

SANITARY SEWER PLANS

HAMPTON SQUARE SECOND ADDITION

LATERAL 22, MAIN 7, NWI

PROJECT NO. 468-84772

THE CITY OF WICHITA, KANSAS
JAMES L. ARMOUR, CITY ENGINEER

OCA 744324

Mies Construction - Contractor
K. Kerns - City of Wichita, Field Project Engineer
S. Cody - City of Wichita, Inspector
Stubs & 8" Cleanout Riser
As-Built
Release Date: 3/10/2012
pdf: APRosAs 6/5/2012

GENERAL NOTES

- UNLESS SHOWN OR STATED OTHERWISE ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WICHITA STANDARD SPECIFICATIONS.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

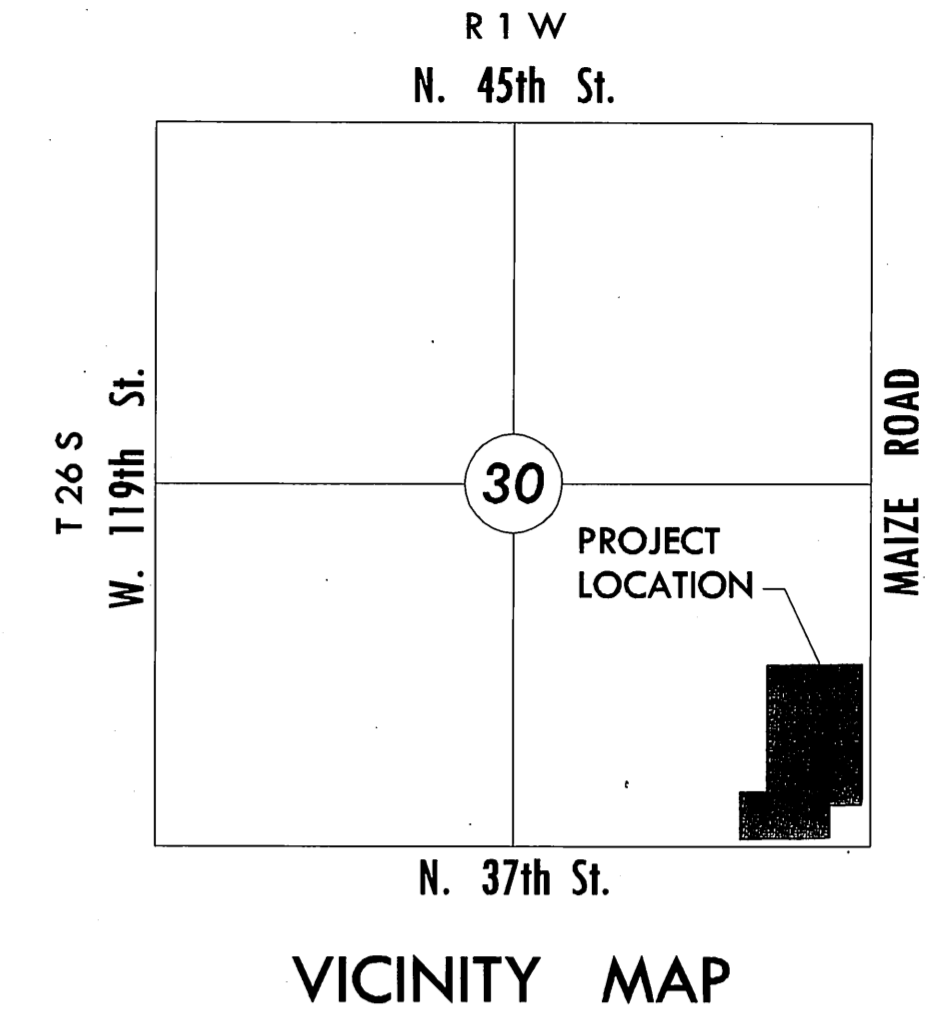
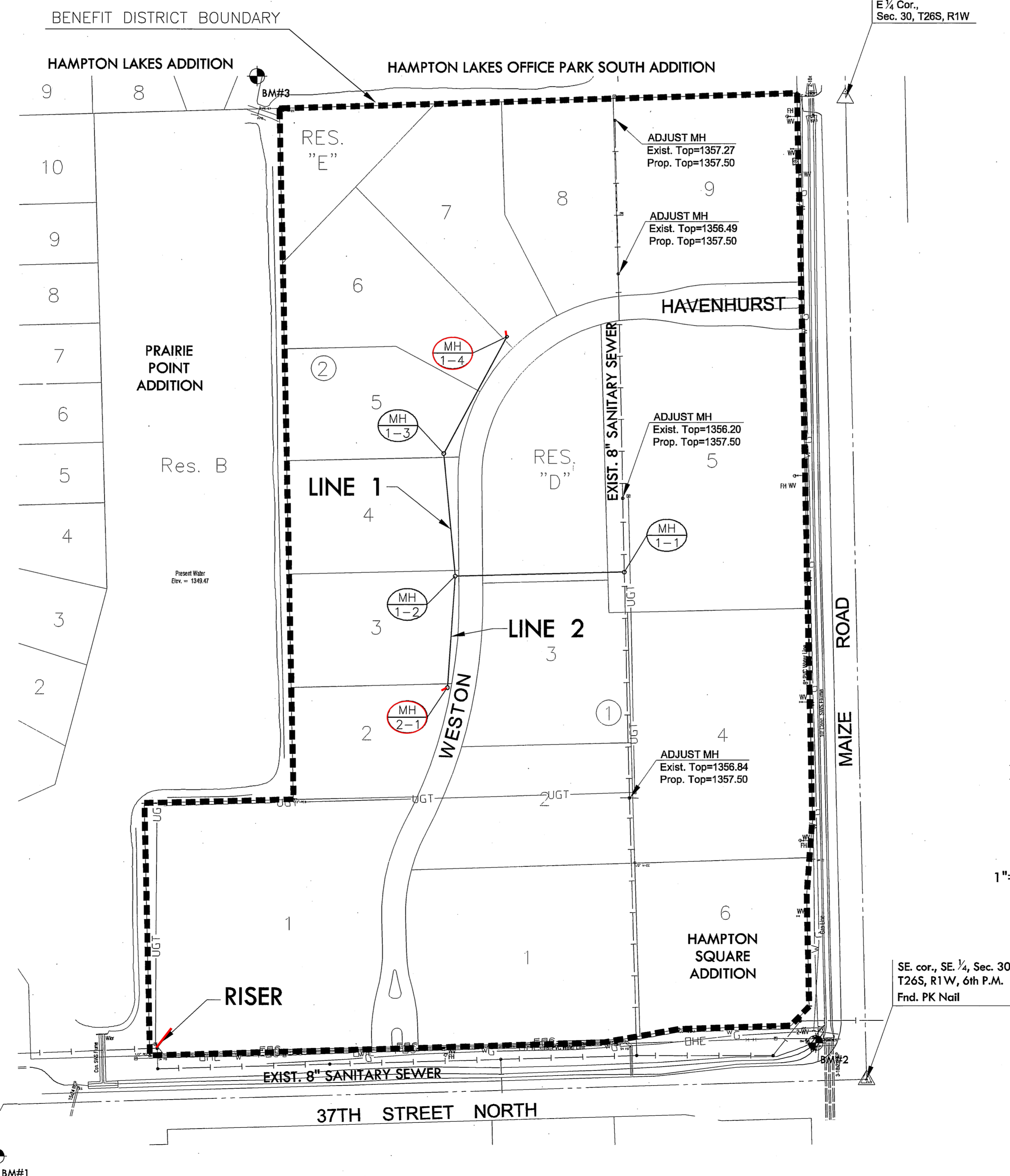
KANSAS ONE-CALL 1-800-344-7233
or 687-2470 (LOCAL WICHITA)

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

AT&T (TELEPHONE)	800-870-8390
COX COMMUNICATIONS (CABLE)	262-0661
KANSAS GAS SERVICE (GAS)	832-3101
CITY OF WICHITA WATER & SEWER	262-6000
VESTAR (ELECTRIC)	383-8600
BLACK HILLS ENERGY (GAS)	800-303-0357

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- COST OF EXCAVATION, HAULING, AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO THE PROJECT.
- A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDED AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUNDS SHALL BE CONSTRUCTED WITH A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.
- ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
- CONNECTING TO EXISTING MANHOLES.
PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLAN. WHERE CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST OF CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.
- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- ALL DISTURBED AREAS TO BE SEEDED WITH RYE GRASS AT A RATE OF 200 LBS. PER ACRE WITHIN 10 DAYS OF CONSTRUCTION. CONTRACTOR TO PREPARE GROUND PER CITY SPECIFICATIONS. COST IS SUBSIDIARY TO SITE PREPARATION AND RESTORATION.
- DEVELOPER FOR THIS PROJECT IS:
HAMPTON SQUARE, LLC
7924 WEST 21st STREET
WICHITA, KANSAS 67205
MARVIN L. SCHELLENBERG, MANAGER
PHONE NUMBER

SW Cor., SE 1/4
Sec. 30, T26S, R1W



INDEX TO DRAWINGS

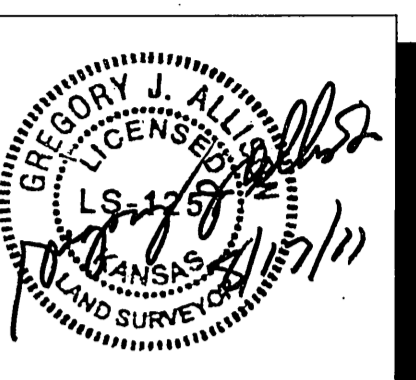
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	MANHOLE DETAILS
3	LINE 1 & 2
4	RISER DETAILS
5	BUBBLE MAP
6-10	EROSION CONTROL
11	FINAL PLAT

BENCHMARKS

BENCHMARK	DESCRIPTION	ELEVATION
BM#1	CHISELED SQUARE ON CONCRETE BASE OF BRICK FENCE POST ON SOUTH SIDE OF 37TH ST. 1573 FEET WEST OF MAIZE RD.	ELEV. = 1356.01 NAVD 88
BM#2	CHISELED SQUARE ON TOP OF CURB AT SOUTH END OF ENTRANCE ISLAND AT HAMPTON LAKES ST. AND MANCHESTER ST.	ELEV. = 1357.69 NAVD 88
BM#3	CHISELED SQUARE AT NORTHWEST CORNER OF PAD OF TRAFFIC SIGNAL MANHOLE AT NORTHWEST CORNER OF MAIZE RD. AND 37TH ST.	ELEV. = 1354.49 NAVD 88



411 N. WEBB ROAD
WICHITA, KS. 67206
316-684-9600



SANITARY SEWER PLANS FOR
HAMPTON SQUARE SECOND

TITLE SHEET

SHEET TITLE
468-84772
PROJECT NUMBER

DFL | JWC | GJA
DESIGNED | DRAWN | CHECKED

ISSUED
August 2011

REVISED

SHEET NO.

1 of 11

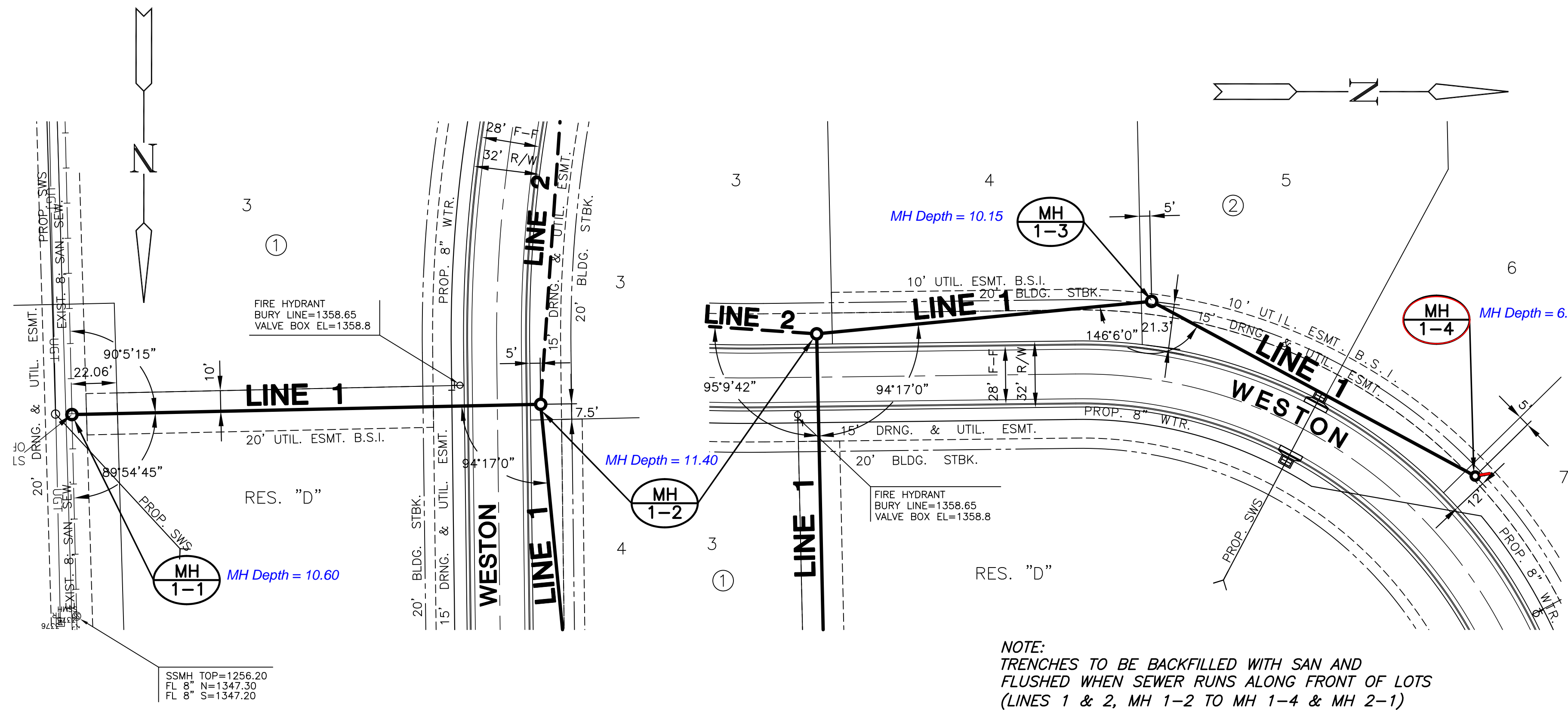
**SANITARY SEWER PLANS FOR
HAMPTON SQUARE SECOND**

LINES 1 & 2
SHEET TITLE
468-84772
PROJECT NUMBER

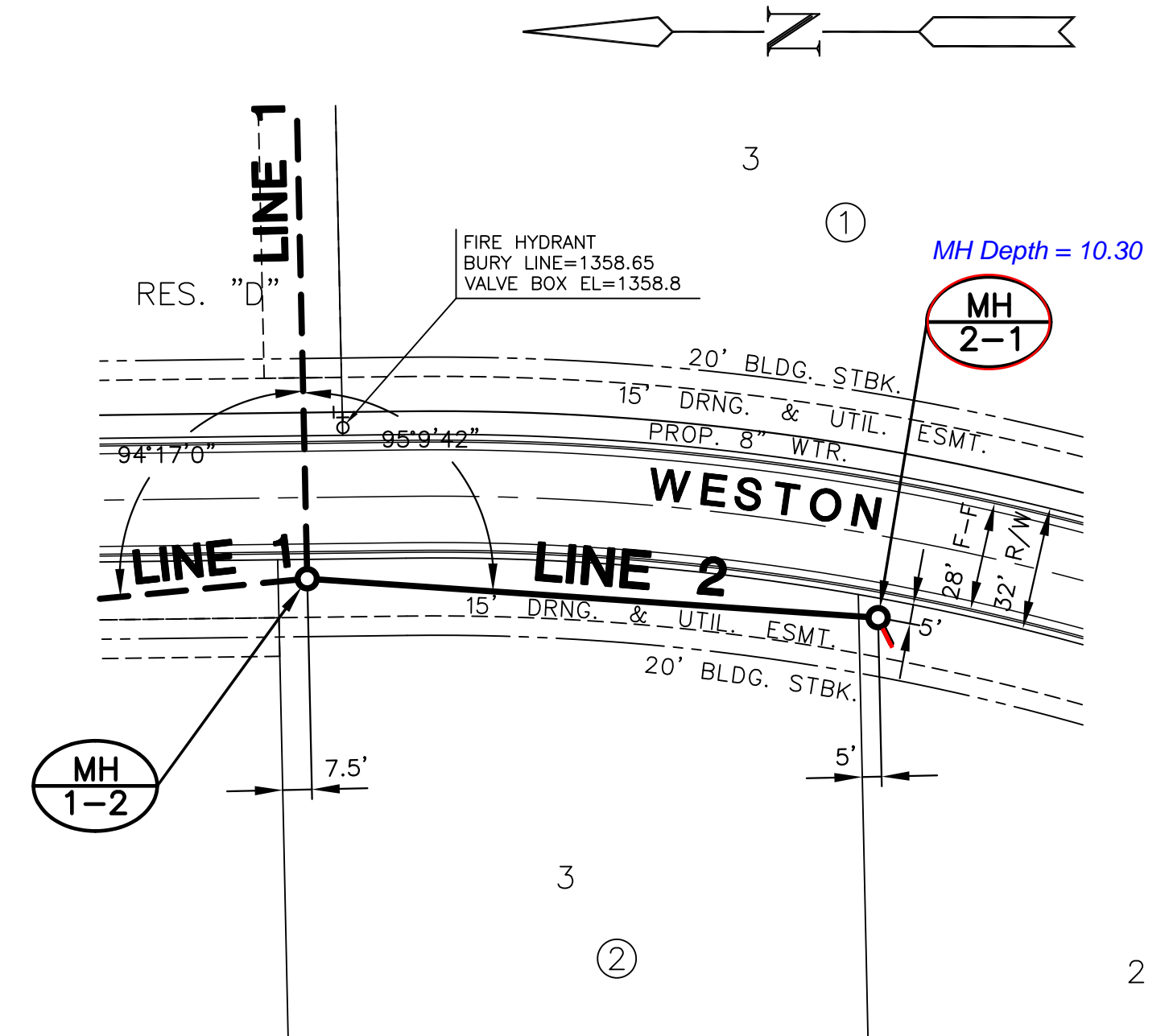
DFL JWC GJA
DESIGNED DRAWN CHECKED

ISSUED
August 2011
REVISED

SHEET NO.
3 of 11

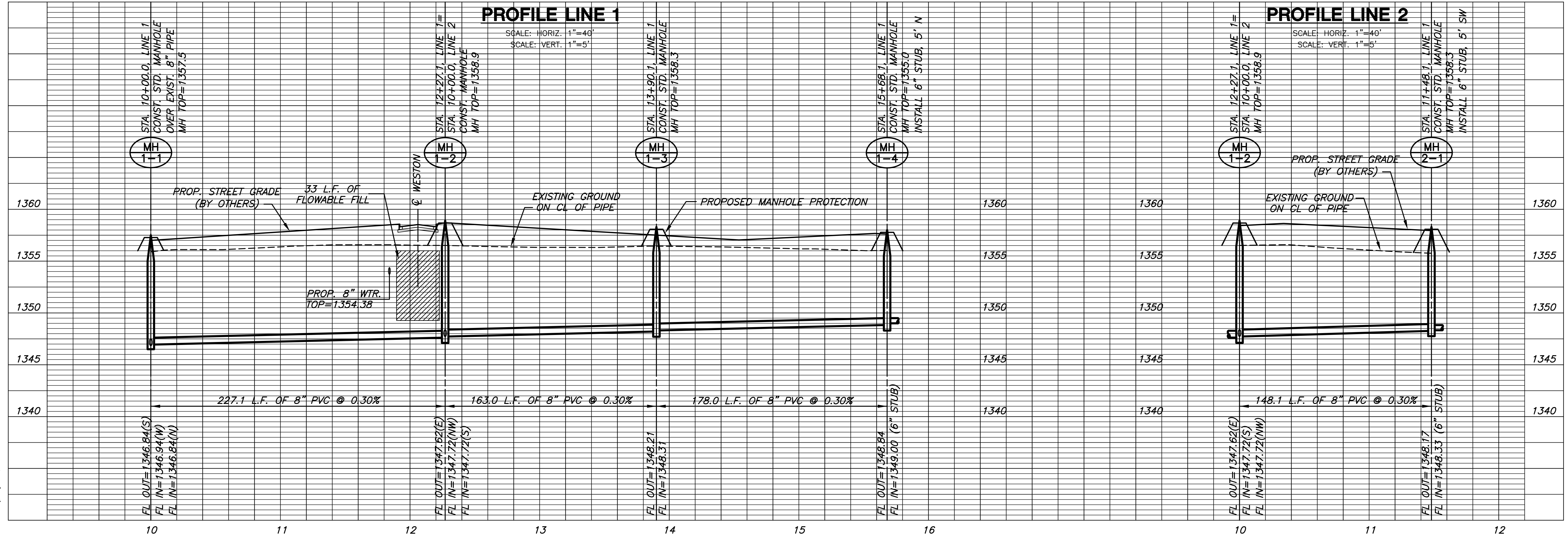


PLAN LINE 1



PLAN LINE 2

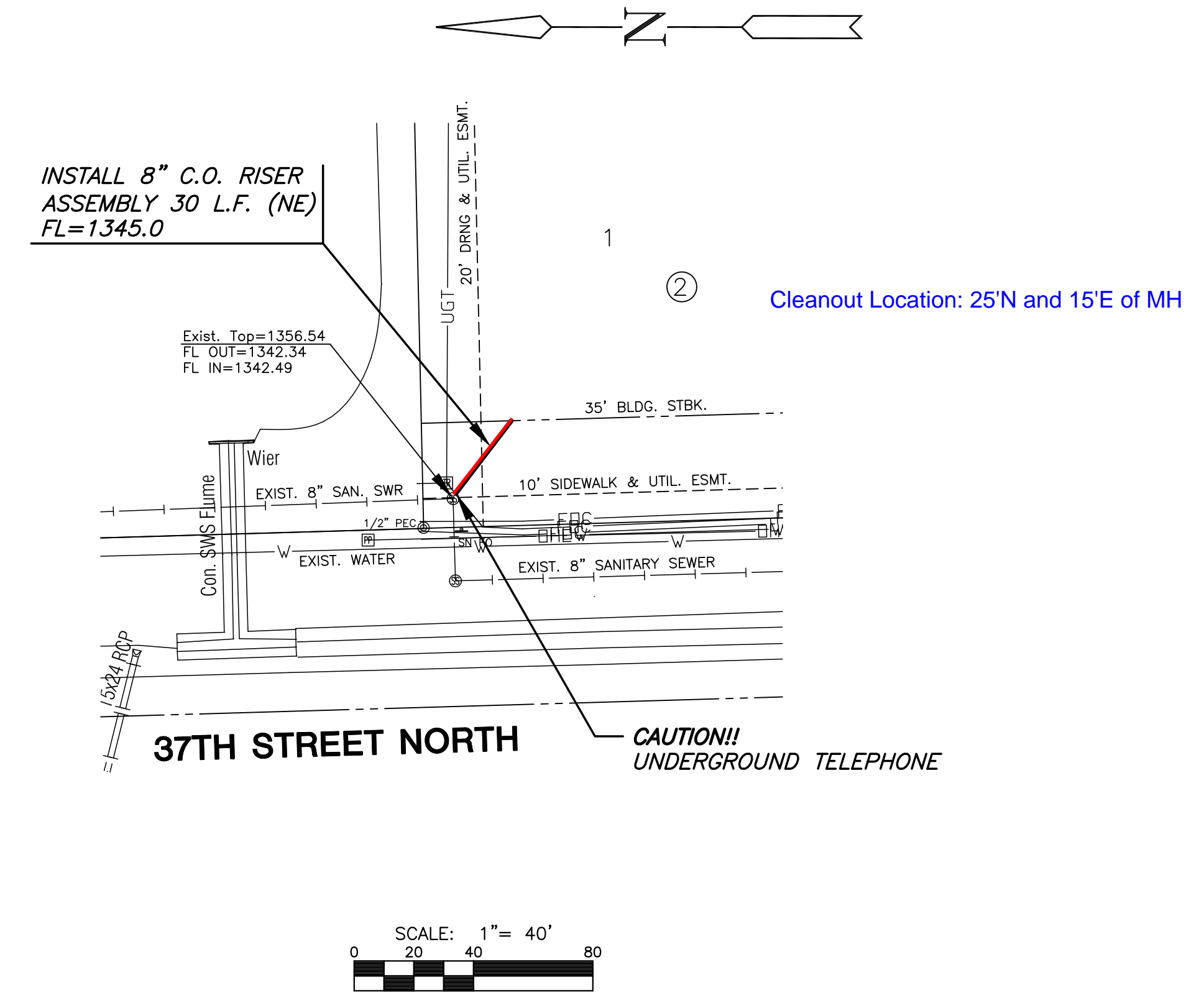
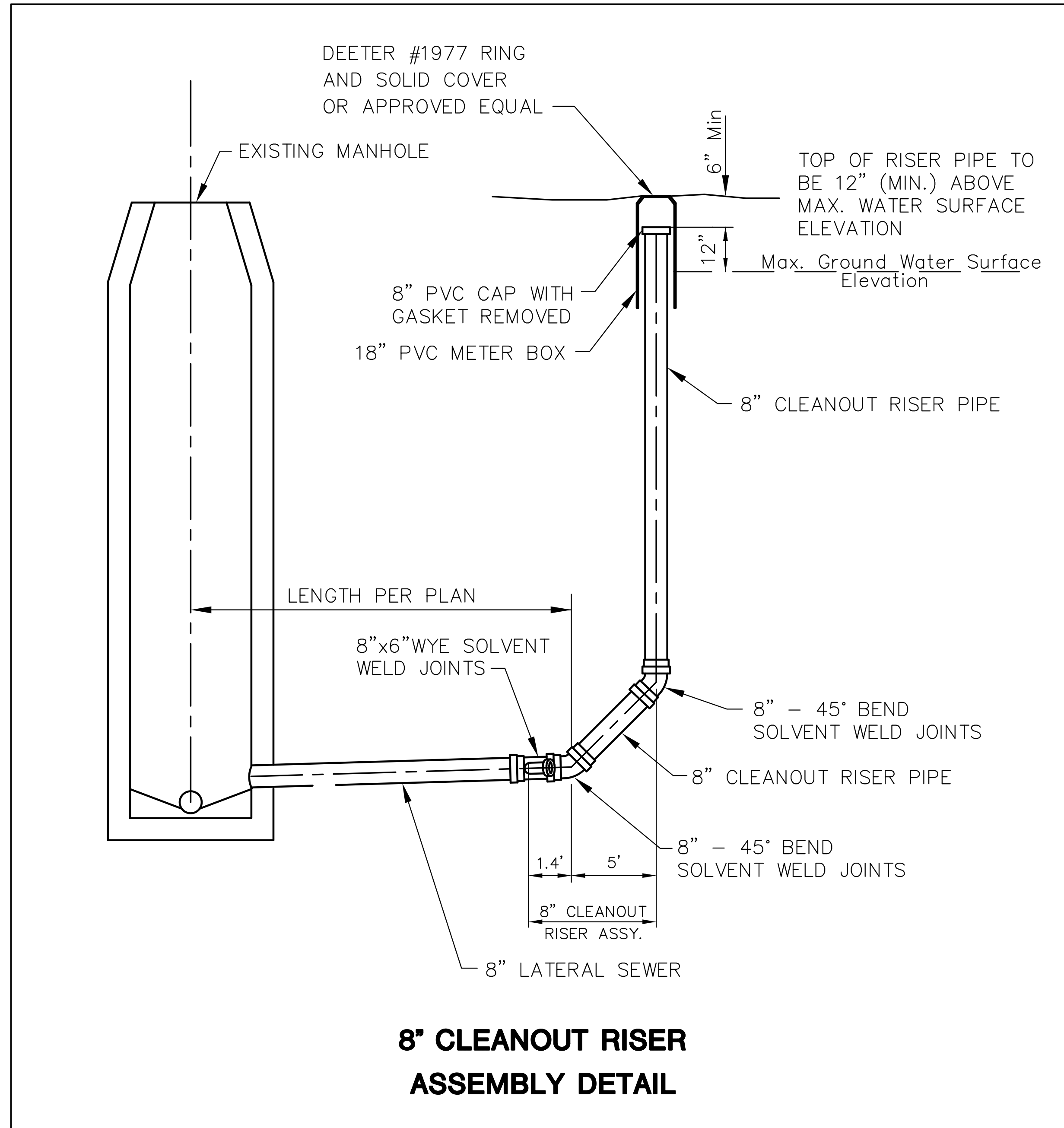
NOTE:
TRENCHES TO BE BACKFILLED WITH SAN AND
FLUSHED WHEN SEWER RUNS ALONG FRONT OF LOTS
(LINES 1 & 2, MH 1-2 TO MH 1-4 & MH 2-1)



PROFILE LINE 1

PROFILE LINE 2

**SANITARY SEWER PLANS FOR
HAMPTON SQUARE SECOND**



SEWER SERVICE TABLE							
NO.	TYPE	LOCATION			FOR INFORMATION ONLY		
		LOT NO.	BLOCK	LINE NO. / STATION / DIRECTION	APPROXIMATE LENGTH 8" PIPE		
					VERTICAL	HORIZONTAL	
1	8" CLEANOUT RISER ASSEMBLY	1	2	3 / 10+00.0/RT.	10'	30'	

RISER LOCATION & DETAIL

SHEET TITLE
468-84772
PROJECT NUMBER

DFL / JWC / GJA
DESIGNED / DRAWN / CHECKED

ISSUED
August 2011

REVISED

SHEET NO.

FINAL PLAT

HAMPTON SQUARE SECOND ADDITION

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

CERTIFICATE OF SURVEY

I, Gregory J. Allison, a registered land surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plating of "HAMPTON SQUARE SECOND ADDITION", an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, Reserves, and Streets, the same being accurately set forth in the accompanying plat and described herein:

A replat of Lots 1, 2, 3, 4, 5, 7, 8, and 9, Block 1, Hampton Square Addition, Wichita, Sedgwick County, Kansas.
All easements, rights-of-ways, building setbacks, and access controls, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this _____ day of _____, 2011.

Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Road
Wichita, Kansas 67206

OWNER'S CERTIFICATE

Know all men by these presents that the undersigned property owner of the land above set forth in the Registered Land Surveyor's Certificate, has caused the same to be surveyed and platted into Lots, Blocks, Reserves, and Streets the same to be known as "HAMPTON SQUARE SECOND ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public sidewalks, utilities and drainage, as indicated on the accompanying plat are hereby granted to the public.

The streets are hereby dedicated to and for the use of the public.

All abutters rights of access to or from Maize Road over and across the east line of "HAMPTON SQUARE SECOND ADDITION," are hereby granted to the appropriate governing body, as indicated hereon. All abutters rights of access to or from 37th Street over and across the south line of "HAMPTON SQUARE SECOND ADDITION," are hereby granted to the appropriate governing body, as indicated hereon.

Reserves "A", "B", "C", "D", and "E" are platted for landscaping, irrigation, berming, monuments, signs, water features, and utilities confined by easement(s) or rights-of-way. Reserves "D" and "E" are also platted for the drainage. The Reserves shall be owned and maintained by the owner(s)/developer, and/or their successors, assigns, and/or a Lot Owner's Association.

A drainage plan has been developed for this plat. All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater. Lots 3 and 5, Block 1, Lots 1, 2, 3, 4, 5, 6, 7, 8, and 9, Block 2, are required to adhere to the minimum pad elevations as depicted hereon the "Minimum Pad Elevations" table.

This plat shall conform to the recitals of Community Unit Plan DP-262.

Hampton Square, LLC, a Kansas limited liability company

_____, manager
Marvin L. Schellenberg, manager
Hampton Square LLC, a Kansas limited liability company

STATE OF KANSAS, SEDGWICK COUNTY} ss:

This instrument was acknowledged before me on _____ day of _____, 2011, by Marvin L. Schellenberg, manager of Hampton Square LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public: _____
My Term Expires: _____
SW. cor., SE 1/4, Sec. 30,
T26S, R1W, 6th P.M.
Fnd. 1 1/4" Pipe

MORTGAGE CERTIFICATE

LEGACY Bank, holder of a mortgage on a portion of the above described property, does hereby consent to the plat of "HAMPTON SQUARE SECOND ADDITION."

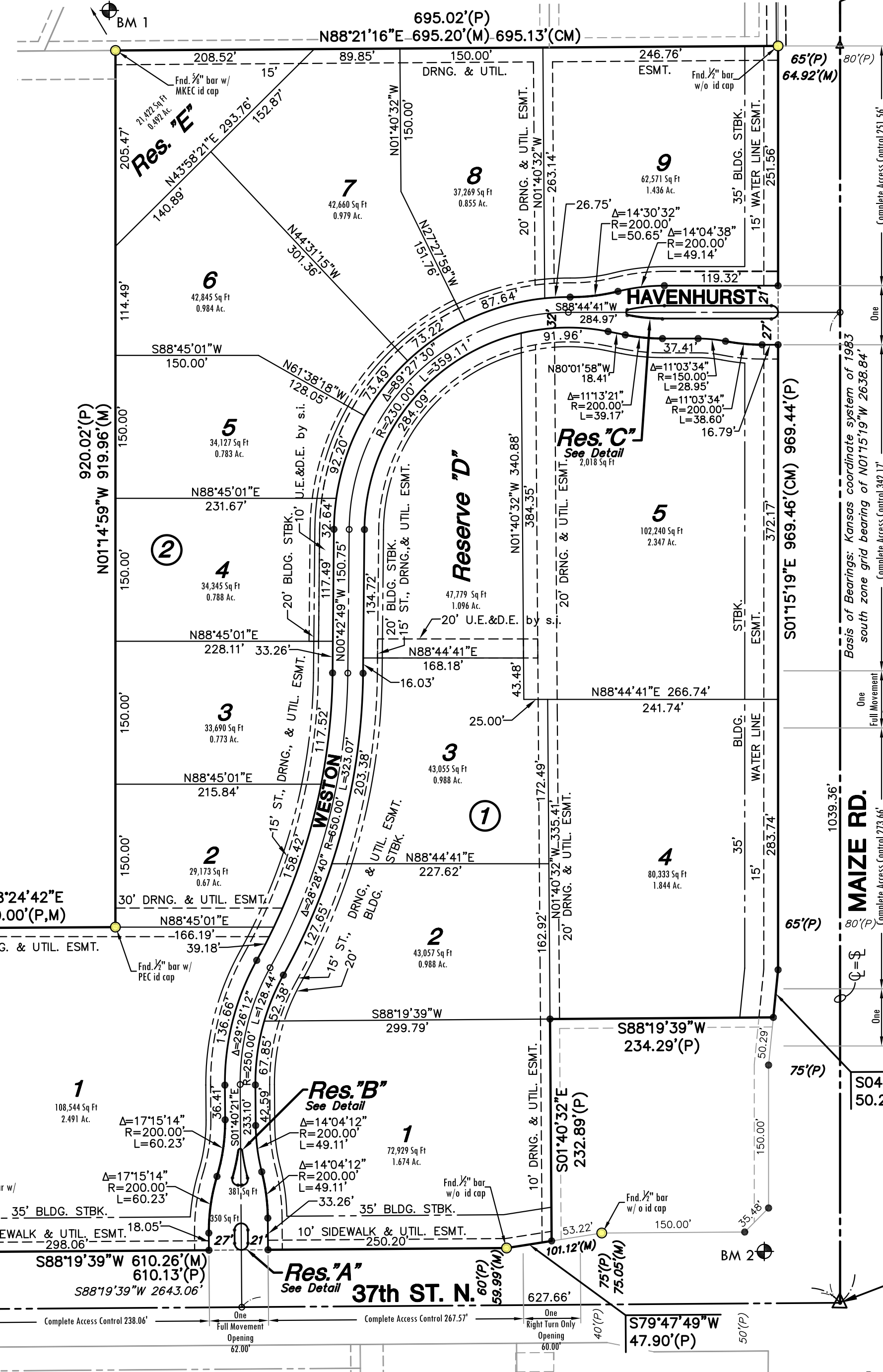
Legacy Bank

_____, Executive Vice President
Brad Yaeger, Executive Vice President

This instrument was acknowledged before me on this _____ day of _____, 2011, by Brad Yaeger, Executive Vice President, Legacy Bank.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public: _____
My Term Expires: _____

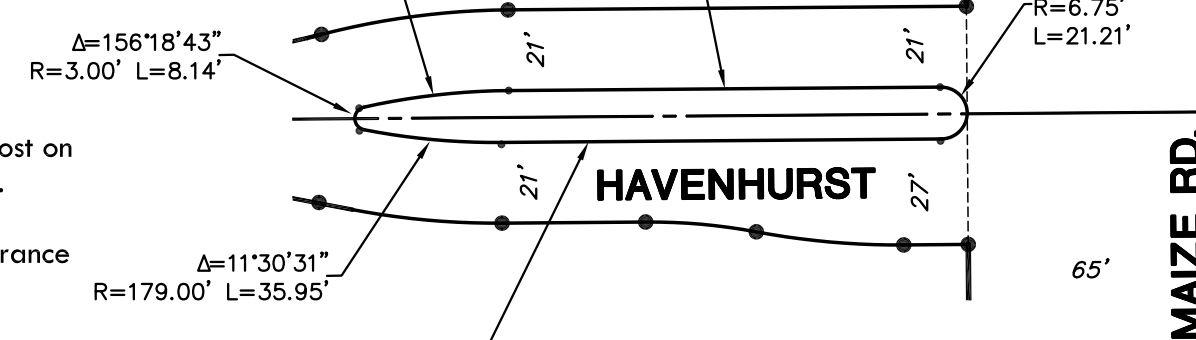


MINIMUM PAD ELEVATIONS (LOWEST OPENINGS)		
LOTS (inclusive)	BLOCK	ELEVATION NAVD 88
3 & 5	1	1359.5
1 - 9	2	1359.5

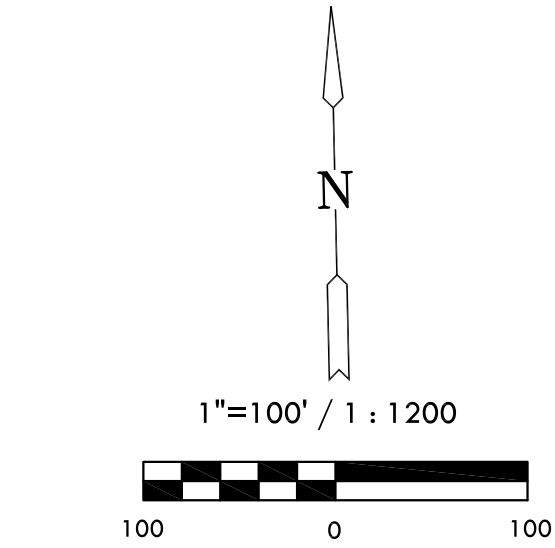
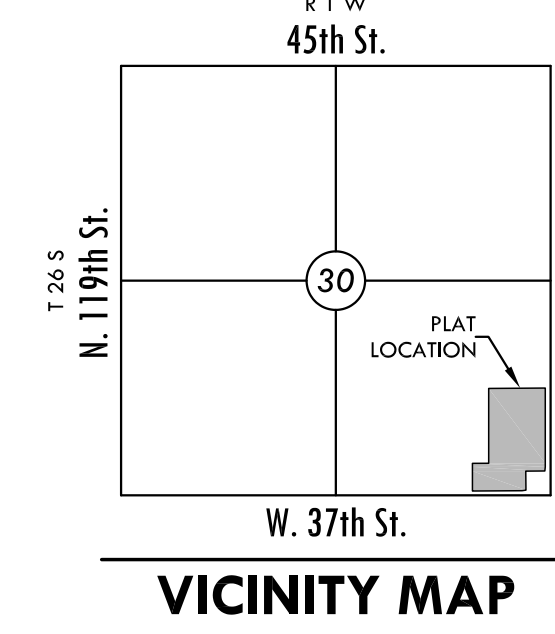
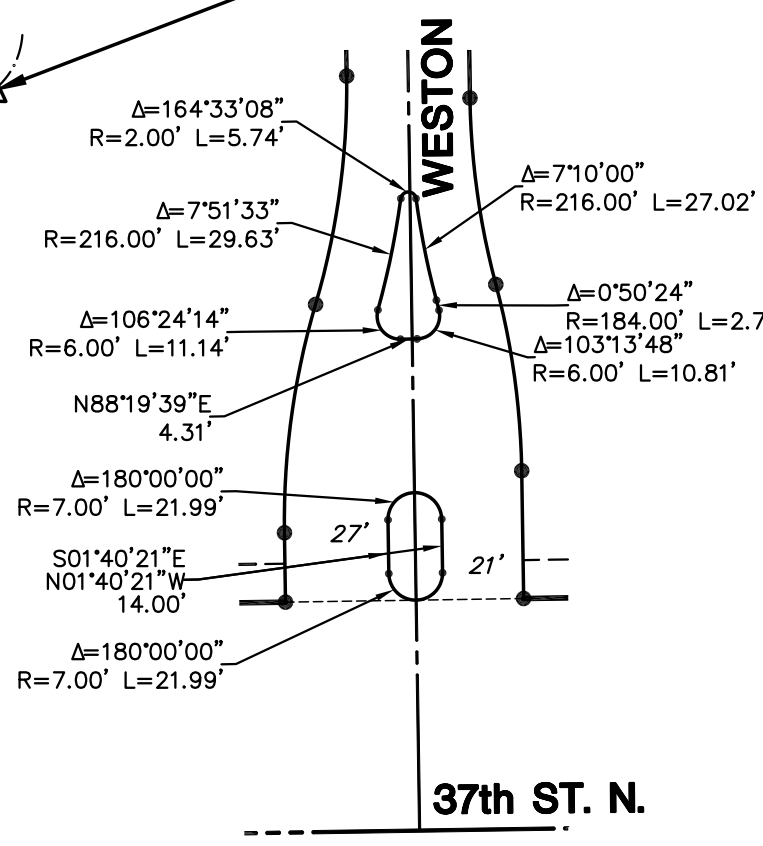
BENCH MARKS

- BM 21-0 Chiseled square on concrete base of brick fence post on south side of 37th St. 1573 feet west of Maize Rd.
Elev. = 1356.01 NAVD 88
- BM 1 Chiseled square on top of curb at south end of entrance island at Hampton Lakes St. and Manchester St.
Elev. = 1357.69 NAVD 88
- BM 2 Chiseled square at northwest corner of pad of traffic signal manhole at northwest corner of Maize Rd. and 37th St.
Elev. = 1354.49 NAVD 88

RESERVE "C" DETAIL



RESERVES "A" & "B" DETAIL



Basis of Bearing: Kansas coordinate system of 1983 south zone grid bearing of N01°15'19"W along the E. line of the SE 1/4, Sec. 30, T26S, R1W, 6th P.M.
This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728

LEGEND

- Date of Survey: April 8th, 2011
- △ = Section corner monument found
 - = Found 3/8" rebar w/ MKEC CLS 39 id. cap unless otherwise annotated
 - = Set 3/8" rebar w/ MKEC CLS 39 id. cap
 - (M) = Measured
 - (CM) = Calculated from measured
 - (P) = Platted

PLANNING COMMISSION CERTIFICATE

This plat of "HAMPTON SQUARE SECOND ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this _____ day of _____, 2011

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

_____, Chair
Debra Miller Stevens, Chair

Attest: _____, Secretary
John L. Schlegel, Secretary

Affix MAPC Seal

GOVERNING BODY CERTIFICATE

The dedications shown on this plat are hereby accepted and this plat is hereby approved by the governing body of the City of Wichita, Kansas.

Dated this _____ day of _____, 2011

At the direction of the City Council.

_____, Mayor
Carl Brewer, Mayor

Attest: _____, City Clerk
Karen Sublett, City Clerk

Affix City Seal

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY} ss:

Entered on transfer record this _____ day of _____, 2011

_____, County Clerk
Kelly B. Arnold, County Clerk

Affix County Clerk Seal

REGISTER OF DEEDS CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY} ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this day of _____, 2011, at _____ o'clock _____ M, and is duly recorded.

_____, Register of Deeds
Bill Meek, Register of Deeds

Attest: _____, Deputy
Tonya E. Buckingham, Deputy

Affix Register of Deeds Seal

COUNTY SURVEYOR

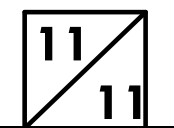
STATE OF KANSAS, SEDGWICK COUNTY} ss:

Reviewed in accordance with K.S.A. 58-2005 on this _____ day of _____, 2011.

_____, Deputy County Surveyor
Tricia L. Robello, LS #1246
Deputy County Surveyor
Sedgwick County, Kansas



411 N. WEBB ROAD
WICHITA, KS. 67206
316-684-9600



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