

# FRONTGATE ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) the above county and state do hereby certify that we have surveyed and  
platted "FRONTGATE ADDITION", Wichita, Sedgwick County, Kansas and that  
the accompanying plat is a true and correct exhibit of the property  
surveyed, described as and being a replat of all of Lots 1, 2, 3, and 4,  
Block 1, Plaza Central Office Park 2nd Addition to Wichita, Sedgwick County,  
Kansas, TOGETHER with that part of Jackson Heights as dedicated in said  
Plaza Central Office Park 2nd Addition and that part of Jackson Ave., (now  
Jackson Heights), as dedicated in Gilder's Gardens, Sedgwick County, Kansas  
described as follows: Beginning at the northeast corner of said Lot 3;  
thence easterly along the extension of the north line of said Lot 3 (and  
along the north line of said Jackson Heights), 35.22 feet, more or less, to  
the centerline of said Jackson Heights, said centerline being 35.00 feet  
normally distant easterly of the west line of said Jackson Heights; thence  
southerly along the centerline of said Jackson Heights, (and parallel with  
the west line of said Jackson Heights), 109.85 feet; thence westerly  
perpendicular to the west line of said Jackson Heights, 35.00 feet to a  
point on the west line of said Jackson Heights; thence northerly along the  
west line of said Jackson Heights, 113.81 feet to the point of beginning.

All being situated in the Northwest Quarter and the Northeast  
Quarter of Section 22, Township 27 South, Range 2 East  
of the Sixth Principal Meridian, Sedgwick County, Kansas.

Existing public easements, access controls, building setbacks, and  
dedications being vacated by virtue of K.S.A. 12-512b, as amended.

Baughman Company, P.A.



*Michael G. Conrey*  
Michael G. Conrey 23-2013, Surveyor

Know all men by these presents that we,  
the undersigned, have caused the land in the surveyors certificate to be  
platted into Lots, Blocks, Streets, and Reserves to be known as  
"FRONTGATE ADDITION", Wichita, Sedgwick County, Kansas. The utility  
easements are hereby granted as indicated for the construction and  
maintenance of all public utilities. The drainage easement is hereby  
granted as indicated for drainage purposes. The wall easements are  
hereby granted as indicated for the construction and maintenance of  
private screening walls and utility main lines and service lines shall  
be allowed to cross these easements. The drainage and utility easements  
are hereby granted as indicated for drainage purposes and for the  
construction and maintenance of all public utilities. The street, drainage,  
and utility easements are hereby granted as indicated for street purposes,  
for drainage purposes, and for the construction and maintenance of all  
public utilities. The parking easements are hereby granted as indicated  
exclusively for residential parking. Reserves "A", "F" and "G" are hereby  
reserved for open space, landscaping, streets, entry monuments, drainage  
purposes, and utilities. Reserve "B" is hereby reserved for open space,  
landscaping, drainage purposes, entry monuments, berms, streets as  
confined to easements, utilities as confined to easements, fences,  
sidewalks, playgrounds, parking, gazebos, a clubhouse and related  
appurtenances. Reserve "C" is hereby reserved for open space,  
landscaping, berms, lakes, gazebos, drainage purposes, utilities as  
confined to easements, sidewalks, parking as confined to easement, entry  
monuments, walls as confined to easement, and streets as confined to  
easements. There shall be no building setback requirements in said  
Reserve "C" along Frontgate. The parking easement within said Reserve  
"C" shall be used exclusively for residential parking. No obstructions  
shall be constructed or placed on or within the parking easement in said  
Reserve "C". Reserve "D" is hereby reserved for open space, landscaping,  
drainage purposes, utilities as confined to easement, and walls as  
confined to easement. Reserve "E" is hereby reserved for open space,  
landscaping, sidewalks, drainage purposes, berms, gazebos, parking as  
confined to easement, utilities as confined to easements, streets as  
confined to easements, entry monuments, and sanitary sewer main lines  
and service lines. The parking easement within said Reserve "E" shall  
be used exclusively for residential parking. No obstructions shall be  
constructed or placed on or within the parking easement in said Reserve  
"E". Reserves "A", "B", "C", "D", "E", "F", and "G" shall be owned and  
maintained by the homeowners association for the addition. Access  
controls shall be as depicted on the face of the plat and are hereby  
granted to the City of Wichita, Kansas. The Minimum Building Pad  
Elevations for the lowest opening to the structures on Lot 1, Block B  
shall be 1,351.5 NAVD88.

Frontgate Developers LLC,  
a Kansas limited liability company

*Mark E. Hutton*  
Mark E. Hutton

State of Kansas) SS The foregoing instrument acknowledged before  
Sedgwick County) me, this 24th day of APRIL, 2013, by MARK E. HUTTON,  
MANAGER of Frontgate Developers LLC, a Kansas limited liability  
company, on behalf of the limited liability company.

JUDITH M. TERHUNE  
Notary Public - State of Kansas  
My App. Exp. 11-7-13

BENCHMARK:  
CITY OF WICHITA DISC - WEST END OF CONCRETE  
HEADWALL OF REINFORCED CONCRETE BOX CULVERT,  
SOUTHEAST CORNER OF JACKSON HEIGHTS AND CENTRAL  
66.7' EAST & 11.6' NORTH OF THE NORTHEAST CORNER  
OF RESERVE "C", FRONTGATE ADDITION.  
ELEV. = 1349.46 NAVD88

SQUARE CUT ON TOP OF REINFORCED CONCRETE BOX  
CULVERT, 19.2' WEST & 24.7' NORTH OF THE NORTHWEST  
CORNER OF RESERVE "B", FRONTGATE ADDITION.  
ELEV. = 1351.80 NAVD88

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION
1	B	1,351.5

We, the undersigned, holders of a mortgage on  
the above described property, do hereby consent to this plat of  
"FRONTGATE ADDITION", Wichita, Sedgwick County, Kansas.  
RelianzBank

DAVID W. HARRIS (Title)

State of Kansas) SS The foregoing instrument acknowledged be-  
Sedgwick County) fore me, this \_\_\_\_\_ day of \_\_\_\_\_, 2013, by DAVID W. HARRIS,  
PRESIDENT & C.E.O. of RelianzBank, on behalf of the bank.

My App't. Exp. \_\_\_\_\_, Notary Public

This plat of "FRONTGATE ADDITION", Wichita,  
Sedgwick County, Kansas has been submitted to and approved by the  
Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita,  
Kansas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2013.  
Wichita-Sedgwick County Metropolitan Area Planning Commission

David Dennis, Chair  
John L. Schlegel, Secretary

This plat approved and all dedications  
shown hereon accepted by the City Council of the City of Wichita,  
Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Carl Brewer, Mayor  
Karen Sublett, City Clerk

Reviewed in accordance with K.S.A. 58-2005  
on this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Tricia L. Robello, L.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

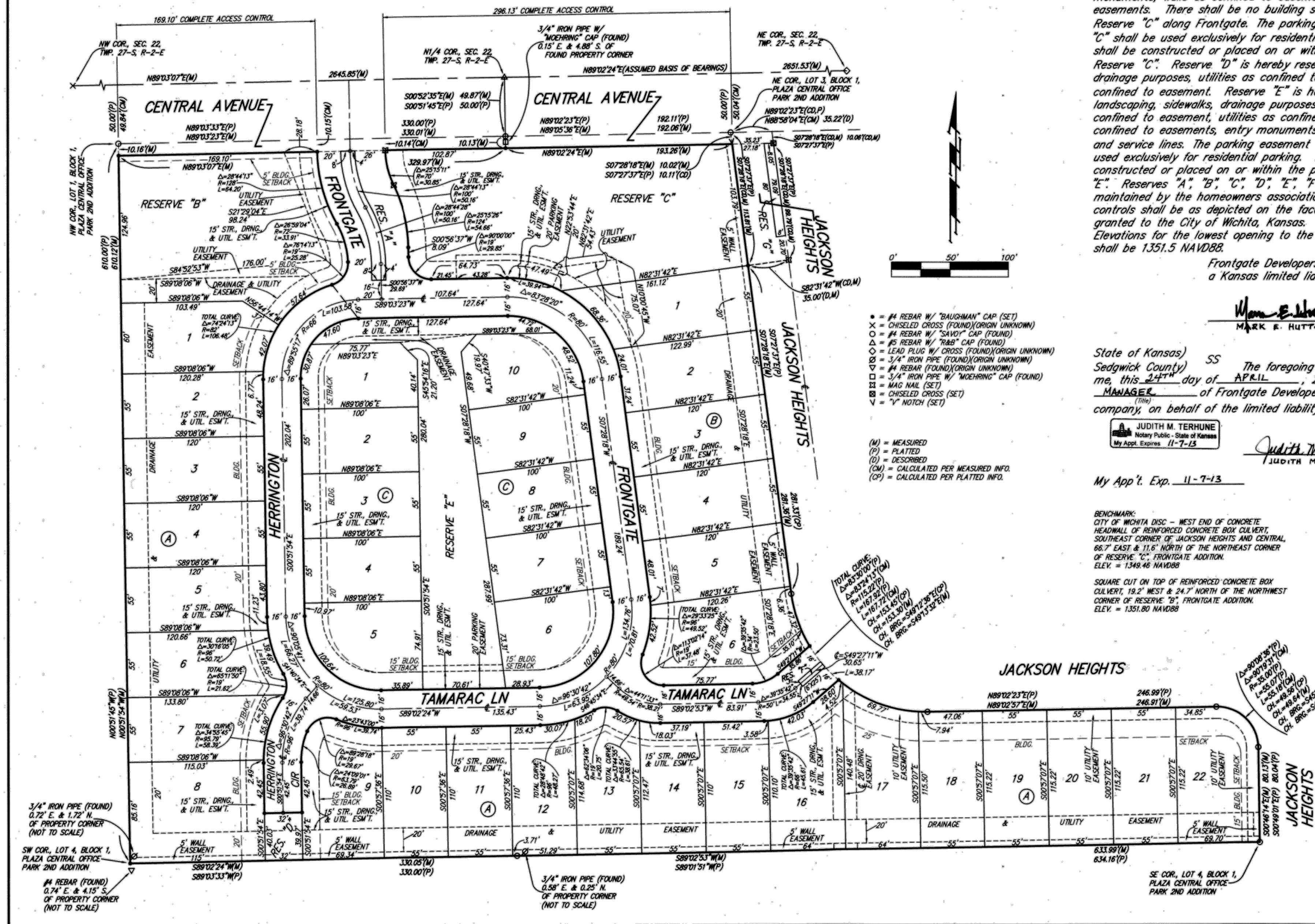
Entered on transfer record this \_\_\_\_\_ day  
of \_\_\_\_\_, 2013.

Kelly B. Arnold, County Clerk

State of Kansas) SS This is to certify that this plat has been  
Sedgwick County) filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day  
of \_\_\_\_\_, 2013 at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and is duly recorded.

Bill Meek, Register of Deeds

Tonya Buckingham, Deputy



NOTE:  
ALL LOTS WITHIN FRONTGATE ADDITION SHALL  
HAVE A 5 FOOT INTERIOR SIDEWALK SETBACK.

NOTE:  
A MASTER GRADING PLAN FOR DRAINAGE HAS BEEN DEVELOPED FOR THIS  
SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS.  
ALL DRAINAGE EASEMENTS, RIGHTS-OF-WAY, OR RESERVES SHALL REMAIN  
AT ESTABLISHED GRADES OR AS MODIFIED WITH THE APPROVAL OF THE  
CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH  
IMPEDE THE FLOW OF THIS DRAINAGE SYSTEM SHALL BE ALLOWED.

**Baughman Company, P.A.**  
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149  
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE  
E:\PROJECTS\HUTTON CENTRAL PROJECT\PLAT DRAWINGS\HUTTON.FDW\DWG