

# Storm Sewer & Drainage Improvements

## KISER WEST SECOND ADDITION

Lot 1, Block 1  
 Private Project Drainage: 091 PPD (607861)  
 CITY OF WICHITA, KANSAS

Gary Janzen, P.E. Interim City Engineer  
 March 2012

### Sheet Index

Title Sheet	Legal Description
1	Lot 1, Block 1, Kiser 2nd Addition, & part of Lot 4, Block 1, Kiser West Addition, Wichita, Sedgwick County, Kansas.
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3	
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5-6	
7	
8	
Details Available upon request.	

### Benchmarks

Benchmark-1  
 Chiseled square on cut on rim of curb inlet, 260' west of NE corner of Site.  
 Elev. = 1388.30 (NAVD 88)

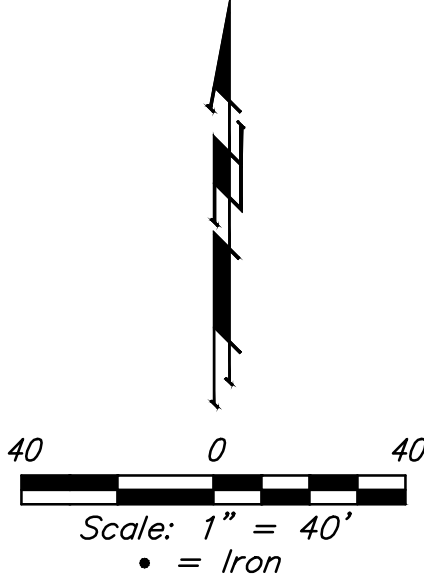
### AS BUILT PLANS

CONTRACTOR:	McCullough Excavation
INSPECTOR:	Ryan McCullough P.E., McCullough Excavation
PDF BY:	RDM 12-17-2012

### GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:  

Kansas One-Call	687-2470
Cox Communications	262-4270
Kansas Gas Service	1-888-482-4950
Westar Energy	383-8650
Black Hills Energy (Gas)	1-800-303-0357
ATT	268-2245
City of Wichita Water Dept.	268-4563
City of Wichita Sewer Maint.	268-4024
City of Wichita Storm Sewer Maint.	268-4090
City of Wichita Traffic Maint.	268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance Any work done without inspection will be required to be uncovered for inspection.
- The Baseline for this project is the Centerline of 13th Street North, with intersection of Greenwich = Station 20+00. Existing property iron locations are shown on sheet 4 of these plans, per the baseline.



Revision 9-26-12:  
 Added SWS line 5 and additional parking lot to Lot 4, Blk 1, Kiser West Addition.

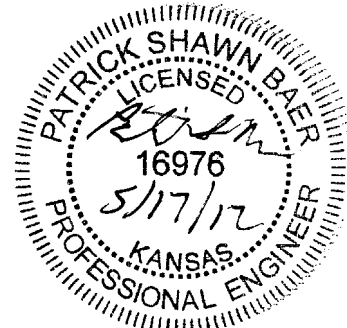
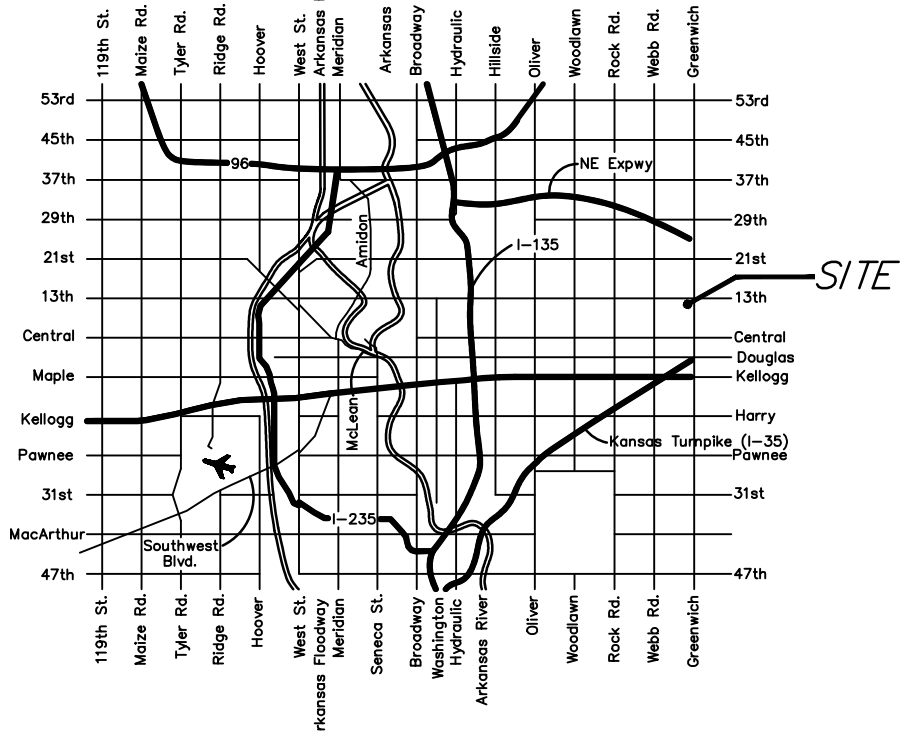
APPROVED AS NOTED  
 BY CITY ENGINEER OF WICHITA

Engineering *Paul Baughman* 5-18-12

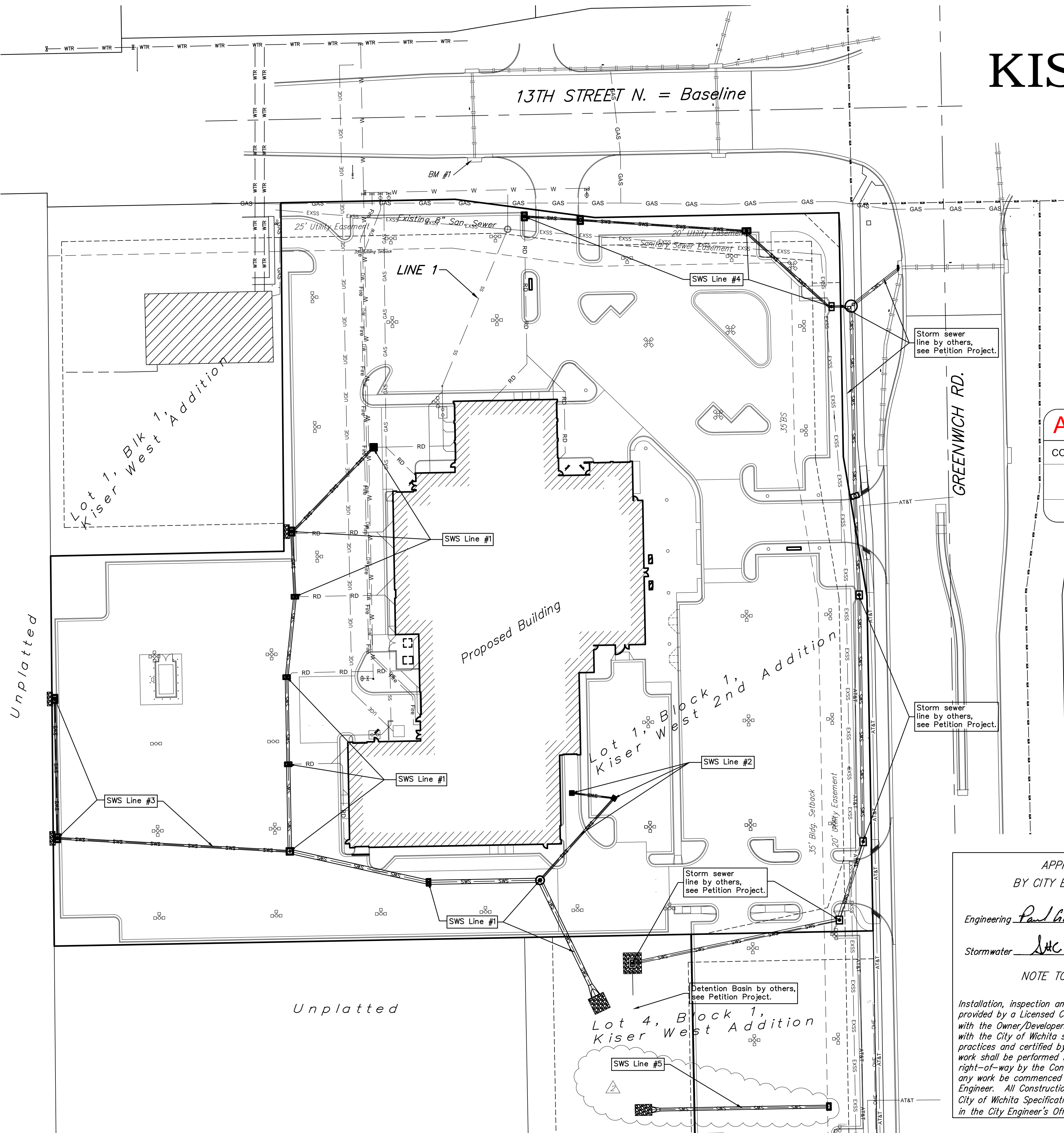
Stormwater *JHC/ML* 5-18-12

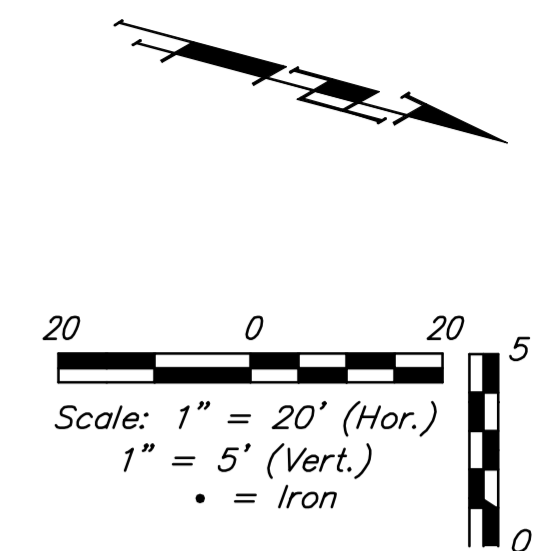
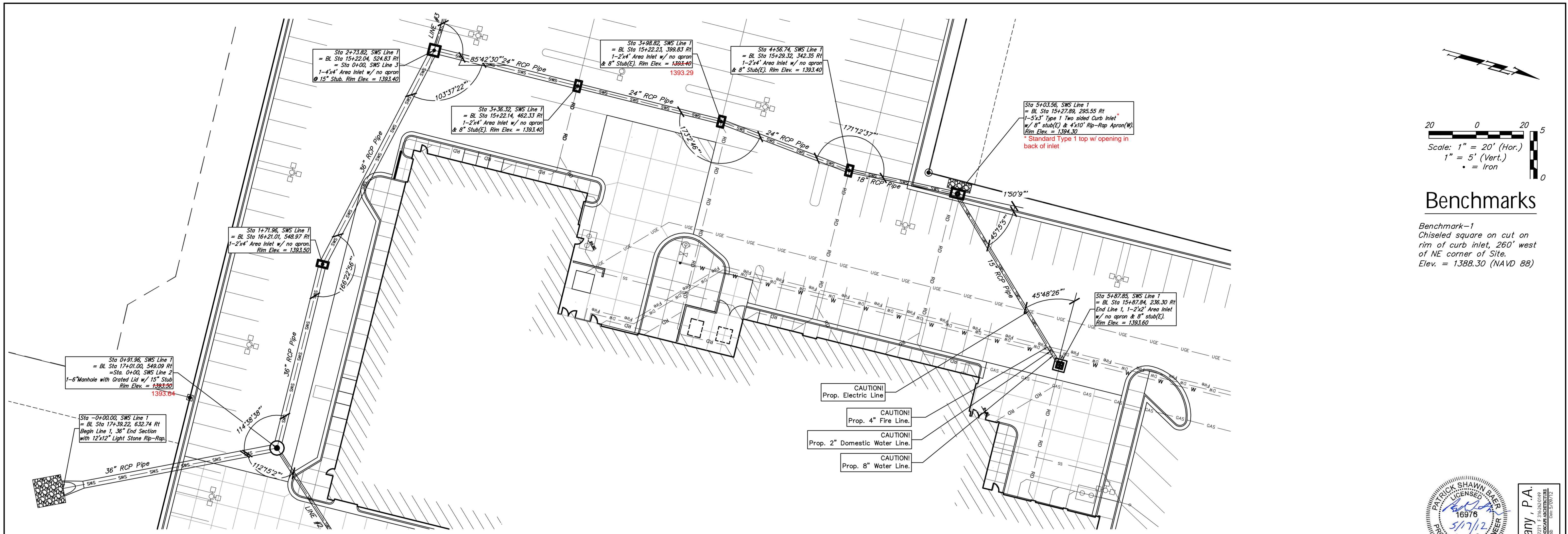
NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-2271 F 316-262-0149  
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

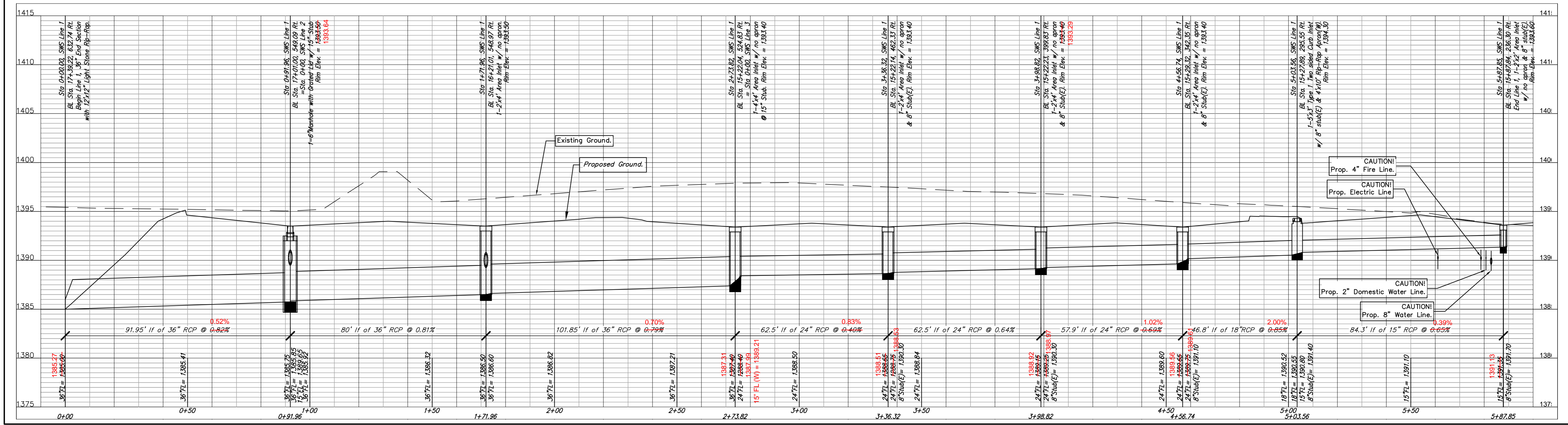




### Benchmarks

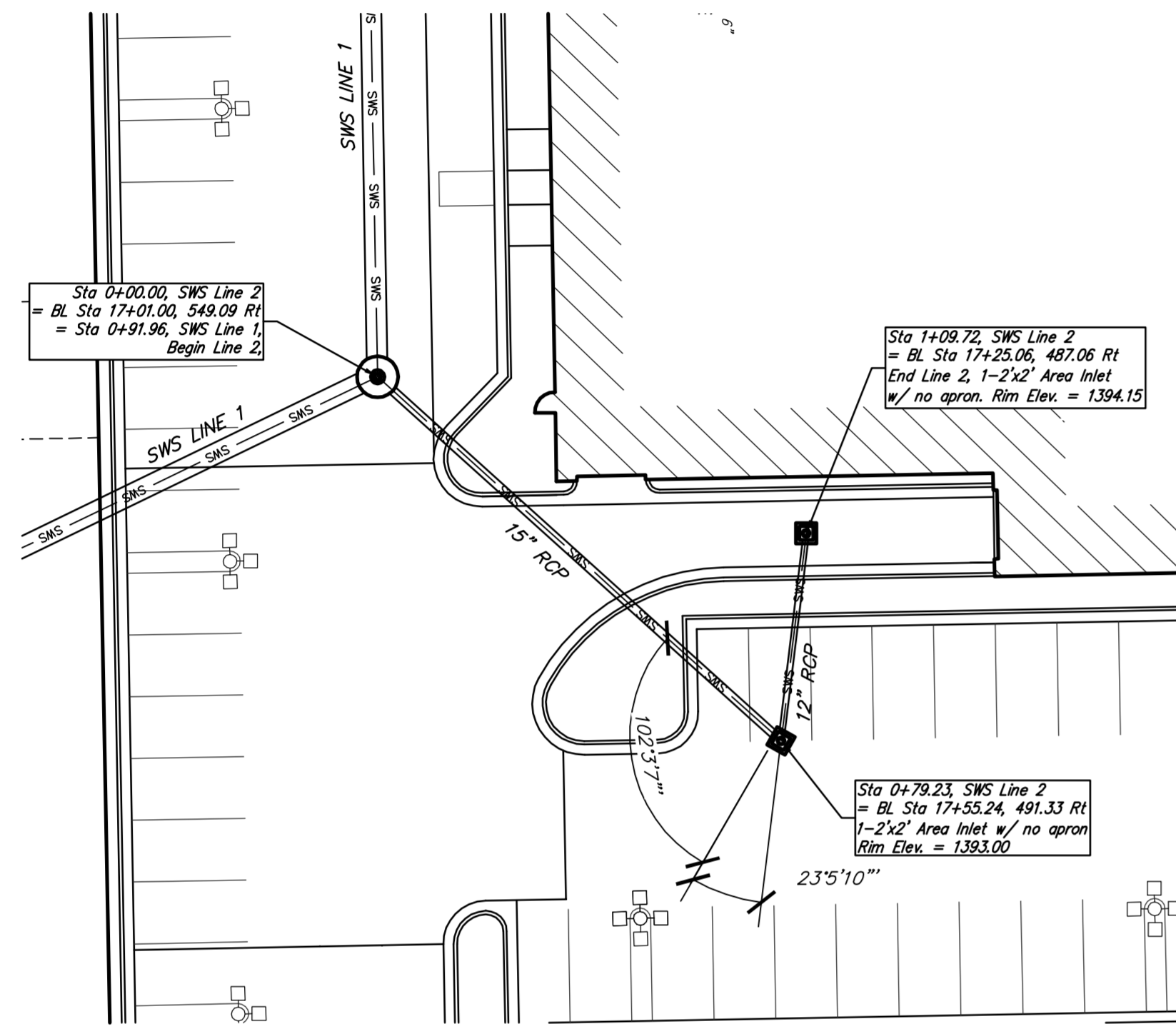
Benchmark-1  
Chiseled square on cut on rim of curb inlet, 260' west of NE corner of Site.  
Elev. = 1388.30 (NAVD 88)

Profile View of SWS Line 1

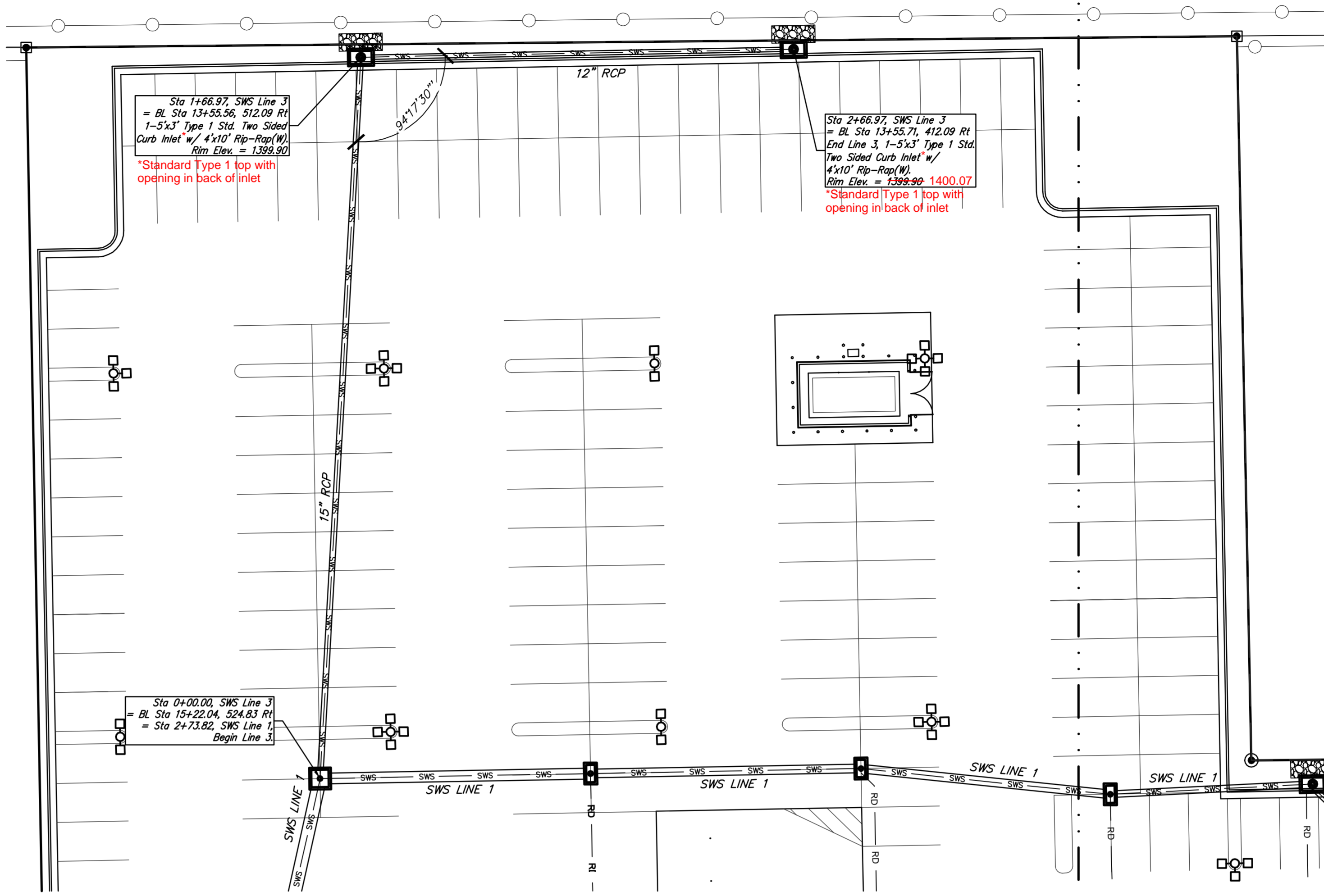


**Baughman Company, P.A.**  
315 E. 15th St., Wichita, KS 67211 P: 316-262-7271 F: 316-262-0149  
ENGINEERING | SURVEYING | TRANSPORTATION | LANDSCAPE ARCHITECTURE  
www.baughmanpa.com

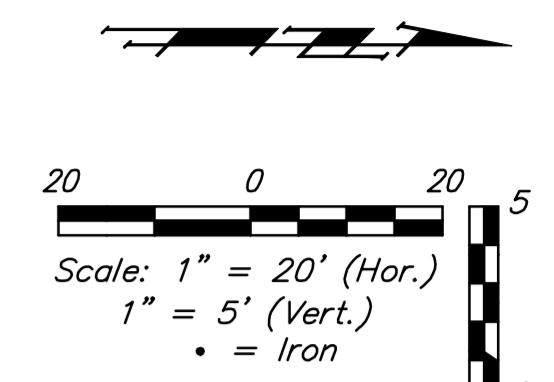
Kiser 2nd Addition  
**LINE 1**  
Drainage Improvements



Profile View of SWS Line 2



Profile View of SWS Line 3

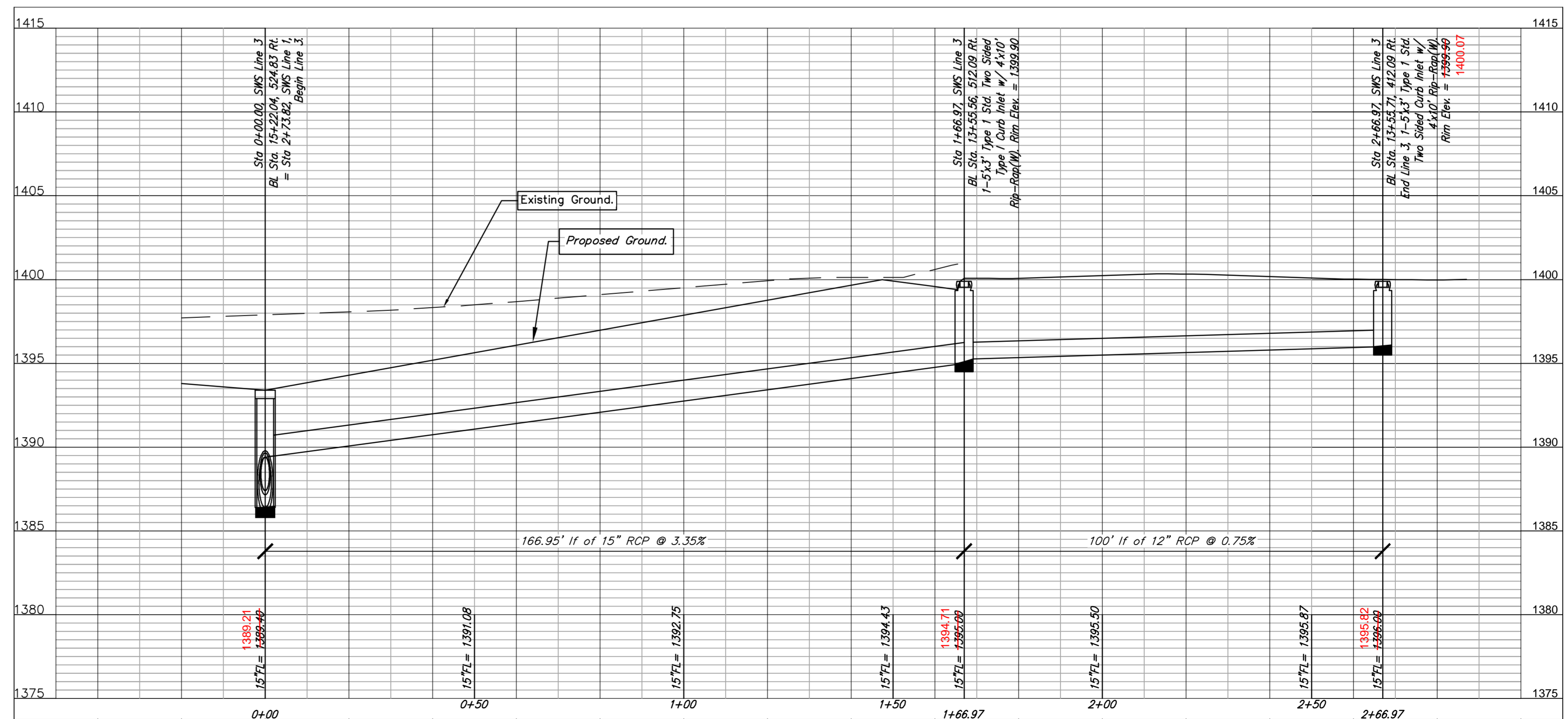
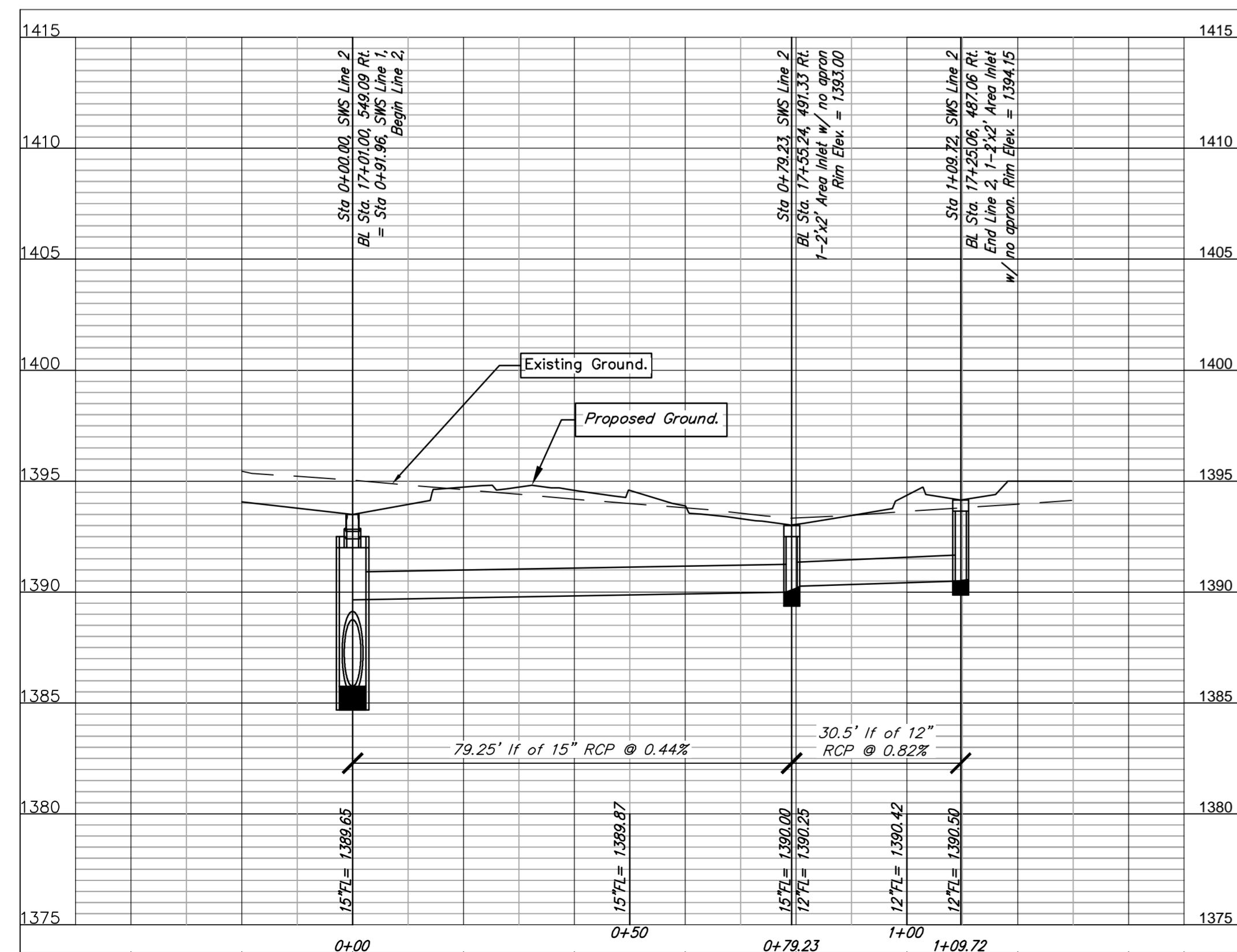


### Benchmarks

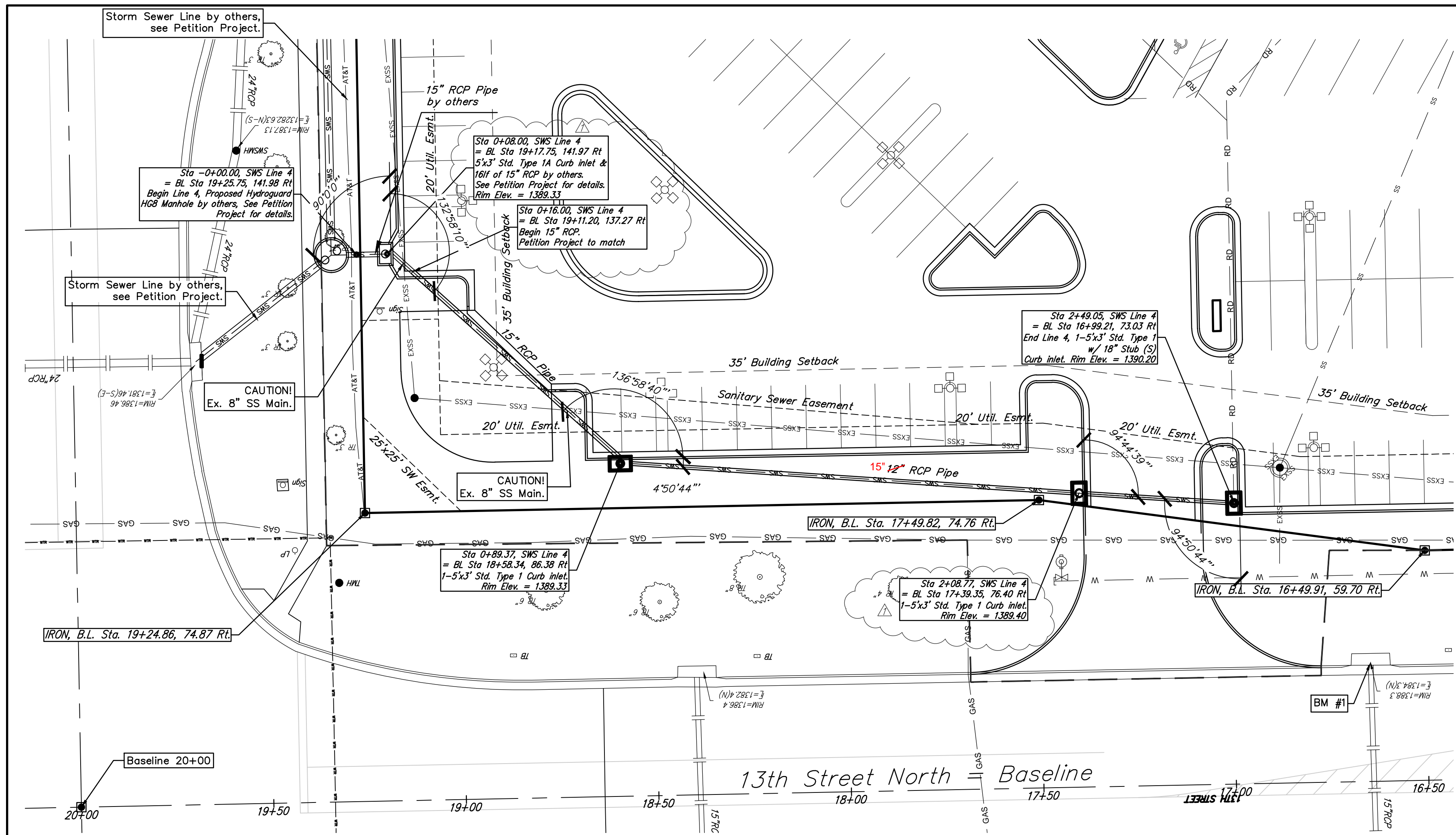
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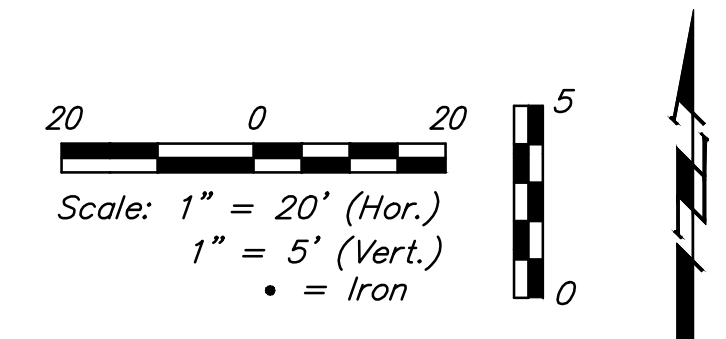
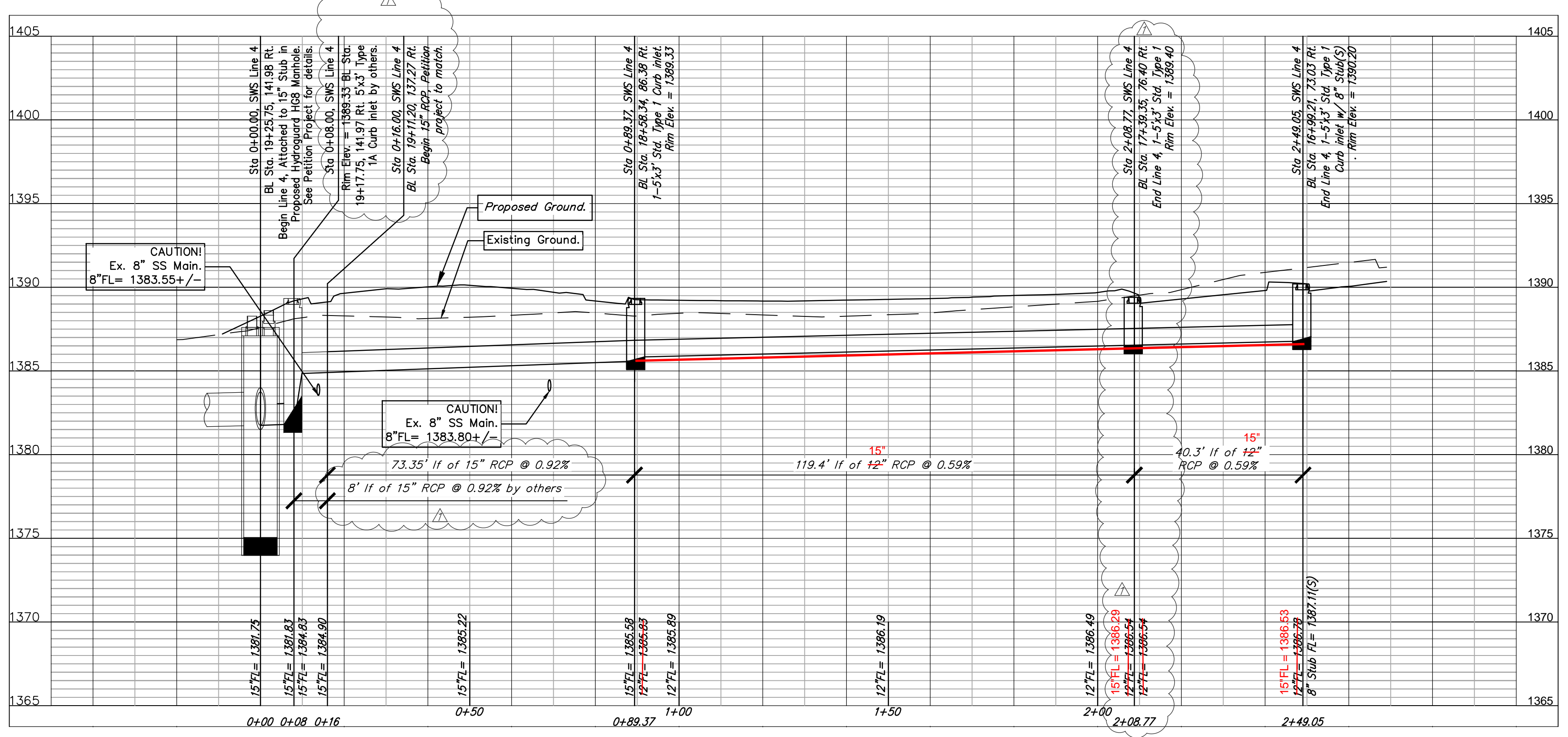
**Baughman Company, P.A.**  
315 E.H.S. WARD, AS 62711 P.316-2627271 F.316-2626149  
ENGINEERING | SURVEYING | LANDSCAPE ARCHITECTURE  
Baughman  
Professional Engineer  
Apprentice P.E.  
Date: 2/27/12



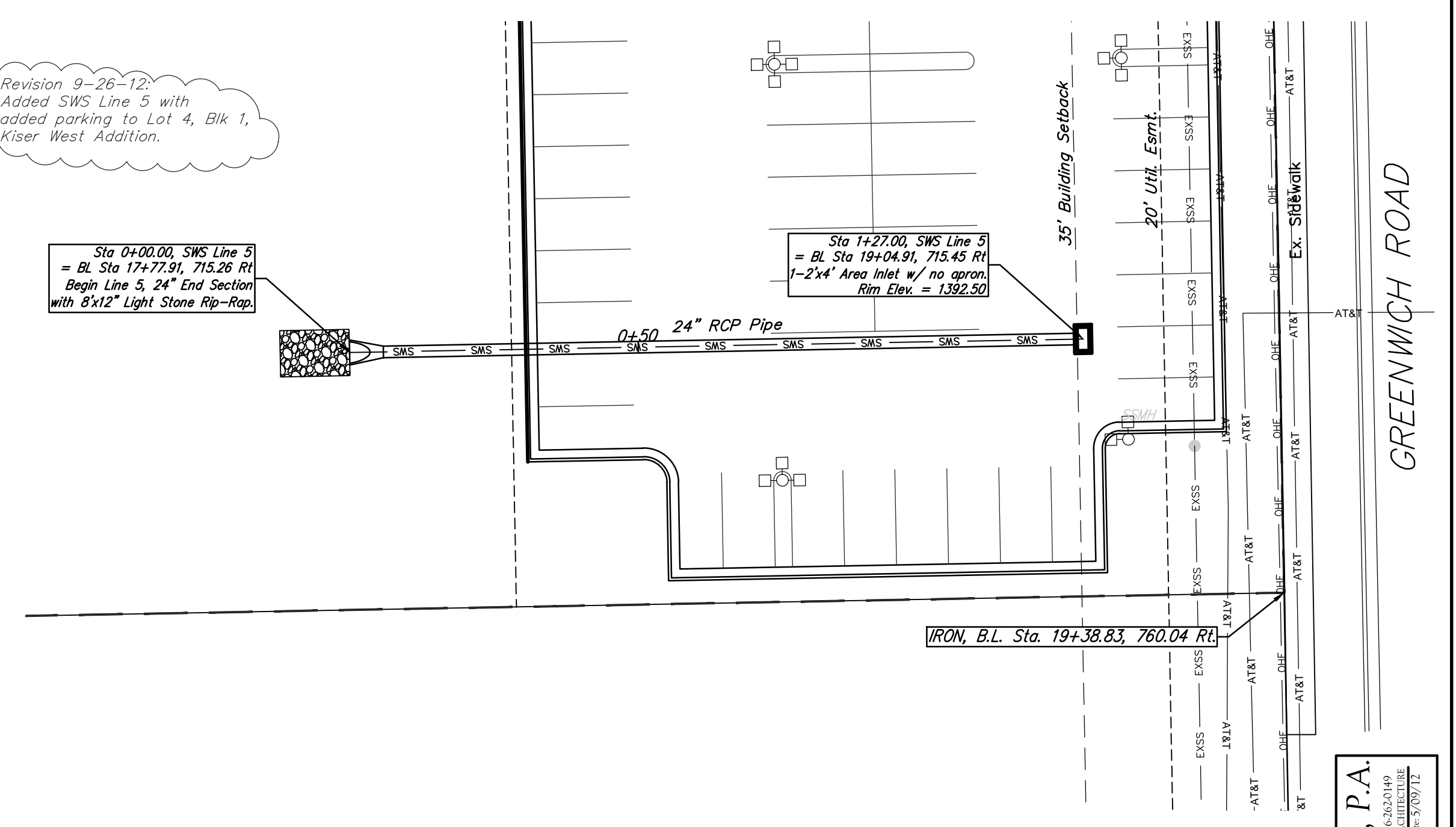
Kiser 2nd Addition  
**LINE 2 & 3**  
Drainage Improvements



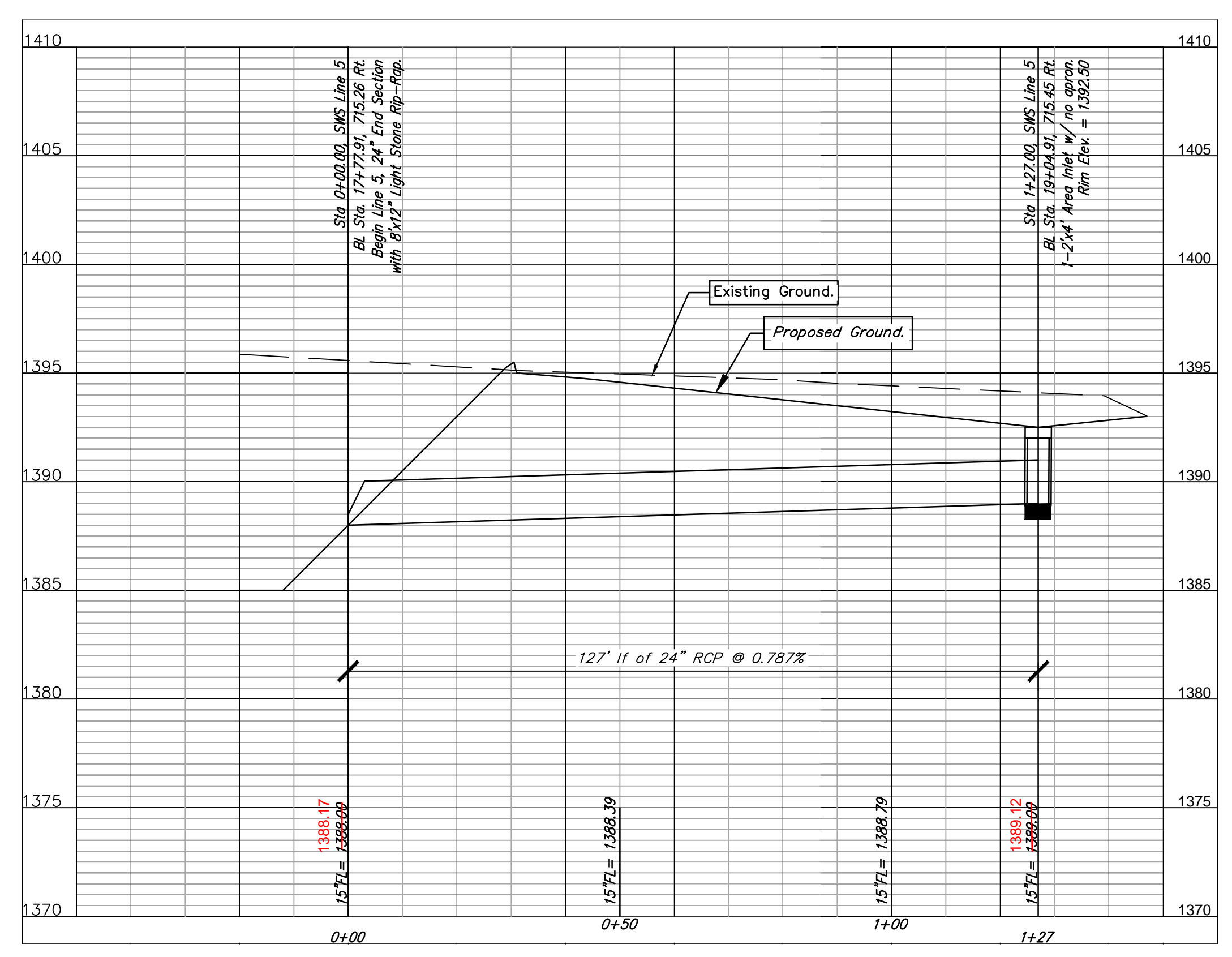
Profile View of SWS Line 4



Revision 9-26-12:  
Added SWS Line 5 with  
added parking to Lot 4, Blk 1,  
Kiser West Addition.

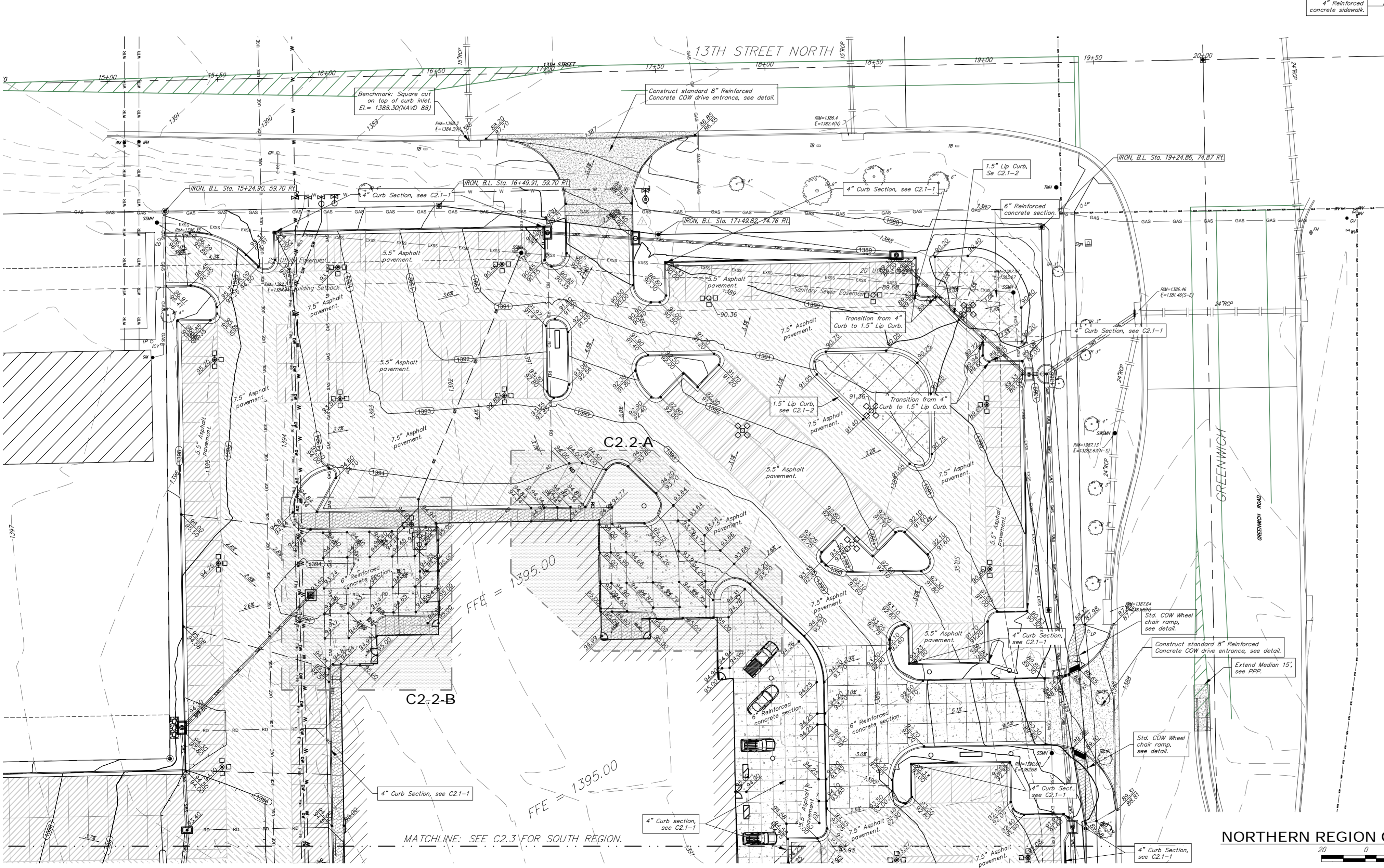
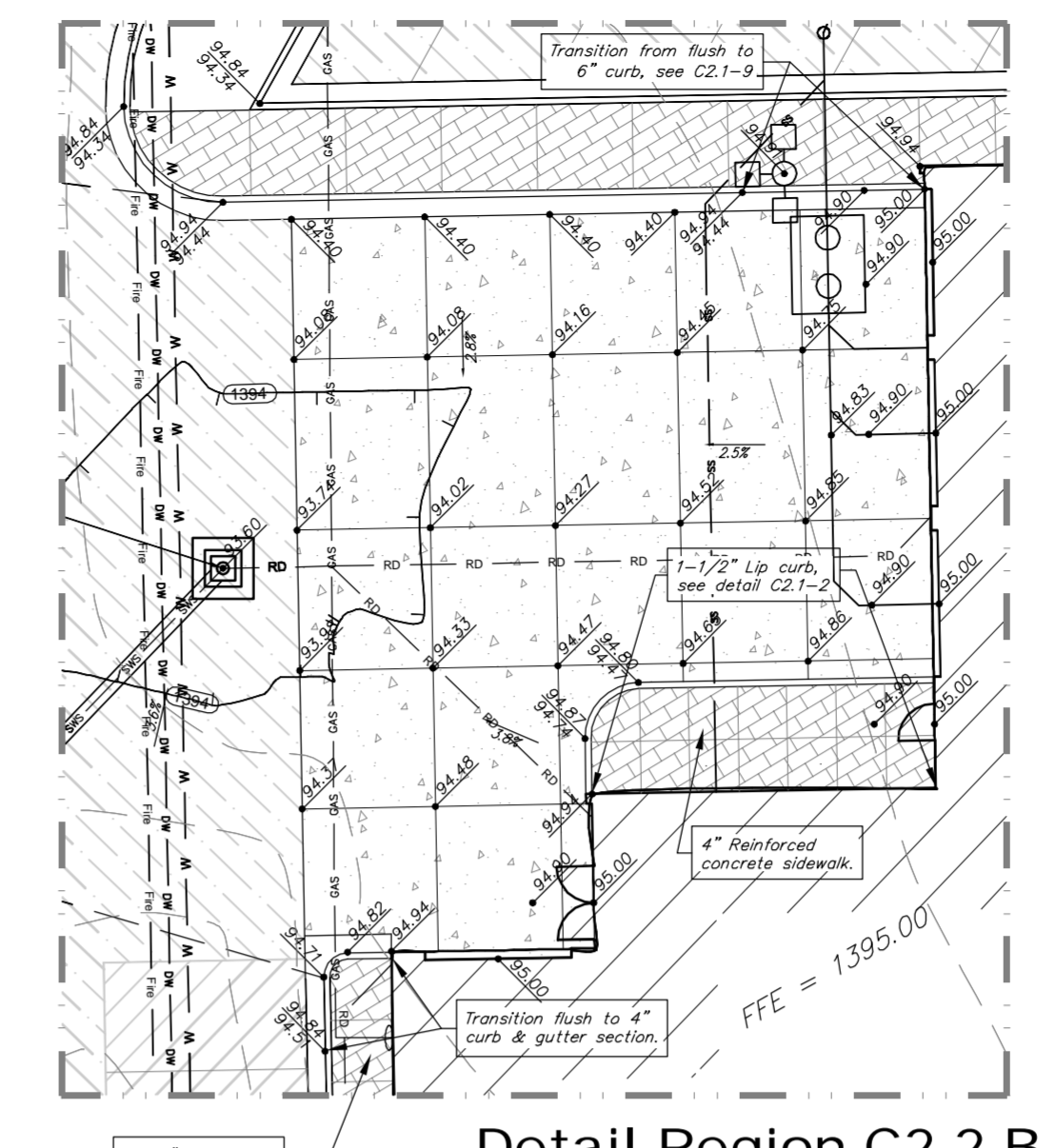
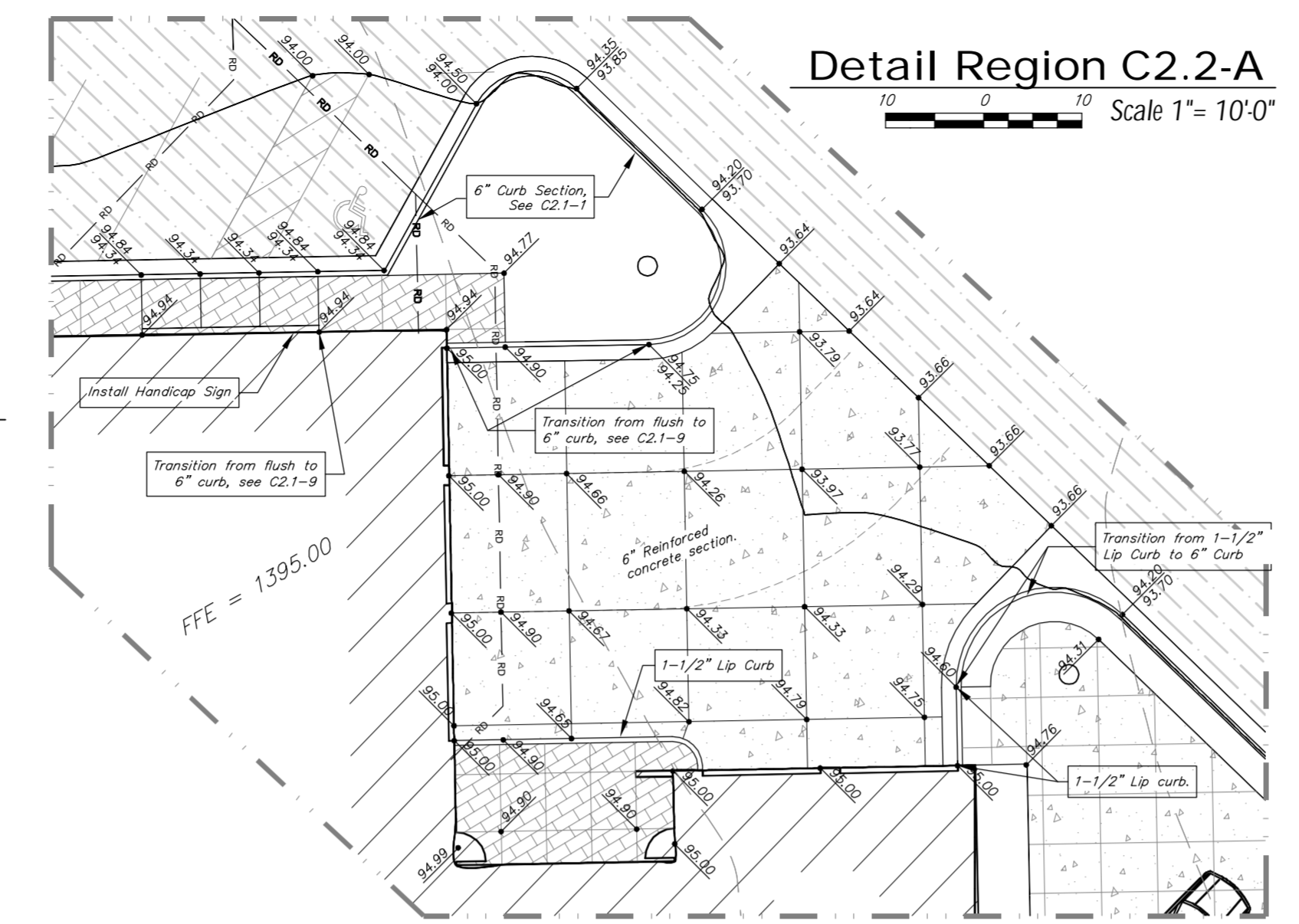
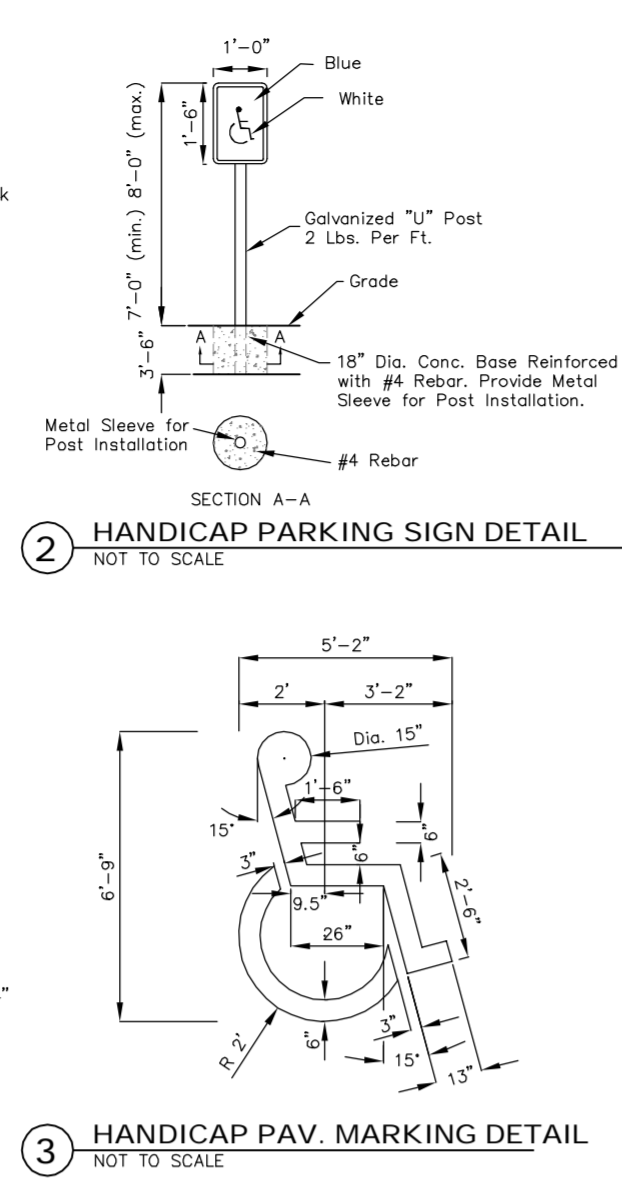
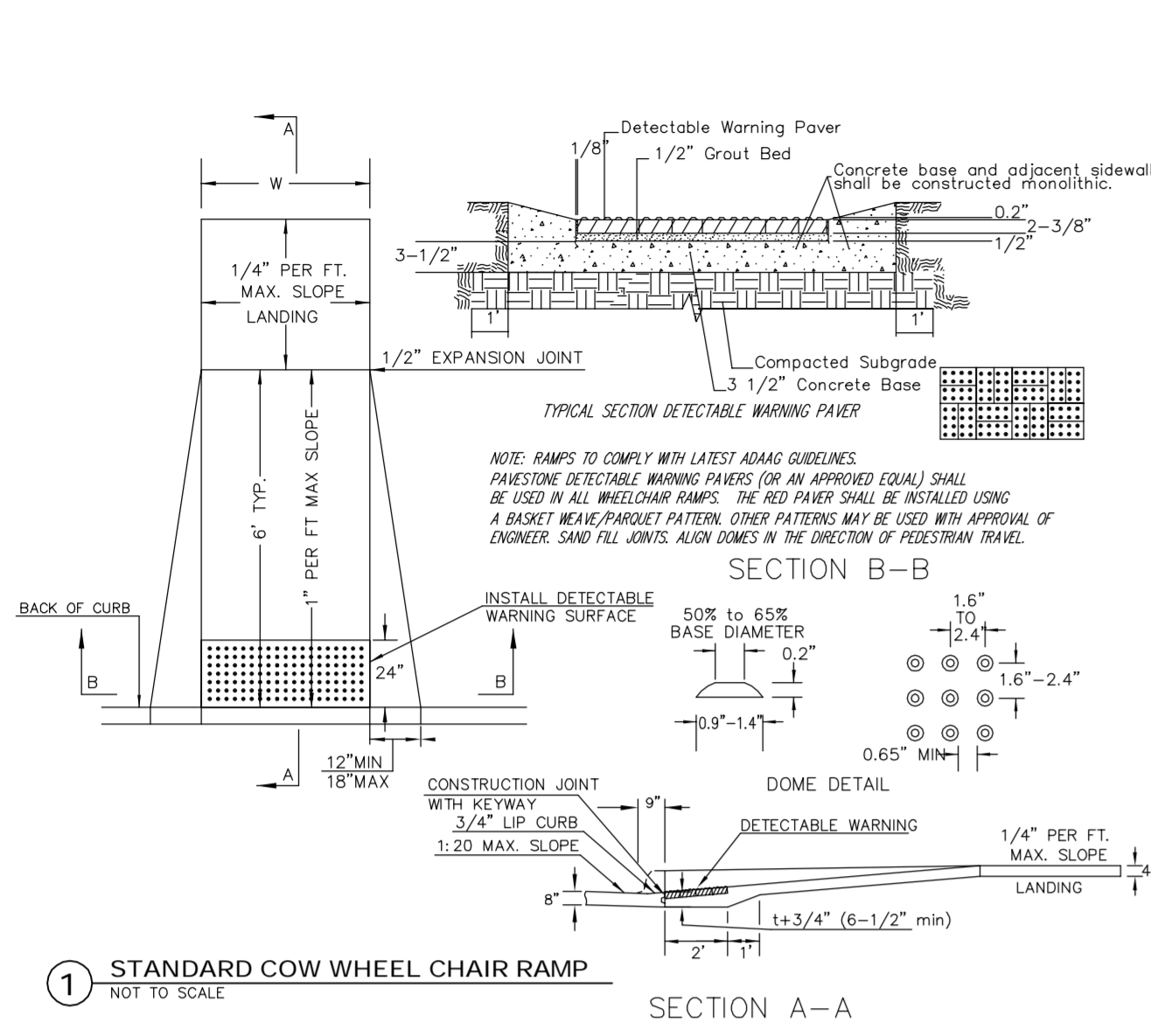


Profile View of SWS Line 5



### Benchmarks

Benchmark-1  
Chiseled square on cut on  
rim of curb inlet, 260' west  
of NE corner of Site.  
Elev. = 1388.30 (NAVD 88)



**BENCHMARK**  
Benchmark-1  
Chiseled square on cut on rim of curb inlet, 260' west of NE corner of site.  
Elev. = 1388.30 (NAVD 88)

**LEGAL DESCRIPTION**  
Lot 1, Block 1, Kiser 2nd Addition, & part of Lot 4, Block 1, Kiser West Addition, Wichita, Sedgewick County, Kansas.

**SITE INFORMATION**

Total Area:	±261,174 sq. ft. (6.00 acres)
Portion of Lot 4, Kiser 2nd Add. ±	42,469 sq. ft. (0.97 acres)
Total Area:	±303,643 sq. ft. (6.97 acres)
Disturbed Area:	±302,700 sq. ft. (6.94 acres)
Impervious Area:	±238,973 sq. ft. (5.49 acres)
Building Area:	45,374 sq. ft.
Parking Provided:	108 Spaces, including 5 Accessible Stalls 333 New Inventory Vehicle Stalls

**GRADING NOTES**

- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- The Contractor shall verify all utility locations prior to construction of this project.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%), Notify Landscape Architect of any discrepancies prior to forming of walks.
- Sidewalk and Pavement grades adjacent to the building are to be set 1" (0.08') below finished floor elevation (FFE), except at door and garage openings. Perimeter pavement openings will match FFE and transition at 2% (minimum 3") to 1" below FFE.
- A typical 6" Curb and gutter section is to be constructed, unless otherwise noted on the Grading plan. Transition between 6" curb with a minimum 18" length and not along the front line of the parking stall.

**GRADING LEGEND**

Existing Utilities	
USE	Electric Underground
OHE	Electric Overhead
WTR	Water Line
GAS	Gas Line
PPR	Petroleum Pipeline
SMW	Storm Water Sewer Pipe
SSW	Storm Water Sewer Pipe (Profiled)
TELE	Telecommunication (AT&T)
COX	Telecommunication (Cox)
Proposed Utilities	
USE	Electric Underground
OHE	Electric Overhead
WTR	Water Line
FL	Fire Line
GAS	Gas Line
SMW	Storm Water Sewer Pipe
RD	Roof Drain
SS	Sanitary Sewer Line
TELE	Telecommunication (AT&T)
COX	Telecommunication (Cox)

1390	5.5" Asphalt Pavement w/ LVC or treated subgrade.
1389	7.5" Asphalt Pavement w/ LVC or treated subgrade.
1388	6" Rein. Concrete Pavement w/ LVC or treated subgrade.
1387	8" Rein. Concrete Pavement w/ LVC or treated subgrade.
1386	Sidewalk Pavement.

DATE DRAWN  
14-0012  
REVISIONS

**Baughman**  
ENGINEERING | SURVEYING | PLANNING  
LANDSCAPE ARCHITECTURE  
Baughman Company, P.A.  
315 Ellis St. Wichita, KS 67211  
P316.262.7271 F316.262.0149  
PRINTS ISSUED FOR PERMIT 4-04-12

**KREHBIEL ARCHITECTURE**  
1300 E. Lewis  
Wichita, KS 67211  
316.267.8233  
316.267.8566 fax  
krehbielarchitecture.com

DATE

BAC - 116183  
**SCHOLFIELD BUICK - GMC**  
1333 N. GREENWICH ROAD  
WICHITA, KANSAS

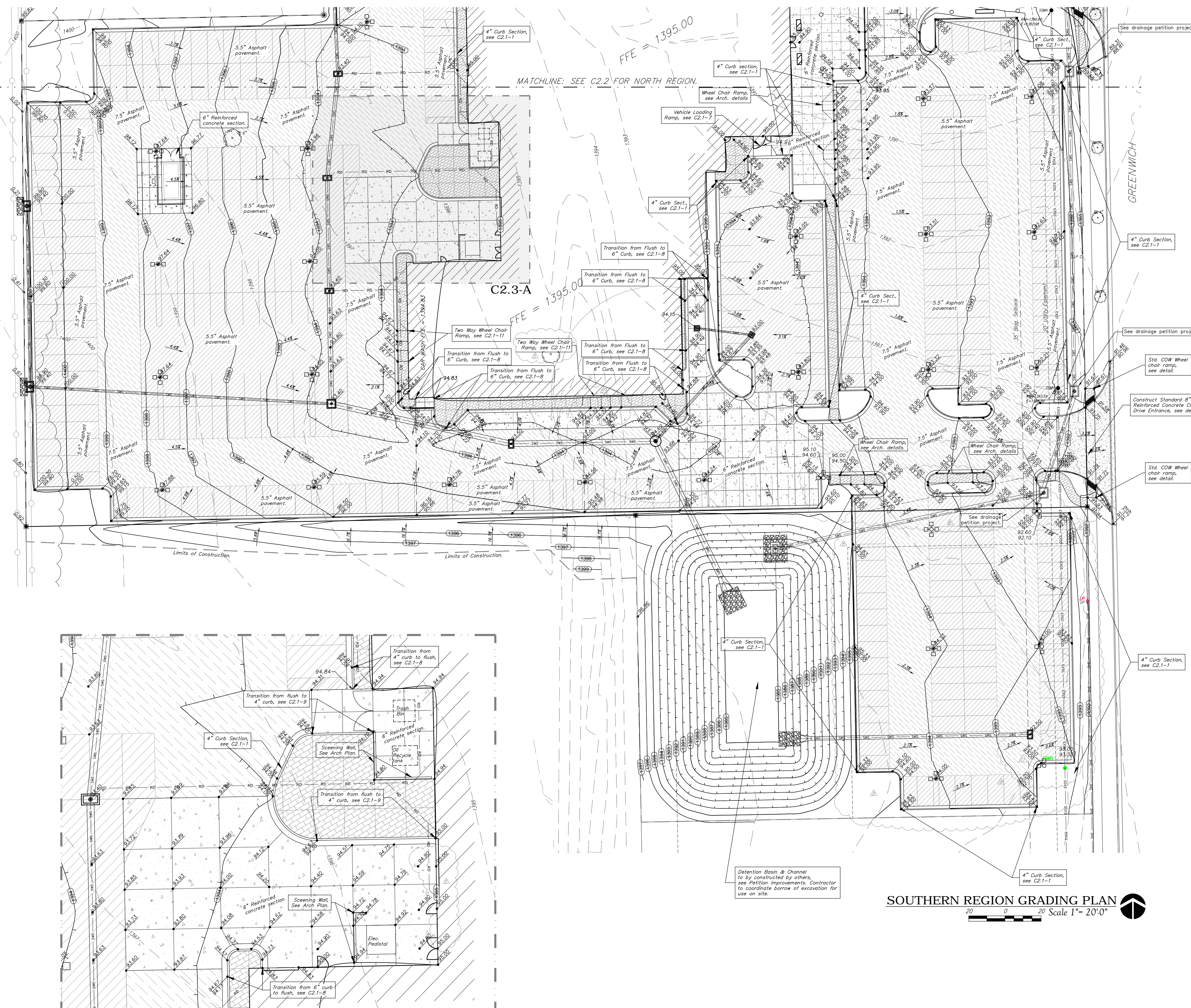
PROJECT NO.  
10047  
SHEET TITLE  
**GRADING PLAN**  
SHEET NO.  
**C2.2**

**Baughman** Lot 1, Blk. 1, Kiser West 2nd Addition  
**REFERENCE COPY GRADING PLAN**  
Wichita, Kansas

Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316.262.7271 F 316.262.0149  
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER 091 PPD (607861)	DESIGN PSB	DRAWN psb
REVISIONS: 6-6-12 Add two inlets & Pad. Access	APPROVED PSB	DATE 5/09/12
SCALE varies	SHEET <b>5 of 8</b>	

For Reference Only



**BENCHMARK**

Benchmark-1  
Chiseled square on cut on rim of curb inlet, 260' west of NE corner of Site.  
Elev. = 1386.30 (NAVD 88)

**LEGAL DESCRIPTION**

Lot 1, Block 1, Kiser 2nd Addition, & part of Lot 4, Block 1, Kiser West Addition, Wichita, Sedgewick County, Kansas.

**SITE INFORMATION**

Total Area: Lot 1, Kiser 2nd Add. ±261,174 sq. ft. (6.00 acres)  
Portion of Lot 4, Kiser 2nd Add. ±42,469 sq. ft. (0.97 acres)  
Total Area: ±303,643 sq. ft. (6.97 acres)  
Disturbed Area: ±302,700 sq. ft. (6.94 acres)  
Impervious Area: ±238,973 sq. ft. (5.48 acres)  
Building Area: 45,374 sq. ft.  
Parking Provided: 108 Spaces, including 5 Accessible Stalls  
333 New Inventory Vehicle Stalls.

**GRADING NOTES**

- Existing utilities and their locations, as shown on the plans, represent the best information available for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- The Contractor shall verify all utility locations prior to construction of this project.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.
- Sidewalk and Pavement grades adjacent to the building are to be set 2" (0.06') below finished floor elevation (FFE), except at door and garage openings. Perimeter pavement openings will match FFE and transition at 2% (minimum 3') to 2" below FFE.
- A typical 6" Curb and gutter section is to be constructed, unless otherwise noted on the Grading plan. Transition between 6"-4" curb within a minimum 18" length and not along the front line of the parking stall.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property. For Hawker Beechcraft, contact Joe Freeman.

**GRADING LEGEND**

Existing Utilities	
—●—	Electric Underground
—○—	Electric Overhead
—W—	Water Line
—GAS—	Gas Line
—P—	Petroleum Pipeline
—SWS—	Storm Water Sewer Pipe
—EXSS—	Sanitary Sewer Line
—TEL—	Telecommunication (A&T)
—CATV—	Telecommunication (Cox)
Proposed Utilities	
—●—	Electric Underground
—○—	Electric Overhead
—W—	Water Line
—F—	Fire Line
—GAS—	Gas Line
—SWS—	Storm Water Sewer Pipe
—RD—	Roof Drain
—TEL—	Sanitary Sewer Line
—CATV—	Telecommunication (A&T)
—CATV—	Telecommunication (Cox)

Limits of Construction	
5.5" Asphalt Pavement	w/ LVC or treated subgrade.
7.5" Asphalt Pavement	w/ LVC or treated subgrade.
6" Rein. Concrete Pavement	w/ LVC or treated subgrade
8" Rein. Concrete Pavement	w/ LVC or treated subgrade
Sidewalk Pavement.	

**DATE DRAWN**  
4-4-2012

**REVISIONS**

1	OCI Comments 5-22-12
2	OCI Comments 6-04-12
3	Added parking lot 6-29-12
4	Adjusted parking lot 9-25-12



Baughman Company, P.A.  
110 Ellis St. Wichita, KS 67211  
P:316-262-2271 F:316-262-0149

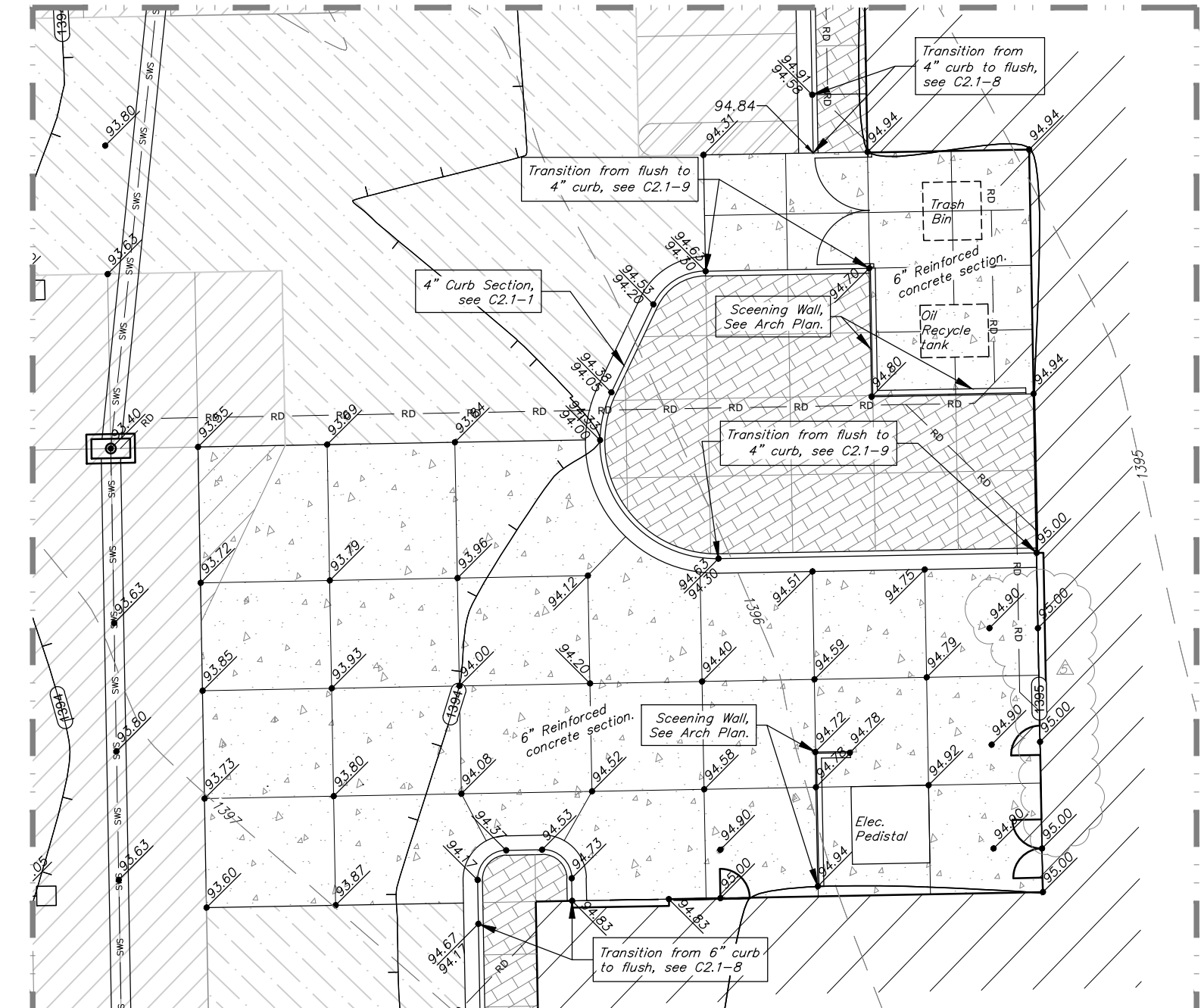
**PRINTS ISSUED**  
FOR PERMIT 4-04-12



1300 E. Lewis  
Wichita, KS 67211  
316.267.8233  
316.267.8568 fax  
kreibielarchitecture.com



For Reference Only



**Detail Region C2.3-A**  
Scale 1" = 10'-0"

**SOUTHERN REGION GRADING PLAN**  
Scale 1" = 20'-0"

BAC - 116183  
**SCHOLFIELD BUICK - GMC**  
1333 N. GREENWICH ROAD  
WICHITA, KANSAS

**PROJECT NO.**  
10047

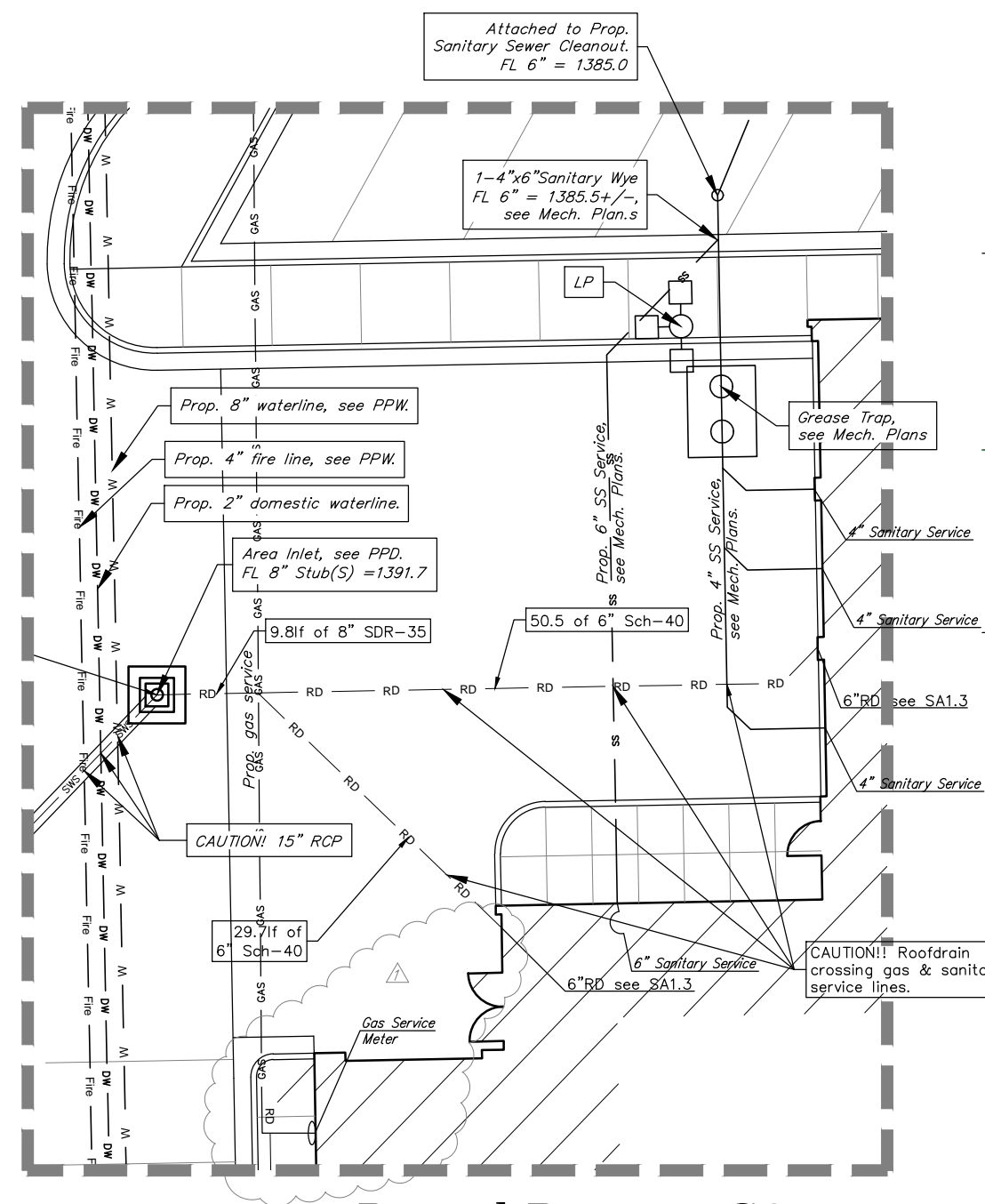
**SHEET TITLE**  
GRADING PLAN

**SHEET NO.**  
**C2.3**

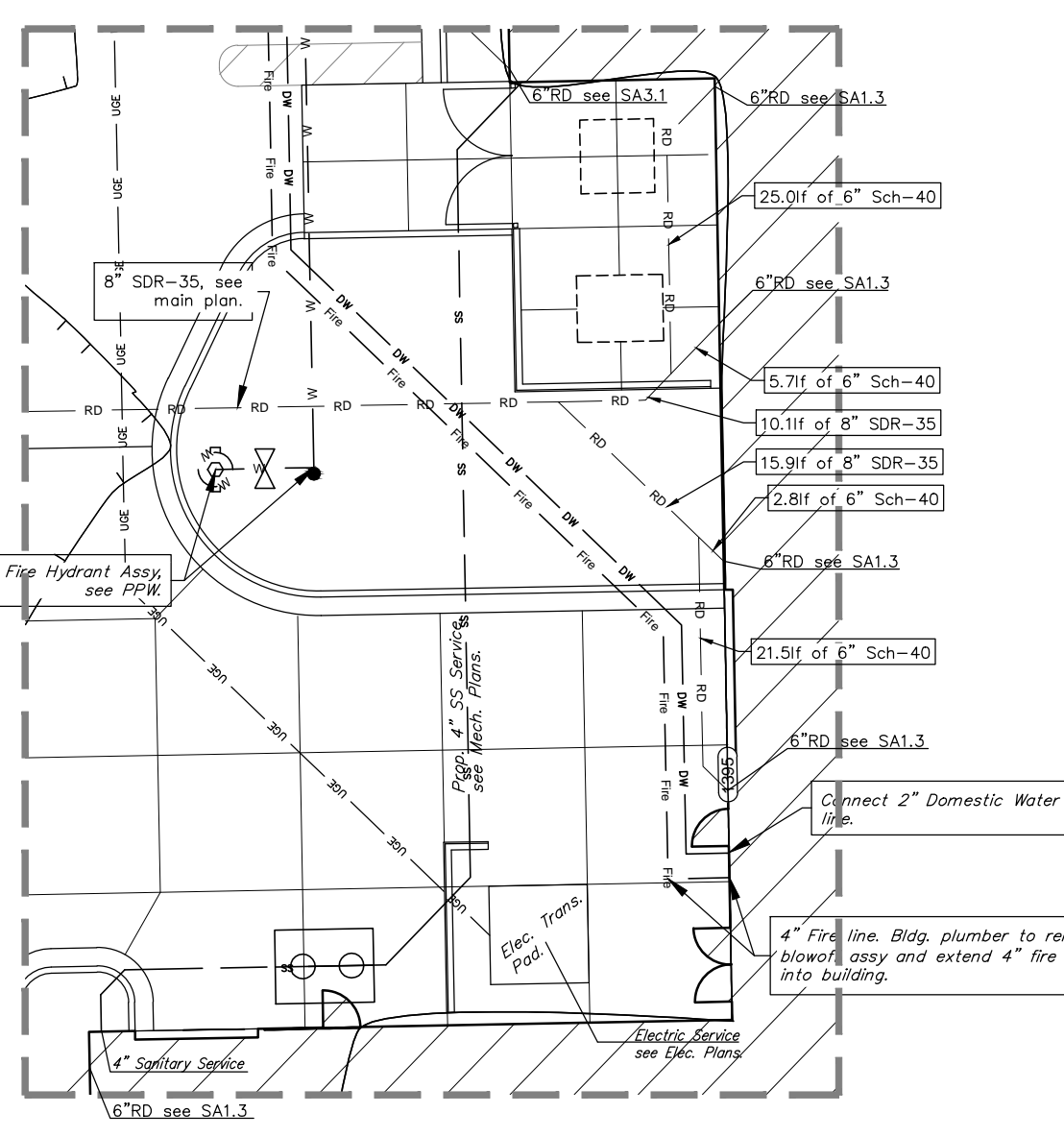


Baughman Company, P.A.  
110 Ellis St. Wichita, KS 67211  
P:316-262-2271 F:316-262-0149

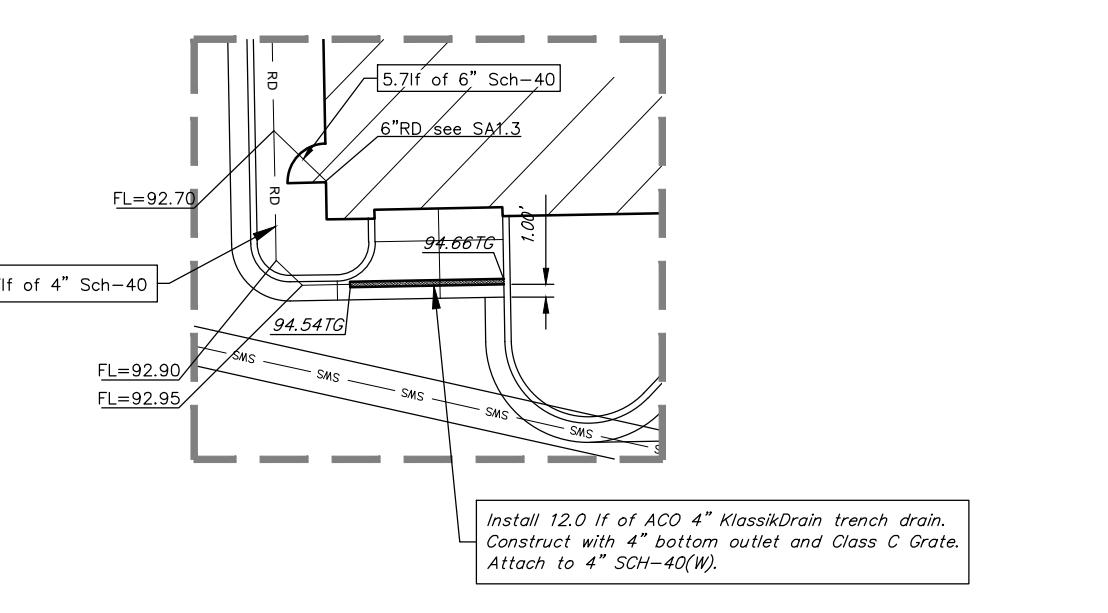
Lot 1, Blk. 1, Kiser West 2nd Addition <b>REFERENCE COPY</b> <b>GRADING PLAN</b> Wichita, Kansas	
Baughman Company, P.A. 110 Ellis St. Wichita, KS 67211 P:316-262-2271 F:316-262-0149 ENGINEERING   SURVEYING   PLANNING   LANDSCAPE ARCHITECTURE	
<b>PROJECT NUMBER</b> 091 PPD (607861)	<b>DESIGN</b> PSB <b>DRAWN</b> psb
<b>REVISIONS:</b> 6-6-12 psb Added to index & Pcd. access route	<b>APPROVED</b> PSB <b>DATE</b> 5/09/12
<b>SCALE</b> varies <b>SHEET</b> 6 OF 8	



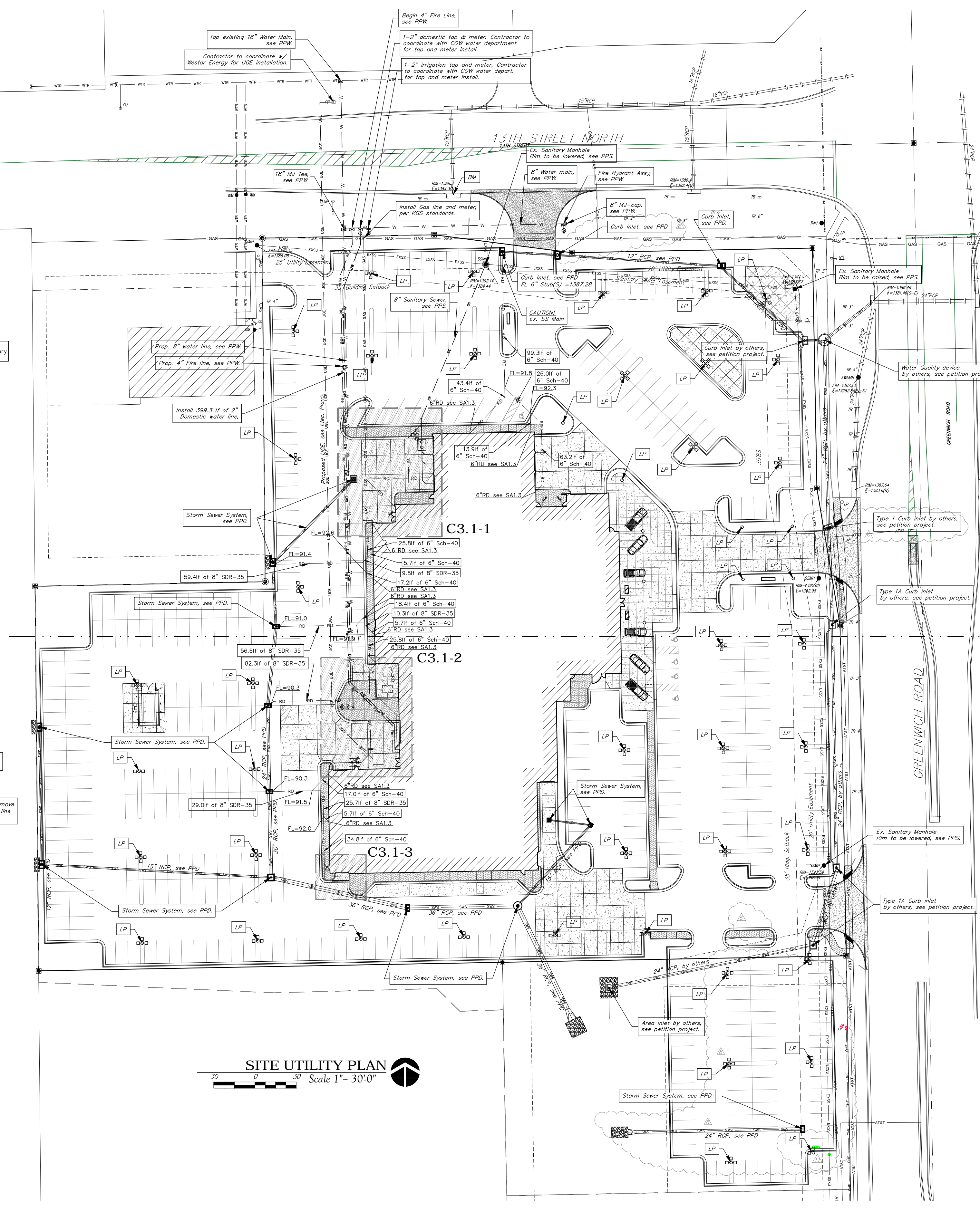
**Detail Region C3.1-1**  
Scale 1"= 10'-0"



**Detail Region C3.1-2**  
Scale 1"= 10'-0"



**Detail Region C3.1-3**  
Scale 1"= 10'-0"



**SITE UTILITY PLAN**  
Scale 1"= 30'-0"

**BENCHMARK**

Benchmark-1  
Chiseled square on cut on rim of curb inlet, 260' west of NE corner of Site.  
Elev. = 1388.30 (NAVD 88)

**LEGAL DESCRIPTION**

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**SITE INFORMATION**

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Disturbed Area: ±302,700 sq. ft. (6.94 acres)  
Impervious Area: ±238,973 sq. ft. (5.48 acres)  
Building Area: ±45,374 sq. ft.  
Parking Provided: 108 Spaces, Including 5 Accessible Stalls  
333 New Inventory Vehicle Stalls.

**UTILITY NOTES**

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:  
Kansas Gas Service (Gas).....1-888-482-4950  
Black Hills Energy (Gas).....1-800-303-0357  
Westar Energy (Electric).....383-8650  
Cox Communications (Telecommunication).....282-4270  
AT&T (Telecommunication).....268-2759  
City of Wichita Water Dept. (Water).....268-4563  
or 268-4908  
City of Wichita Sewer Maint. (San. Sewer).....268-4024  
or 262-4000  
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090  
City of Wichita Traffic Maint. (Tral. Control).....268-4034  
or 268-4203  
Conoco Pipeline Co. (Petroleum).....1-800-231-2200  
Williams Pipeline Co. (Petroleum).....329-8600  
Phillips Pipeline Co. (Petroleum).....1-800-324-9696  
or 1-800-324-9230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for treatment of disturbed areas.
- Proposed Water Main and Fire Hydrants shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The Water Main and Fire Hydrants shall be designed separately, and undergo Local City review and approval. The installation of the Water Main and Fire Hydrants are required to be done by a bonded contractor, inspected and verified. Refer to Separate Water Main and Fire Hydrants Plan Set. The Contractor shall construct the Water Main and Fire Hydrants only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- Proposed Sanitary Sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The sanitary sewer system shall be designed separately, and undergo Local City review and approval. The installation of the sanitary sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sanitary Sewer Plan Set. The Contractor shall construct the sanitary sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall receive written approval from adjacent landowners prior to proceeding with any construction work on landowner's property.
- Gas service tie-ins to new meters shall be per Local City codes. Tie-ins are to be above ground at the meter.
- Utility service connections are to be installed per applicable Local City Codes.
- Contractor shall be responsible for coordination of all utility service connections and all permits.
- Water taps to be made by Local City Water Department. Contractor to reimburse City for tapping costs.

**GRADING LEGEND**

Existing Utilities	
— UGE — UGE	Electric Underground
— OHE — OHE	Electric Overhead
— WTR — WTR	Water Line
— GAS — GAS	Gas Line
— PPL — PPL	Petroleum Pipeline
— SWS — SWS	Storm Water Sewer Pipe
— SSS — SSS	Sanitary Sewer Line
— TELE — TELE	Telecommunication (AT&T)
— CATV — CATV	Telecommunication (Cox)
Proposed Utilities	
— UGE — UGE	Electric Underground
— OHE — OHE	Electric Overhead
— WTR — WTR	Water Line
— GAS — GAS	Gas Line
— SWS — SWS	Storm Water Sewer Pipe (Profiled)
— RD — RD	Roof Drain
— SS — SS	Sanitary Sewer Line
— TELE — TELE	Telecommunication (AT&T)
— CATV — CATV	Telecommunication (Cox)

**DATE DRAWN**  
4-4-2012

**REVISIONS**  
△ OCI Comments 5-22-12  
△ OCI Comments 6-04-12  
△ Added parking lot 6-29-12  
△ Adjusted parking lot 9-25-12



Baughman Company, P.A.  
115 Ellis St., Wichita, KS 67211  
P: 316-262-2771 F: 316-262-0149

**PRINTS ISSUED**  
FOR PERMIT 4-04-12



1300 E. Lewis  
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316.267.8233  
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krehbielarchitecture.com



DATE

BAC - 116183  
**SCHOLFIELD BUICK - GMC**  
1333 N. GREENWICH ROAD  
WICHITA, KANSAS

*For Reference Only*

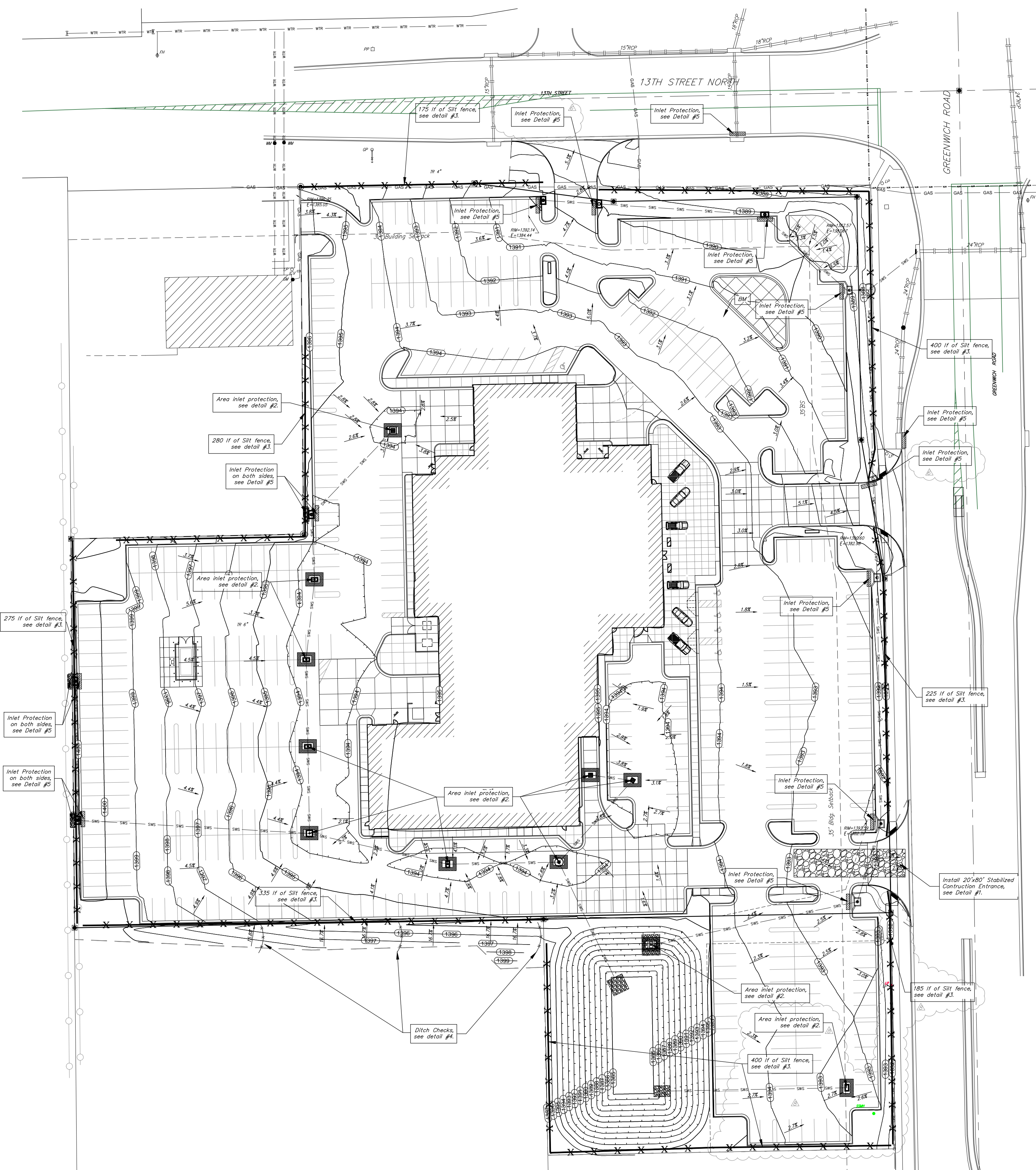
PROJECT NO.  
10097

SHEET TITLE  
UTILITY PLAN

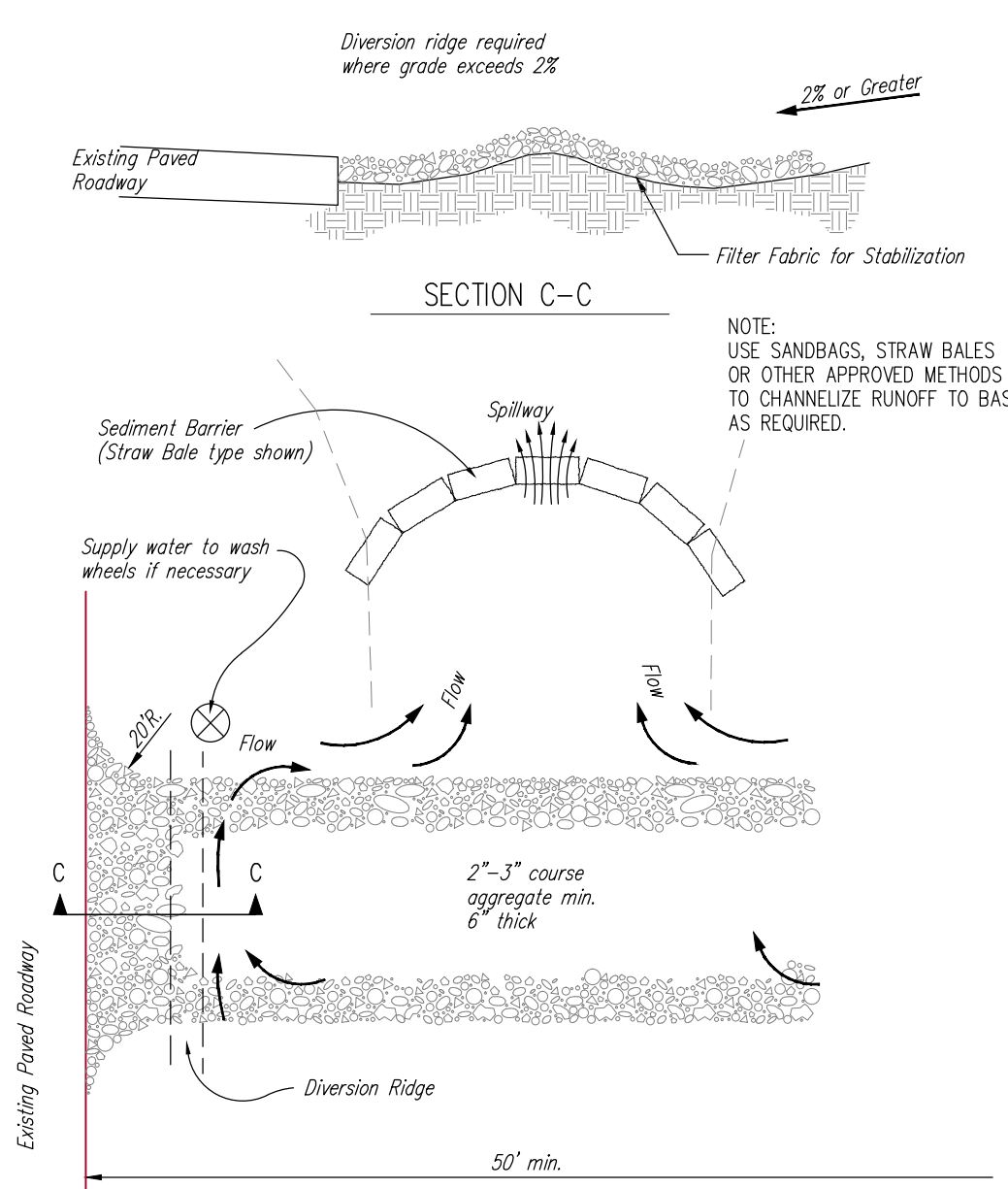
SHEET NO.  
**C3.1**

**Baughman** Lot 1, Blk. 1, Kiser West 2nd Addition  
**REFERENCE COPY**  
**UTILITY PLAN**  
Wichita, Kansas

Baughman Company, P.A. 115 Ellis St., Wichita, KS 67211 P: 316-262-2771 F: 316-262-0149		ENGINEERING   SURVEYING   PLANNING   LANDSCAPE ARCHITECTURE	
PROJECT NUMBER 091 PPD (607861)	DESIGN PSB	DRAWN psb	
REVISIONS: 6-12 psb Added two inlet & ped. access route.	APPROVED PSB	DATE 5/09/12	
SCALE varies		SHEET <b>7 OF 8</b>	

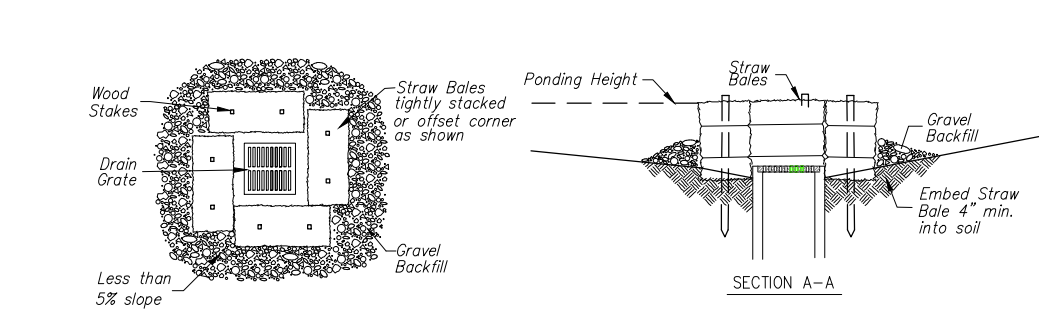


**SITE EROSION CONTROL PLAN**  
Scale 1" = 30'-0"

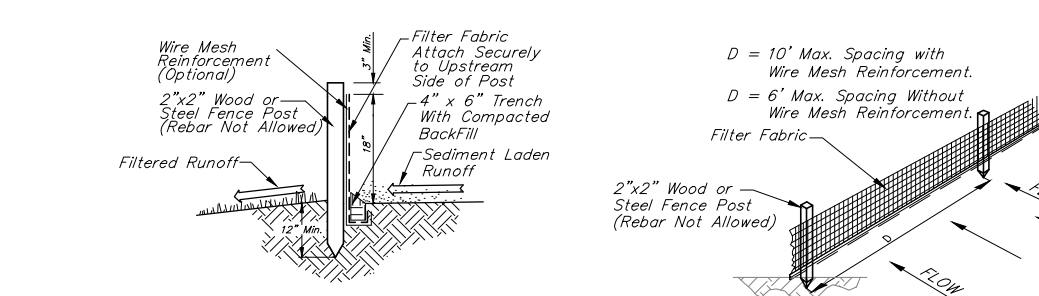


- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

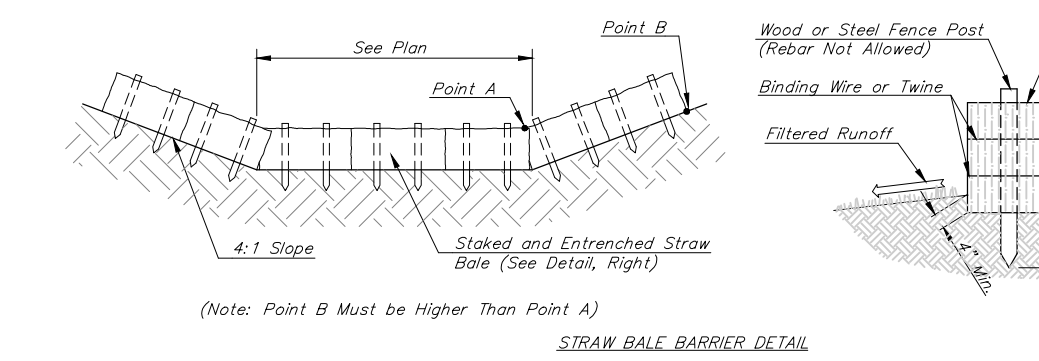
**1 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**2 STRAW BALE BARRIERS FOR AREA INLETS**  
NOT TO SCALE



**3 SILT FENCE DETAIL**  
NOT TO SCALE



**4 STRAW BALE DITCH CHECK**  
NOT TO SCALE



**BENCHMARK**

Benchmark-1  
Chiseled square on cut on rim of curb inlet, 260' west of NE corner of Site.  
Elev. = 1388.30 (NAVD 88)

**LEGAL DESCRIPTION**

Lot 1, Block 1, Kiser 2nd Addition, & part of Lot 4, Block 1, Kiser West Addition, Wichita, Sedgewick County, Kansas.

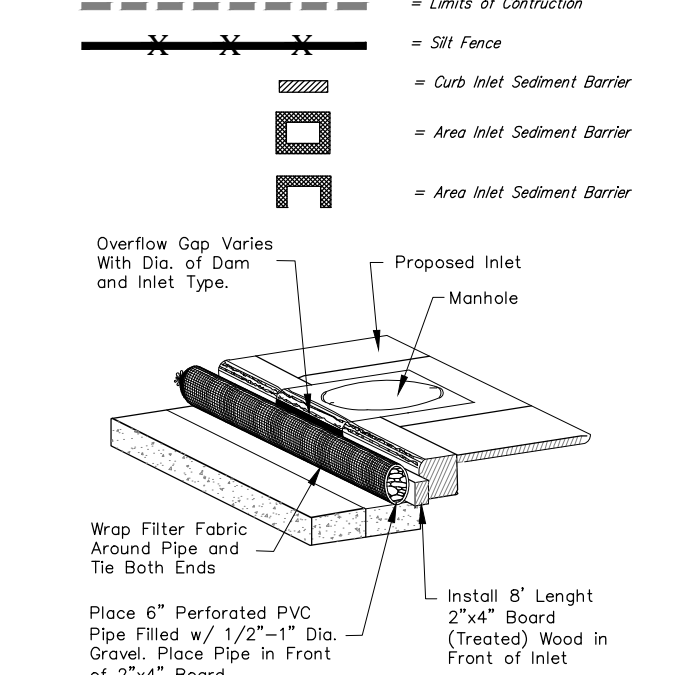
**SITE INFORMATION**

Total Area:	±261,174 sq. ft. (6.00 acres)
Portion of Lot 4, Kiser 2nd Add.:	±42,469 sq. ft. (0.97 acres)
Total Area:	±303,643 sq. ft. (6.97 acres)
Disturbed Area:	±302,700 sq. ft. (6.94 acres)
Impervious Area:	±238,973 sq. ft. (5.49 acres)
Building Area:	45,374 sq. ft.
Parking Provided:	108 Spaces, including 5 Accessible Stalls 333 New Inventory Vehicle Stalls.

**EROSION CONTROL NOTES**

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
2. All exposed areas shall be seeded as specified within 30 days of final GRADING.
3. Should construction stop for longer than 15 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by on-site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or rainfall, the pipe ends shall be covered with filter fabric.
10. See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
11. This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
12. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
13. An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

**EROSION CONTROL LEGEND**



**5 TYPE 1 INLET PROTECTION**  
NOT TO SCALE



**DATE DRAWN**  
4-4-2012

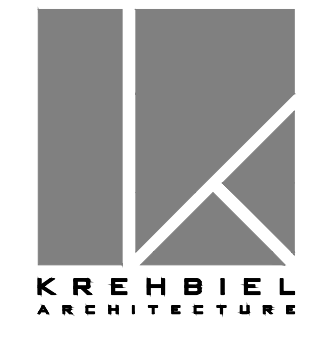
**REVISIONS**

- △ OCI Comments 5-22-12
- △ OCI Comments 6-04-12
- △ Added parking lot 6-29-12
- △ Adjusted parking lot 9-25-12



Baughman Company, P.A.  
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**PRINTS ISSUED**  
FOR PERMIT 4-04-12



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316.267.8568 fax  
krehbielarchitecture.com

DATE

BAC - 116183  
**SCHOLFIELD BUICK - GMC**  
1333 N. GREENWICH ROAD  
WICHITA, KANSAS

For Reference Only

	Lot 1, Blk. 1, Kiser West 2nd Addition <b>REFERENCE COPY</b> <b>BMP &amp; ERU PLAN</b> Wichita, Kansas	
	Baughman Company, P.A. 115 Ellis St. Wichita, KS 67211 P: 316.262.2271 F: 316.262.0149 ENGINEERING   SURVEYING   PLANNING   LANDSCAPE ARCHITECTURE	
PROJECT NUMBER 091 PPD (607861)	DESIGN PSB	DRAWN psb
REVISIONS: 6-6-12 psb Added 2 inlet & ped. access route.	APPROVED PSB	DATE 5/09/12
SHEET NO. <b>C4.1</b>		SCALE varies SHEET <b>8 OF 8</b>

PROJECT NO.  
10047

SHEET TITLE  
**EROSION CONTROL AND ERU PLAN**

SHEET NO.  
**C4.1**

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E: Project@ScholfieldGMC\_11-10-E677@EngineeringGMC.PPD.lvs

**ERU PLAN**  
Scale 1" = 150'

Lot 1, Kiser 2nd Add. (Building & Pavement)	±238,619 sq. ft. (5.48 acres)
Permeous Area:	±22,555 sq. ft. (0.52 acres)
Total Parcel Area:	±261,174 sq. ft. (6.00 acres)
Lot 4, Blk 1, Kiser West Add. (Pavement)	±19,008 sq. ft. (0.44 acres)
Permeous Area:	±23,441 sq. ft. (0.53 acres)
Total Parcel Area:	±42,449 sq. ft. (0.97 acres)

