

LEGAL DESCRIPTION

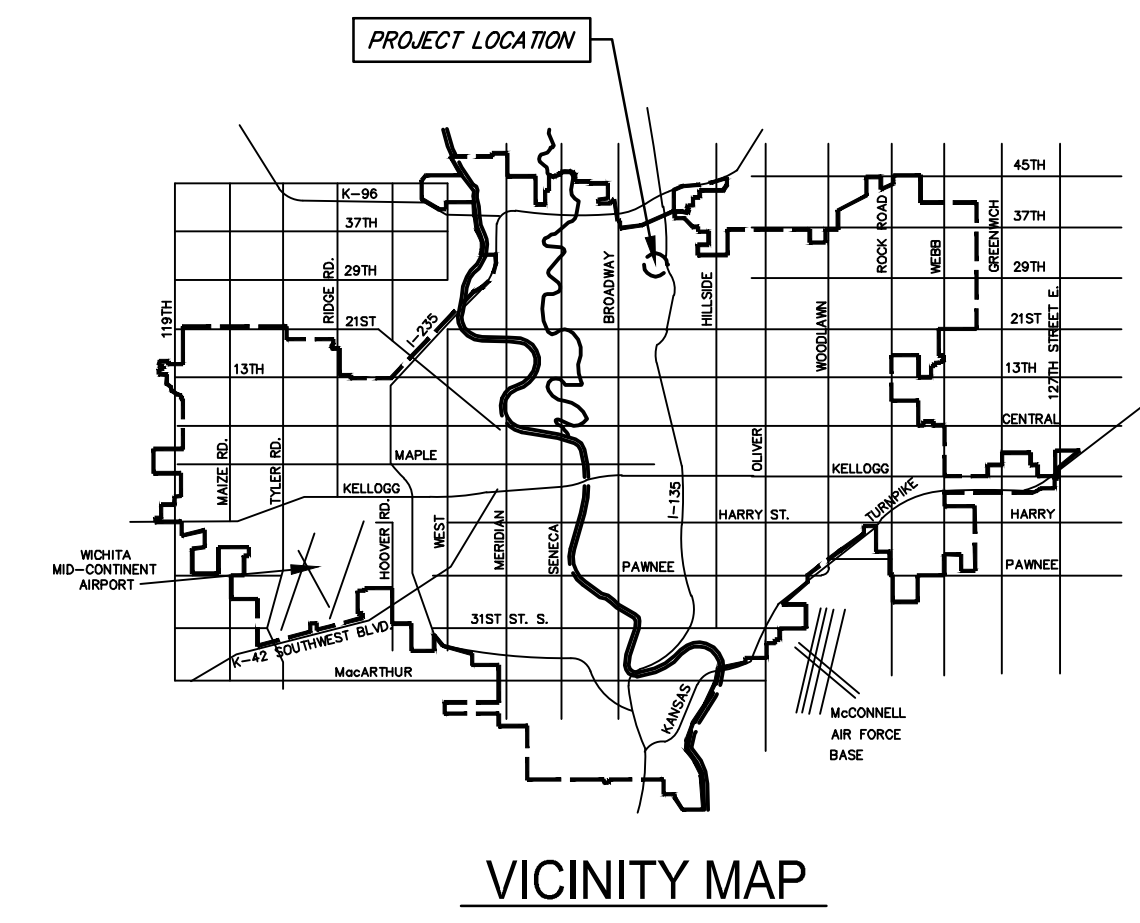
Lot 1, Maloney Addition, Wichita, Sedgwick County, Kansas and Lot 1, Except the South 430.23 feet thereof, Maloney 2nd Addition, Wichita, Sedgwick County, Kansas.

LEGEND

FESCUE SEED (NON-IRRIGATED)

LANDSCAPE ORDINANCE CALCULATIONS

Site Zoning	Industrial
Adjacent Zoning	All adjacent parcels are 'Industrial' zoning
Street Frontage:	361.07 LF (29th Street North)
Lot Depth:	200.81'
Sq. Foot Factor:	10
Required Streetyard:	361.07' x 10= 3610.7 SF Req'd
Streetyard Provided:	12,715 SF
Streetyard Trees Req'd:	3610 SF / 500= 7.22= 8 Shade Trees
Streetyard Trees Provided:	8 Shade Trees
Parking Provided:	8 Spaces
Parking Lot Trees Req'd:	8 / 20= 0.4= 1 Shade Trees
Pkg Lot Trees Provided:	1 Shade Trees Counted from Streetyard,
Required Buffer	Not Applicable
Required Buffer w/o Screening:	Not Applicable



SITE LANDSCAPE PLAN

PLANT SCHEDULE

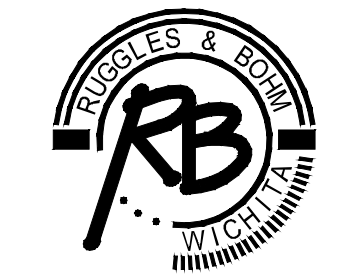
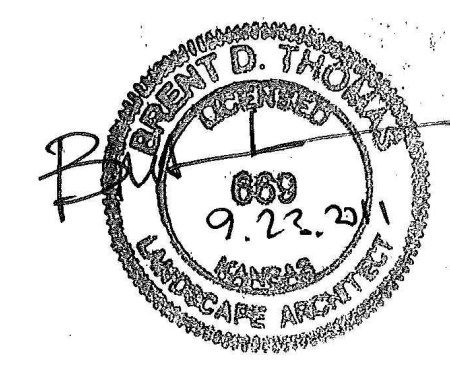
Qty.	Scientific Name	Common Name	Size	Condition	Spacing	Remarks
SHADE TREES						
2	<i>Gleditsia triacanthos</i>	Shademaster Honeylocust	2"	B&B	As shown	Full & Healthy
6	<i>Ulmus parvifolia</i>	Lacebark Elm	2"	B&B	As shown	Full & Healthy
SHRUBS						
43	<i>Juniperus x pfitzeriana 'Aurea Improved' PP2491</i>	Gold Coast Juniper	2-gal	Cont.	3'-6" O.C.	Full & Healthy

SEED TYPE	RATE	OPTIMUM SEED DATES	ACCEPTABLE SEED DATES	FERTILIZER	FERT. RATE
FESCUE 'KS PREMIUM FESCUE BLEND'	6-8# PER 1000 sf	AUG. 15-SEPT. 15	FEB. 15-APR. 15	16-20-6 (OR OTHER APPR. STARTER FERTILIZER)	4#/1000 sf

SITE BENCH MARK #1:
Square cut top curb 19'W. & 10'S. of the NW. Corner Lot 1, Maloney Addition. Elevation = 1314.61 (NAVD88)

SITE BENCH MARK #2:
Square cut top curb 40'W. & 22'N. of the NE. corner subject Property. Elevation = 1315.75 (NAVD88)

PERVIOUS AREA = 28,635 SQ. FT.
IMPERVIOUS AREA = 34,788 SQ. FT.



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L1.1

9-23-11
REV. DATE
PRINT DATE