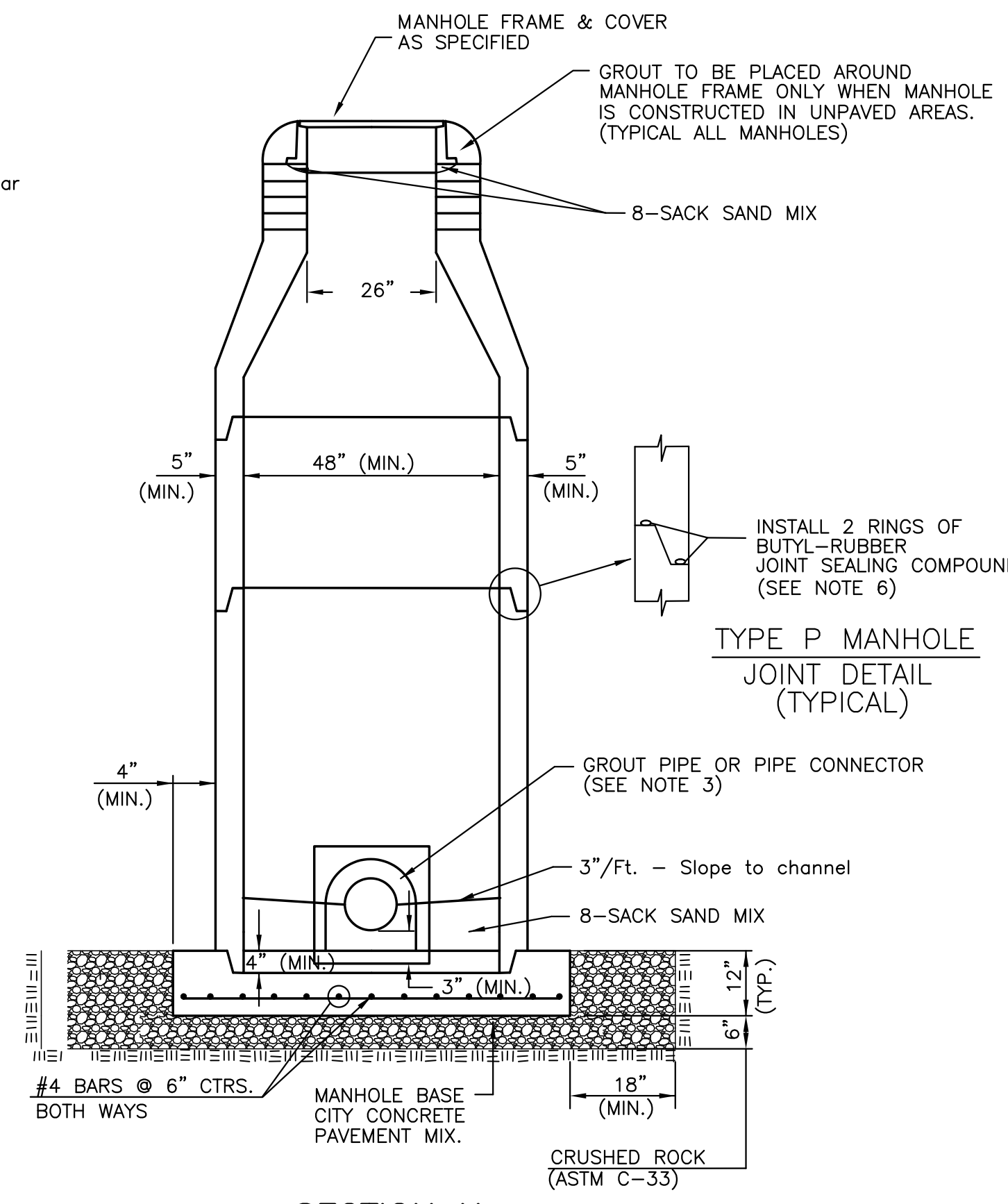
## ADOPTED AS STANDARD DESIGN BY CITY OF WICHITA, KS AUGUST 2007



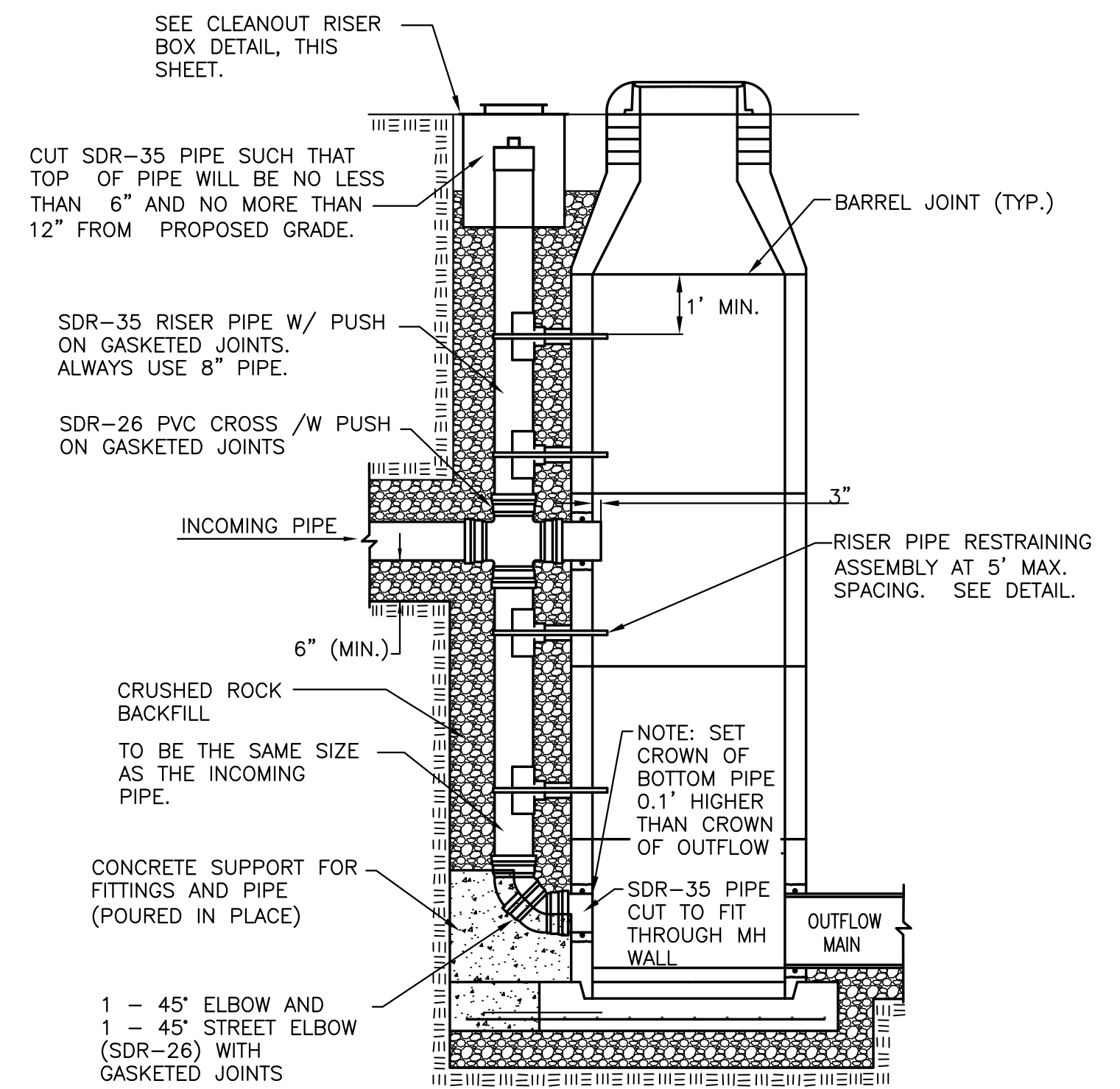
**TYPE P  
STANDARD MANHOLE**  
Not to Scale



**TYPE P  
INSIDE DROP MANHOLE**  
Not to Scale



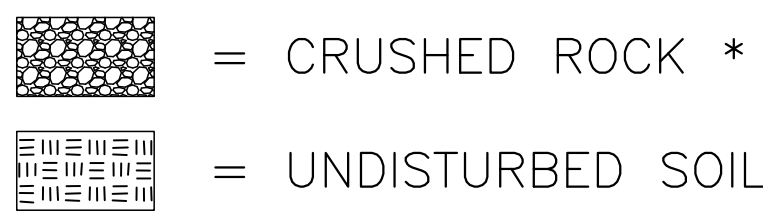
**SECTION X  
(TYPICAL)**  
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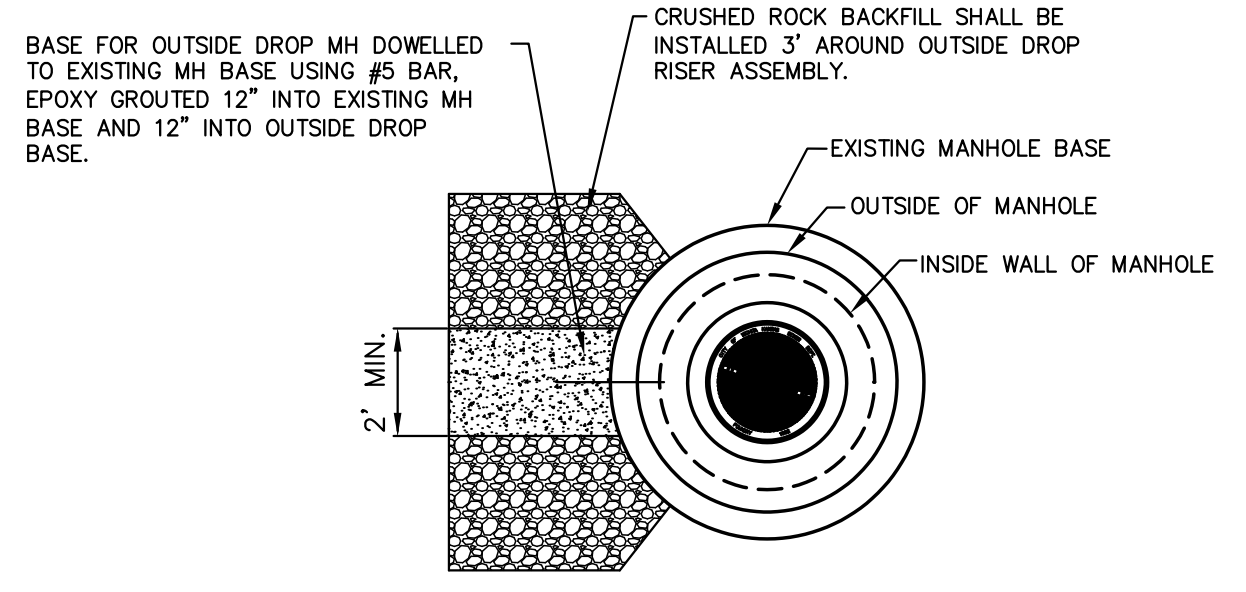
**TYPE P  
OUTSIDE DROP MANHOLE**  
Not to Scale

- PRECAST MANHOLE GENERAL NOTES
- ALL PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO THE LATEST REVISIONS OF A.S.T.M. C478 AS MODIFIED BY THE SPECIFICATIONS.
  - NON-SHRINK GROUT SHALL BE NON-METALLIC TYPE.
  - APPROVED FLEXIBLE WATERSTOP GASKETS SHALL BE INSTALLED TO JOIN THE SEWER TO THE MANHOLE WALL WHEN P.V.C. PIPE IS USED. FOR OTHER TYPES OF PIPE THE SEWER SHALL BE GROUTED IN PLACE WITH NON-SHRINK GROUT. THE SEWER PIPE SHALL BE SUPPORTED WITH CRUSHED ROCK A MINIMUM OF 3 FEET FROM THE MANHOLE WALL AND TO THE FIRST JOINT FOR V.C.P. SUCH THAT THE JOINT REMAINS FLEXIBLE.
  - ALL INSIDE SURFACES OF THE CONCRETE MANHOLE WHICH WOULD BE EXPOSED TO SEWER GAS SHALL BE COATED PER SECTION 804.4 OF STANDARD SPECIFICATIONS.
  - EXTERIOR MANHOLE WALLS SHALL BE COATED PER SECTION 804.4 OF STANDARD SPECIFICATIONS.
  - JOINT SEALING COMPOUND SHALL BE PER 804.4 OF STANDARD SPECIFICATIONS.
  - PRECAST MANHOLES SHALL BE SET AT LEAST 4 INCHES INTO THE MANHOLE BASE.
  - TOP OF MANHOLE FLOOR SLAB SHALL BE AT LEAST 3 INCHES BELOW THE FLOW LINE OF THE OUTLET PIPE TO INSURE SUFFICIENT MINIMUM THICKNESS OF SHAPED INVERT.
  - LIFTING HOLES SHALL BE FILLED WITH NON-SHRINK GROUT AND THE INTERIOR SURFACE COATED AS SPECIFIED.
  - MORTAR USED IN MASONRY CONSTRUCTION SHALL CONTAIN 8 SACKS OF CEMENT PER CUBIC YARD. CONCRETE USED IN MANHOLE BASES SHALL CONFORM TO THE REQUIREMENTS OF CONCRETE FOR CONCRETE PAVEMENT CONSTRUCTION AS SPECIFIED IN THE CITY STANDARD PAVING SPECIFICATIONS USING CITY CONCRETE PAVEMENT MIX WITHOUT AIR ENTRAINING ADMIXTURE. MORTAR SHALL BE PLACED AROUND THE MANHOLE RING AS SHOWN ON THE DRAWINGS WHEN MANHOLES ARE CONSTRUCTED IN UNPAVED AREAS. COMPLETED MANHOLE SHALL BE WITHOUT LEAKS AND WATER TIGHT.
  - REINFORCING STEEL SHALL BE INSTALLED IN THE MANHOLE BASES AND SHALL CONSIST OF NO. 4 BARS PLACED ON 6" CENTERS IN BOTH DIRECTIONS. THE MANHOLE BASE REINFORCEMENT SHALL BE PLACED AT LEAST 3" ABOVE THE BOTTOM OF THE MANHOLE BASE. ALL COSTS FOR FURNISHING AND INSTALLING REINFORCING STEEL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE MANHOLE.
  - WALL THICKNESS SHALL BE 1" GREATER THAN MANHOLE DIAMETER IN FEET.

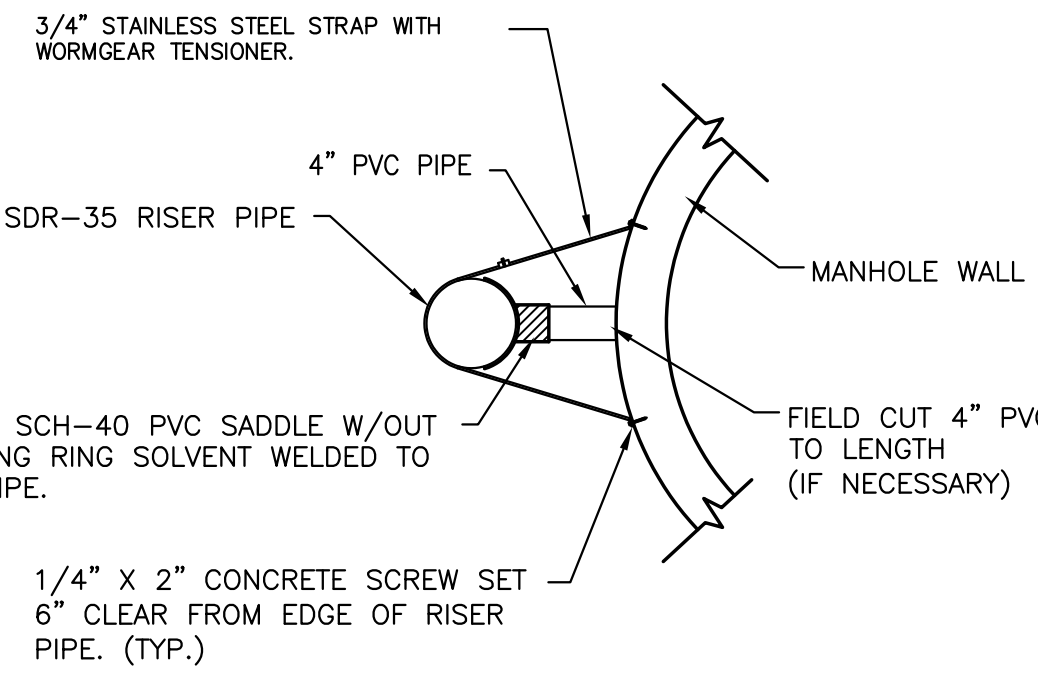
- OPENINGS SHALL BE CORE DRILLED INTO THE MANHOLE WALL WHEN OUTSIDE DROPS ARE CONSTRUCTED ON EXISTING MANHOLES. SUCH OPENINGS DRILLED INTO EXISTING MANHOLES SHALL BE AS SMALL AS PRACTICAL TO FACILITATE INSTALLING AND GROUTING THE NEW PIPE IN PLACE. WATERSTOP GASKETS SHALL BE USED WITH P.V.C. PIPE. THE NEW PIPE SHALL BE GROUTED INTO THE OPENING USING AN APPROVED NONSHRINK GROUT FOR THE FULL MANHOLE WALL THICKNESS. THE EXTERIOR OF THE COMPLETED CONNECTION SHALL BE SEALED WITH AN APPROVED BITUMINOUS COATING SUCH THAT THE CONNECTION WILL BE WATER TIGHT. FLOOR OF MANHOLE SHALL BE MODIFIED TO FORM NEW FLOW CHANNEL FOR THE NEW CONNECTION AS INDICATED BY THE DRAWING. THIS WORK, INCLUDING MODIFICATION OF MANHOLE FLOOR, SHALL BE PAID FOR AT THE UNIT PRICE BID FOR OUTSIDE DROP STACK CONSTRUCTED ON EXISTING MANHOLE.
- THE FLOORS OF ALL MANHOLES SHALL BE SHAPED WITH FLOW CHANNELS SUCH THAT THE MANHOLES WILL BE SELF-CLEANING AND FREE OF AREAS WHERE SOLIDS COULD BE DEPOSITED AS SEWAGE FLOWS THROUGH THE MANHOLE FROM ALL INLET PIPES TO THE OUTLET PIPE. FLOW CHANNELS SHALL BE FORMED TO MATCH THE BOTTOM HALVES OF THE INFLOWING PIPES AND THE OUTFLOWING PIPE AS SHOWN BY THE DRAWINGS EXCEPT FOR INSIDE DROP MANHOLES. FLOW CHANNELS FOR INSIDE DROP MANHOLES SHALL BE CONSTRUCTED AS INDICATED BY THE DRAWING. MANHOLE FLOORS SHALL HAVE SLOPES OF 3 INCHES PER FOOT IN THE AREAS OUTSIDE OF THE FLOW CHANNELS SLOPED TOWARD THE FLOW CHANNELS. PIPES LAID THROUGH MANHOLES SHALL HAVE THE TOP HALF REMOVED TO NEAT LINES FOR THE FULL INSIDE DIAMETER OF THE MANHOLE. MANHOLE FLOORS SHALL THEN BE SHAPED AROUND THE BOTTOM HALF OF THE PIPE WHICH FORMS THE FLOW CHANNEL.
- MANHOLE COVER CASTINGS AND MANHOLE FRAME CASTINGS SHALL CONFORM TO THE REQUIREMENTS AS INDICATED IN THE STANDARD SPECIFICATIONS AND AS SHOWN IN THE STANDARD DETAIL DRAWING.
- THE VERTICAL DROP IN INSIDE DROP MANHOLES SHALL NOT EXCEED 2' REGARDLESS OF PIPE SIZE. THE CROWNS OF INFLOWING PIPES SHALL NEVER BE SET LOWER THAN THE CROWN OF THE OUTFLOWING PIPE.
- STANDARD MANHOLES AND STANDARD INSIDE DROP MANHOLES SHALL BE BID AS STANDARD MANHOLES FOR THE TYPE AND DIAMETER INDICATED. OUTSIDE DROP MANHOLES SHALL BE BID AS STANDARD OUTSIDE DROP MANHOLES FOR THE TYPE AND DIAMETER INDICATED. ALL MANHOLE DIAMETERS WILL BE 4' UNLESS INDICATED OTHERWISE.
- A BRICK MASONRY COLLAR SHALL BE INSTALLED BETWEEN THE CAST IRON FRAME AND THE CONCENTRIC CONE. THE COLLAR WILL HAVE 8" WALLS AND A VERTICAL HEIGHT OF 6" MINIMUM AND 18" MAXIMUM. A 1" COAT OF MORTAR WILL BE PLACED ON THE OUTSIDE OF THE COLLAR. THE USE OF PRE-CAST CONCRETE SPACERS FOR MANHOLE TOP ADJUSTMENT IS ALSO ALLOWED.
- THE FULL DIAMETER OF THE MANHOLE SHALL EXTEND THE ENTIRE DEPTH OF THE MANHOLE TO THE CONE SECTION. NO REDUCTION IN MANHOLE DIAMETER WILL BE ALLOWED.
- REFER TO PLANS FOR SIZE OF OUTSIDE DROP RISER, SADDLES AND CROSS.



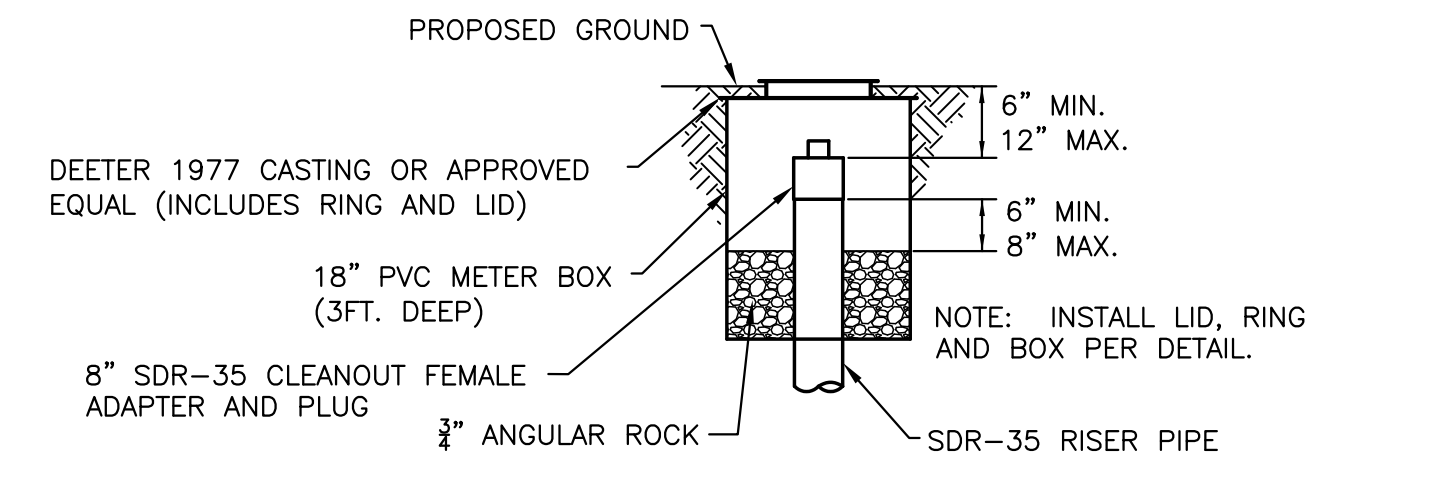
\* CRUSHED ROCK USED FOR ENCASEMENT AND BEDDING SHALL CONFORM TO ASTM C-33, GRADATION NO. 67, AND SHALL MEET ALL REQUIREMENTS FOR PORTLAND CEMENT CONCRETE PAVEMENT COARSE AGGREGATE, SECTION 406.2, CITY OF WICHITA STANDARD SPECIFICATIONS. ALL CRUSHED ROCK FOR BEDDING AND ENCASEMENT SHALL EXTEND TO THE LIMITS OF THE MANHOLE EXCAVATION.



**MH BASE DETAIL**  
Not to Scale



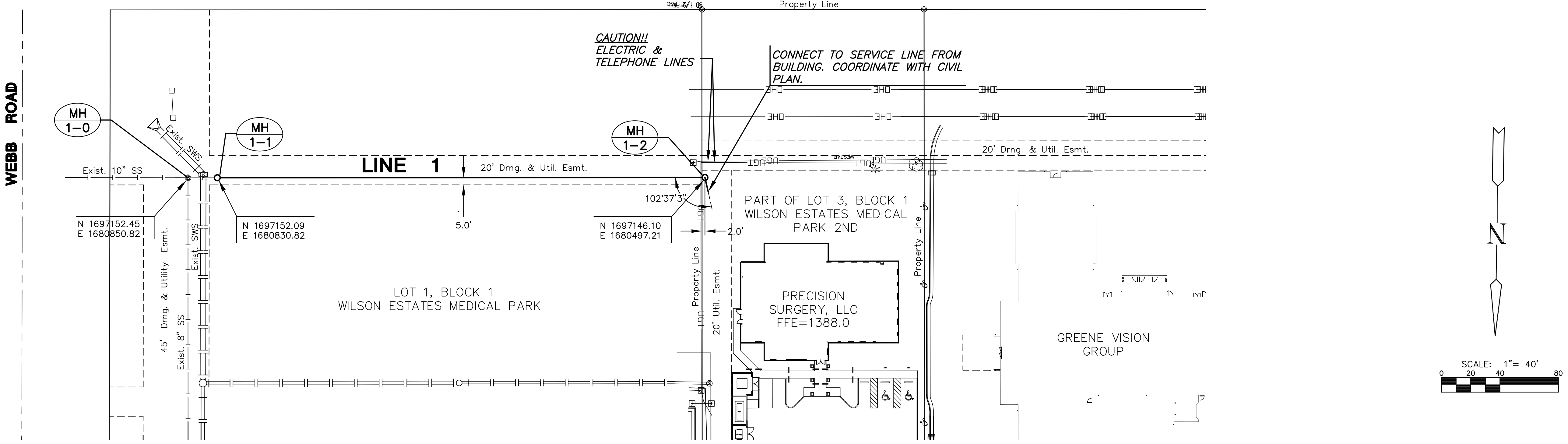
**SUPPORT/SPACER DETAIL**  
Not to Scale



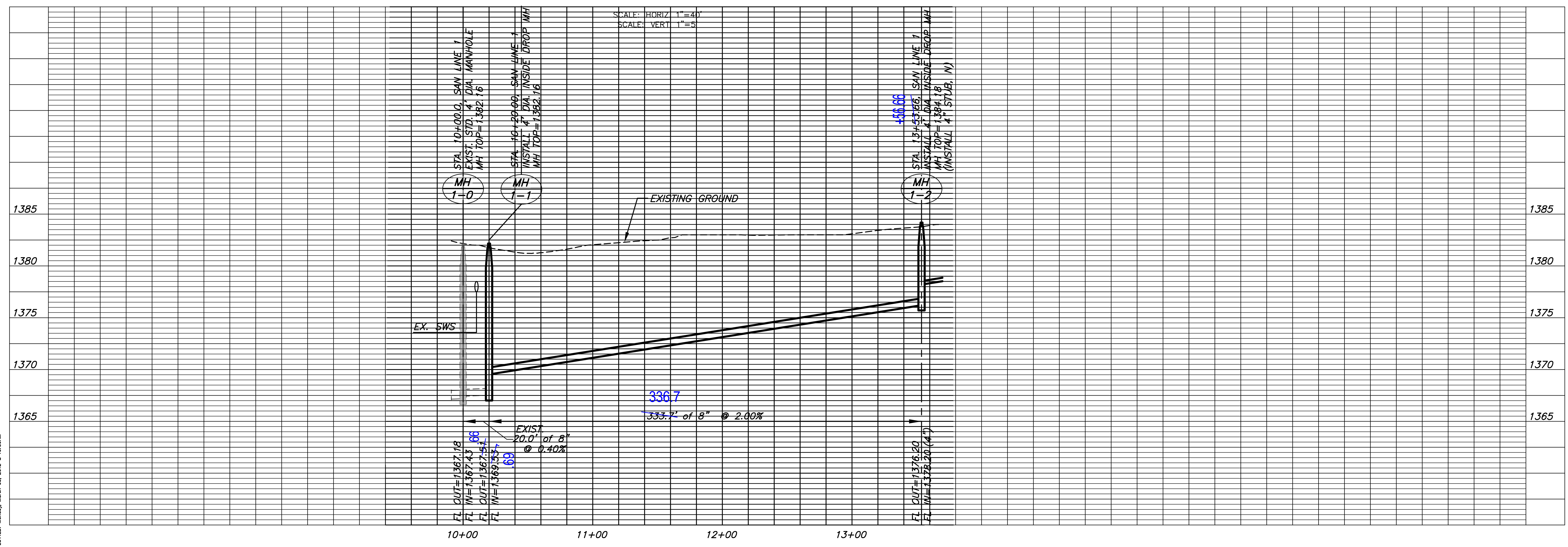
**CLEAN-OUT RISER BOX DETAIL**  
Not to Scale

<b>STANDARD TYPE "P" MANHOLE DETAILS</b>	
JAMES L. ARMOUR, P.E. - CITY ENGINEER	
PROJECT NUMBER	INDEX CODE
DATE	Sheet 2 of 4
Feb 12	

J:\PROJECTS\2011\101010658 SURCENTER\5-CIVIL\CAD\SAN\11658\_BID.DWG



**PLAN LINE 1**  
**PROFILE LINE 1**



PLOTTED: Monday, March 05, 2012 @ 10:36AM

J:\PROJECTS\2011\1010658 SURGCENTER\_5-CIVIL\CAD\SAN\11658\_L1.DWG

**PRIVATE SANITARY SEWER PLANS**  
**WILSON ESTATES MEDICAL PARK 2ND**  
**PRECISION SURGERY CENTER, LLC**

**LINE 1**  
SHEET TITLE  
2121PPS  
PROJECT NUMBER

SPE / KKL / GJA  
DESIGNED / DRAWN / CHECKED

ISSUED  
February 2012  
REVISED

SHEET NO.  
3 of 4

PC156-3

# WILSON ESTATES MEDICAL PARK 2ND

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

SCALE: 1" = 80'

• = SET 1/2" REBAR WITH PEC CAP

C.O.W. BM: City of Wichita Brass Disc, NE Cor. Conc. Vault 415' W. of Webb Rd. and 77.2' N. of 21st St. N. Elev. = 205.70 CITY DATUM Elev. = 1393.1 N.G.V.D.

BM #1: "d" Top center curb inlet W. side Webb Rd. 682' N. of E Entrance to Eastminster Presbyterian Church Elev. = 193.28 CITY DATUM Elev. = 1380.88 N.G.V.D.

BM #2: "d" Top W. curb Webb Rd., 164' S. of E. of R.R. Tracks Elev. = 194.45 CITY DATUM Elev. = 1381.85 N.G.V.D.

BM #3: Chiseled "d" ctr. curb inlet on S. side Wilson Estates Parkway just W. of Webb Rd. Elev. = 196.83 CITY DATUM Elev. = 1384.23 N.G.V.D.

BM #5: Chiseled "d" N. side Sidewalk in Res. "d" (S. of Wilson Est. Parkway) mid way, 202' W. of P.C. Elev. = 204.30 CITY DATUM Elev. = 1391.7 N.G.V.D.

OWNERS:  
LAHAM HOLDING COMPANY, L.L.C.  
BY: LAHAM DEVELOPMENT COMPANY, L.L.C., ITS MANAGER  
*George E. Laham, II, Manager*  
GEORGE E. LAHAM, II, MANAGER

EAST PONTE DEVELOPMENT, L.L.C.  
*J. Douglas Malone, Manager*  
J. DOUGLAS MALONE, MANAGER

STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

BE IT REMEMBERED, THAT ON THIS 14th day of December, 2003, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, CAME GEORGE E. LAHAM, II, MANAGER OF LAHAM HOLDING COMPANY, L.L.C., WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING, AND DULY ACKNOWLEDGED THE EXECUTION OF THE SAME TO BE THE ACT AND DEED OF SAID LAHAM HOLDING COMPANY, L.L.C.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL ON THE DAY AND YEAR FIRST ABOVE WRITTEN.

*Georgia A. Biggs*  
NOTARY PUBLIC  
GEORGIA A. BIGGS  
MY APPOINTMENT EXPIRES: 3-13-2007

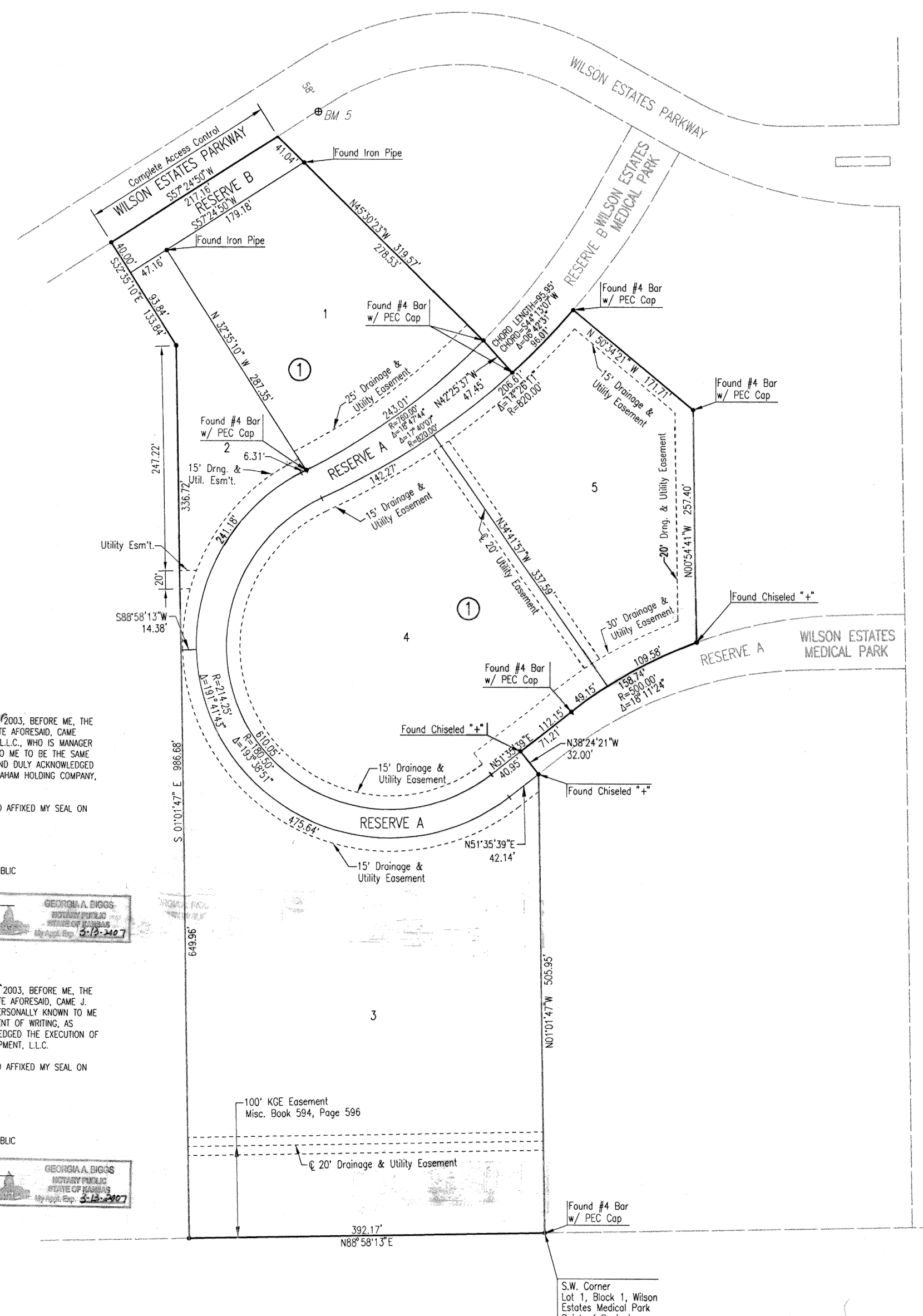
STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

BE IT REMEMBERED, THAT ON THIS 14th day of December, 2003, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, CAME J. DOUGLAS MALONE, OF EAST PONTE DEVELOPMENT, L.L.C., WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING, AS MANAGER OF EAST PONTE DEVELOPMENT, L.L.C. AND DULY ACKNOWLEDGED THE EXECUTION OF THE SAME TO BE THE ACT AND DEED OF SAID EAST PONTE DEVELOPMENT, L.L.C.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY SEAL ON THE DAY AND YEAR FIRST ABOVE WRITTEN.

*Georgia A. Biggs*  
NOTARY PUBLIC  
GEORGIA A. BIGGS  
MY APPOINTMENT EXPIRES: 3-13-2007

Sedgwick County, Kansas  
Recorder of Deeds  
DOC #FILM-PADE, 29531429  
Recorded at 5:02 PM  
Page Number: 1  
Clerk: Sarah M. Orr  
Authorized By: *[Signature]*  
Date Recorded: 03/13/2004 11:04:25 AM



STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

WE, PROFESSIONAL ENGINEERING CONSULTANTS, P.A., ENGINEERS AND SURVEYORS IN JOINDERED STATE AND COUNTY, DO HEREBY CERTIFY THAT ON THIS 17th day of September, 2003, WE HAVE SURVEYED AND PLATTED WILSON ESTATES MEDICAL PARK 2ND, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS, A BLOCK, AND RESERVES, THE SAME BEING A PART OF AND DESCRIBED AS FOLLOWS:

A PORTION OF LOT 1, BLOCK 2, AND RESERVE "B" OF LEGACY PARK WILSON ESTATES ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE S.W. CORNER OF LOT 1, BLOCK 1, WILSON ESTATES MEDICAL PARK ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS; THENCE N07°01'47"W ALONG THE WEST LINE OF SAID ADDITION, A DISTANCE OF 200.00 FEET; THENCE N37°24'21"W, A DISTANCE OF 32.00 FEET; THENCE N51°35'39"E, A DISTANCE OF 71.21 FEET TO A P.C. OF A CURVE TO THE RIGHT WITH A RADIUS OF 500.00 FEET, THROUGH A CENTRAL ANGLE OF 181°11'24" AN ARC DISTANCE OF 158.74 FEET TO THE S.W. CORNER OF LOT 3, BLOCK 1, WILSON ESTATES MEDICAL PARK ADDITION; THENCE N02°54'47"W ALONG THE WEST LINE OF SAID LOT 3, A DISTANCE OF 257.40 FEET; THENCE N57°34'21"W, A DISTANCE OF 171.71 FEET TO A POINT ON A CURVE WITH A CHORD BEARING OF S44°13'07"W; THENCE ALONG THE CURVE TO THE RIGHT HAVING A RADIUS OF 820.00 FEET, THROUGH A CENTRAL ANGLE OF 09°42'20", AN ARC DISTANCE OF 86.01 FEET; THENCE N47°25'07"W, A DISTANCE OF 47.45 FEET; THENCE N45°00'00"W, A DISTANCE OF 519.57 FEET TO THE NORTH LINE OF RESERVE "B" AS PLATTED IN LEGACY PARK WILSON ESTATES ADDITION; THENCE S57°24'21"W ALONG THE NORTH LINE OF SAID RESERVE "B", A DISTANCE OF 217.16 FEET; THENCE S32°35'39"E, A DISTANCE OF 132.84 FEET; THENCE S07°01'47"E, A DISTANCE OF 88.68 FEET TO THE SOUTH LINE OF LOT 1, BLOCK 2, LEGACY PARK WILSON ESTATES ADDITION; THENCE N88°58'17"E, ALONG SAID SOUTH LINE, A DISTANCE OF 392.17 FEET TO THE POINT OF BEGINNING.

ALL PUBLIC EASEMENTS LYING WITHIN THE ABOVE DESCRIBED TRACT OF LAND ARE HEREBY WAIVED AND REPLACED BY WHOLE OF KSA 12-01(2)S) HANDED.

JAMES R. BECKETT, R.L.S. NO. 832  
PROFESSIONAL ENGINEERING CONSULTANTS, P.A.  
*[Signature]*  
REGISTERED PROFESSIONAL ENGINEER  
NO. 15,263  
LS-832  
KANSAS  
AND SURVEYOR

THIS ADDITION IS SUBJECT TO THE CONDITIONS OF WILSON ESTATES MEDICAL PARK COMMUNITY UNIT PLAN (DP-260).

FOR ADDITIONAL INFORMATION AND BUILDING SETBACK LINES SEE C.I.P. DP-260 ON FILE AT THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

THE PRIVATE STREET IN RESERVE "A" IS HEREBY PLATTED FOR ACCESS TO LOTS 1 THROUGH 5, BLOCK 1.

ALL ADJUTERS' RIGHT OF ACCESS TO AND FROM WILSON ESTATES PARKWAY OVER AND ACROSS THE NORTH LINE OF BLOCK 1 IS HEREBY GRANTED TO THE CITY OF WICHITA.

EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES ARE HEREBY GRANTED:

RESERVE "A" IS HEREBY PLATTED FOR PRIVATE DRIVE, DRAINAGE, LANDSCAPING, SIGNAGE AND UTILITIES. RESERVE "B" IS HEREBY PLATTED FOR LANDSCAPING, SIGNAGE, DRAINAGE, UTILITIES AND SIGNALS. RESERVES "A" AND "B" SHALL BE OWNED AND MAINTAINED BY AN OWNERS ASSOCIATION TO BE FORMED WITHIN WILSON ESTATES MEDICAL PARK 2ND, LOTS 1 THROUGH 5 SHALL BE ACCESSED BY RESERVES "A" AND "B" OF WILSON ESTATES MEDICAL PARK, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

A DRAINAGE PLAN HAS BEEN APPROVED FOR THIS PLAT. ALL DRAINAGE EASEMENTS AND RIGHTS-OF-WAY SHALL REMAIN AT ESTABLISHED GRADES AND UNOBTSTRUCTED TO ALLOW FOR THE CONDUCE OF STORM WATER, UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS ABOVE SET FORTH IN THE SURVEYORS CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS, A BLOCK, AND RESERVES, THE SAME TO BE KNOWN AS WILSON ESTATES MEDICAL PARK 2ND, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

OWNERS:  
WILSON RESIDENTIAL COMPANY, L.L.C.  
*George E. Laham, II, President*  
GEORGE E. LAHAM, II, PRESIDENT

WILSON-ESTATES MEDICAL PARK MASTER OWNERS ASSOCIATION  
*George E. Laham, II, President*  
GEORGE E. LAHAM, II, PRESIDENT

WEBB ROAD PARTNERS, L.L.C.  
TRANSCONTINENTAL HOLDING COMPANY, L.L.C. MEMBER OF WEBB ROAD PARTNERS, L.L.C.  
*Pat Do, M.D., Manager of Transcontinental Holding Company, LLC*  
PAT DO, M.D., MANAGER OF TRANSCONTINENTAL HOLDING COMPANY, LLC

S.E. Corner, NE 1/4, Sec. 8, 127S, R2E

STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 17th day of September, 2003, BY GEORGE E. LAHAM, II, PRESIDENT OF WILSON RESIDENTIAL COMPANY, L.L.C.  
*Georgia A. Biggs*  
NOTARY PUBLIC  
GEORGIA A. BIGGS  
MY APPOINTMENT EXPIRES: 3-13-07

STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 17th day of September, 2003, BY PAT DO, M.D., MANAGER OF TRANSCONTINENTAL HOLDING COMPANY, L.L.C.  
*Georgia A. Biggs*  
NOTARY PUBLIC  
GEORGIA A. BIGGS  
MY APPOINTMENT EXPIRES: 3-13-07

STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 18th day of September, 2003, BY MARY A. FARRAR, MANAGER OF WILSON RESIDENTIAL COMPANY, L.L.C.  
*Mary A. Farrar*  
NOTARY PUBLIC  
MARY A. FARRAR  
MY APPOINTMENT EXPIRES: 2-27-04

WE, KANZA BANK, HOLDER OF A MORTGAGE ON THE ABOVE DESCRIBED PROPERTY, DO HEREBY CONSENT TO THE PLATTING OF WILSON ESTATES MEDICAL PARK 2ND, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

*Barry Purdy*  
BARRY PURDY, PRESIDENT

STATE OF KANSAS }  
COUNTY OF SEDGWICK } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 24th day of September, 2003, BY BARRY PURDY, VICE PRESIDENT OF KANZA BANK.

*Sharon Forrester*  
NOTARY PUBLIC  
SHARON FORRESTER  
MY APPOINTMENT EXPIRES: February 27, 2005

THIS PLAT OF WILSON ESTATES MEDICAL PARK 2ND HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS 7th day of August, 2003.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

*John L. Schlegel*  
JOHN L. SCHLEGEL, SECRETARY

REVIEWED IN ACCORDANCE WITH THE PROVISIONS OF K.S.A. 17-2008 ON THIS 14th day of October, 2003.

*Tricia L. Robello*  
TRICIA L. ROBELLO, LS #1246  
DEPUTY COUNTY SURVEYOR  
SEDGWICK COUNTY, KANSAS

THIS PLAT IS APPROVED AND ALL DESIGNATIONS SHOWN HEREON, IF ANY ARE ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WICHITA, KANSAS, THIS 14th day of November, 2003.

*Charles Warkans*  
CHARLES WARKANS, MAYOR

*Karen Saltsjoid*  
KAREN SALTSJOID, CITY CLERK

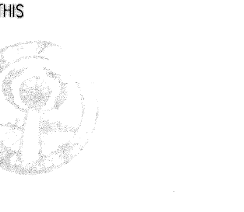
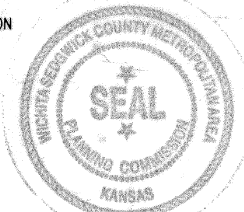
ENTERED ON TRANSFER RECORD THIS 26th day of January, 2004.

*Don Brice*  
DON BRICE, COUNTY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT 12:32 P.M. ON THE 21st day of January, 2004.

*Bill Meek*  
BILL MECK, REGISTER OF DEEDS

LINDA KIZZIRE, DEPUTY



This digital plat record accurately reproduces in all details the original plat filed with the Sedgwick County Register of Deeds. Digitized under the supervision of Register of Deeds Bill Meek by Sedgwick County Geographic Information Systems.

*Bill Meek*  
Bill Meek, Register of Deeds  
Digitized resolution of original signature

**MKEC**  
ENGINEERING  
CONSULTANTS, INC.

411 N. WEBB ROAD  
WICHITA, K.S. 67206  
316-684-9600

PRIVATE SANITARY SEWER PLANS

**WILSON ESTATES MEDICAL PARK 2ND**

PRECISION SURGERY CENTER, LLC

PLAT

SHEET TITLE

2121PPS

PROJECT NUMBER

ABC / ABC / ABC

DESIGNED / DRAWN / CHECKED

ISSUED

February 2012

REVISED

SHEET NO.

4 of 4